

Agenda

Council Meeting

Monday, 26th July 2021

Commencing at 7.00pm

via the Zoom platform and live streamed

kingston.vic.gov.au

Tim Tamlin
Interim Chief Executive Officer
Kingston City Council

community inspired leadership



City of
KINGSTON

Notice is given that a Meeting of Kingston City Council will be held at 7.00pm on Monday 26 July 2021, via the Zoom platform and live streamed.

1. Apologies

2. Confirmation of Minutes of Previous Meetings

Minutes of Council Meeting 28 June 2021

3. Foreshadowed Declaration by Councillors, Officers or Contractors of any Conflict of Interest

Note that any Conflicts of Interest need to be formally declared at the start of the meeting and immediately prior to the item being considered – type and nature of interest is required to be disclosed – if disclosed in writing to the CEO prior to the meeting only the type of interest needs to be disclosed prior to the item being considered.

4. Petitions

Add 10 Car Parks on Charman Road, Cheltenham

5. Presentation of Awards

Nil

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7. Question Time

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Confidential Attachments

- 11.6 Naming Proposal of Pavilion at Rowan Reserve, Dingley Village
Appendix 4 Lynne Fleming Pavilion - Signatures

Explanation of Meeting Procedure

Meeting Procedure is Regulated by the City of Kingston Governance Rules

The procedures for this Council Meeting are regulated by Council's Governance Rules.

Chairperson

The Mayor as Chairperson is the ultimate authority for the conduct of the meeting.

Agenda

The business to be dealt with at the meeting is set out in the agenda. No other business can be dealt with, unless admitted as Urgent Business by resolution of Council.

Motions

A motion must be moved and seconded to be valid. The mover of the motion will then be permitted to speak to it. Other Councillors will then be permitted to speak either for or against the motion. The mover will be permitted a right-of-reply, which will conclude the debate.

Voting

The motion will then be voted on by show of hands. If the motion is carried, it becomes a resolution (decision) of the Council. Any Councillor may call for a Division, in order that the vote of each Councillor is formally recorded. The result of the Division supersedes the vote by show of hands.

Amendments

A Councillor may move an amendment to a motion. Any amendment moved shall be dealt with in the same way as a motion, except that there is no right of reply for the mover of the amendment and the mover of the motion if the amendment is carried. If carried, the amendment becomes the motion and the previous motion is abandoned.

Speaking at the Meeting

No visitor to a Council meeting may speak to the meeting, except for:

- The applicant (or their representative) and one objector in relation to an application for a planning permit;
- Special circumstances in which leave to speak is granted by the Chairperson.

Unless special circumstances apply, the Chairperson will limit the presentation of a speaker to three minutes' duration.

Explanation of Meeting Procedure

Questions

Members of the public present at the meeting may put questions in writing to Council which will be dealt with during Question Time. Questions must be submitted by:

- Submitting an online question form on Council's website by 12.00 noon on the day of the Council meeting; or
- Placing a hard copy question form in the Question Box situated in the foyer by 7.30pm on the day of the Council meeting.

Questions are to be as succinct as possible. Questions which cannot be accommodated on the question form provided are likely to require research and are more appropriately directed to Council in the form of a letter. In such cases, the question/s may be answered in writing at the direction of the Chairperson subsequent to the meeting.

Questions will be answered in the Council Chamber only if the questioner is present in the gallery. Where a questioner is not present, a response will be provided in writing.

Individual members of the public are permitted to ask a maximum of two (2) questions.

Confidential Business

The meeting may be closed at any time to deal with confidential items in camera. In these instances members of the public will be asked to leave the Council Chamber, and the meeting re-opened once the confidential business is completed.

Courtesy to the Mayor

All Councillors are required to direct their attention towards the Chairperson when speaking. This is in accordance with protocols relating to respect for the Chairperson of a meeting and is a requirement of Council's Meeting Procedures Local Law.

Emergency Evacuation of Chamber

Members of the public are requested to note the green and white EXIT signs.

In the event of an emergency requiring evacuation of the Chamber, the public should evacuate by way of the EXIT located to the right hand side of the Council Chamber. This leads to the foyer through which you passed in order to enter the Chamber. Proceed from the foyer through the revolving door/side door and out of the building. This is the primary evacuation route.

If the nature of the emergency is such that the primary evacuation route is impracticable, the public should evacuate by way of the EXIT located to the right of the Council table as viewed from the public gallery. Follow further EXIT signs thereafter, which lead to an exit point on the south side of the building. This is the secondary evacuation route.

Council staff will issue directions on how to proceed to evacuate in the event of an emergency.

Explanation of Meeting Procedure

Do You Have a Hearing Difficulty?

Phonic Ear Hearing Assistance is available to any member of the public gallery with a hearing disability. Just ask a member of staff for a unit prior to the meeting.

Interpreting Service



Recording of Meetings

Council Meetings are recorded and streamed live on the internet.

Recordings are archived and available on Council's website www.kingston.vic.gov.au.

All care is taken to maintain your privacy; however as a visitor in the public gallery, your presence may be recorded.

8. Planning and Development Reports

Council Meeting

26 July 2021

Agenda Item No: 8.1

TOWN PLANNING APPLICATION DECISIONS - JUNE 2021

Contact Officer: Carly De Mamiel, Senior Customer Liaison and Administration Officer

Town Planning Application Decisions – June, 2021

Approved By: Jonathan Guttman - General Manager, Planning & Development

Author: Alfred Carnovale – Acting Manager, City Development

Attached for information is the report of Town Planning Decisions for the month of June, 2021.

A summary of the decisions is as follows:

Type of Decision	Number of Decisions Made	Percentage (%)
Planning Permits	79	76
Notice of Decision	11	11
Refusal to Grant a Permit	4	4
Other - Withdrawn (5) - Prohibited (0) - Permit not required (3) - Lapsed (2) - Failure to Determine (0)	10	9
Total	104	100

(NB: Percentage figures have been rounded)

OFFICER RECOMMENDATION

That the report be noted.

Appendices

Appendix 1 - Town Planning Application Decisions June 2021 (Ref 21/159771) 

Author/s: Carly De Mamiel, Senior Customer Liaison and Administration Officer

Reviewed and Approved By: Naomi Crowe, Team Leader City Development Administration

8.1

TOWN PLANNING APPLICATION DECISIONS - JUNE 2021

1	Town Planning Application Decisions June 2021	9
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Planning Decisions June, 2021							
APPL. No.	PROPERTY ADDRESS	SUBURB	APPL. DATE	DATE DECIDED	PROPOSAL DESCRIPTION	DECISION	VCAT DECISION
KP-2021/70	24 Melaleuca Drive	CARRUM	18/02/2021	1/06/2021	The development of two (2) dwellings on land in a Special Building Overlay	Permit	No
KP-2020/553	54 Nepean Highway	ASPENDALE	18/09/2020	1/06/2021	The development of two (2) double storey dwellings	Permit	No
KP-2020/149	Unit 1 92 Argyle Avenue	CHELSEA	24/03/2020	1/06/2021	The development of two dwellings on the lot in accordance with the endorsed plans	Permit	Yes
KP-2020/546	9 Baker Street	MOORABBIN	17/09/2020	1/06/2021	Develop two (2) dwellings in a Special Building Overlay	Permit	No
KP-2020/746	1 Village Drive	DINGLEY VILLAGE	16/12/2020	1/06/2021	The development of two (2) dwellings.	Permit	No
KP-2020/758	8 Tonbridge Street	CARRUM	21/12/2020	1/06/2021	The construction of four (4) double storey dwellings	Permit	No
KP-2016/1084/B	26 Gothic Road	ASPENDALE	3/05/2021	1/06/2021	Develop the land for the construction of eight (8) dwellings	Withdrawn	No
KP-2020/424	1 Warraweena Road	CLAYTON SOUTH	24/07/2020	2/06/2021	The development of the land for the construction of one (1) double storey dwelling and alterations and additions to the existing dwelling	Permit	No
KP-2020/434	13 11 Friars Road	MOORABBIN	31/07/2020	2/06/2021	Use of the land for a Place of Assembly and a reduction of the required car parking spaces	Permit	No
KP-2020/442	3 Alward Avenue	CLAYTON SOUTH	6/08/2020	2/06/2021	The construction of twelve (12) double storey dwellings	Refused	No
KP-2020/313	2 Coe Lane	HIGHETT	5/06/2020	2/06/2021	The use of the land for dwellings, the construction of a four storey building containing five dwellings and a reduction in the car parking requirement.	Lapsed	No
KP-2009/308/C	71-109 Bourke Road	CLARINDA	30/11/2020	2/06/2021	Develop the land for the construction of a retirement village	Permit	No

KP-2021/304	1 Marita Court	CHELTENHAM	25/05/2021	3/06/2021	Subdivide the land into Two (2) Lots	Permit	No
KP-2018/64/B	2A Latrobe Street	MENTONE	15/03/2021	3/06/2021	The development of three (3) dwellings	Permit	No
KP-2020/635	59 Devon Street	CHELTENHAM	27/10/2020	3/06/2021	Develop two (2) dwellings	Notice of Decision	No
KP-2021/11	1 Southern Road	MENTONE	12/01/2021	3/06/2021	The development of two (2) dwellings, on land affected by the Special Building Overlay, and the removal of an Easement	Notice of Decision	No
KP-2021/62	4 Grout Street	MENTONE	16/02/2021	3/06/2021	The development of two (2) dwellings	Permit	No
KP-2020/522	138-142 Argus Street	CHELTENHAM	7/09/2020	3/06/2021	Removal of common property	Permit	No
KP-2021/210	2A Latrobe Street	MENTONE	19/04/2021	3/06/2021	To subdivide the land into three (3) lots	Permit	No
KP-2021/138	17 Berry Avenue	EDITHVALE	22/03/2021	3/06/2021	Subdivide the Land into Two (2) Lots	Permit	No
KP-2021/135	7 Dickens Street	PARKDALE	22/03/2021	3/06/2021	Subdivide the land into Three (3) Lots in a Design and Development Overlay Schedule 1	Permit	No
KP-2021/212	2-4 Dennett Street	CARRUM	20/04/2021	4/06/2021	Subdivide the Land into Two (2) lots in the Design and Development Overlay (Schedule 1 and 7) and Land Subject to Inundation Overlay and creation of easements	Permit	No
KP-2007/861/A	1 The Outlook	WATERWAYS	5/03/2021	4/06/2021	To construct buildings and works two-storey dwelling on this site	Permit	No
KP-2020/555	55 Tennyson Avenue	CLAYTON SOUTH	18/09/2020	4/06/2021	The development of four (4) dwellings	Refused	No
KP-2020/552	86 Albert Street	MORDIALLOC	18/09/2020	7/06/2021	The development of three (3) dwellings.	Permit	No
KP-2021/305	11 Dahmen Street	CARRUM	25/05/2021	7/06/2021	Subdivide the Land into Two (2) Lots	Permit	No
KP-2021/170	8 Joyner Street	MOORABBIN	8/04/2021	8/06/2021	Use of the land for Car Sales and a waiver of the bicycle requirements	Permit	No

KP-2020/763	1 19 Governor Road	MORDIALLOC	22/12/2020	8/06/2021	Construct a fence on land within a Land Subject to Inundation Overlay	Permit	No
KA-1/2021	50 Chelsea Road	CHELSEA	17/03/2021	8/06/2021	Application to end Section 173 Agreement	Approved	No
KP-2021/344	15 Flinders Street	MENTONE	7/06/2021	8/06/2021	We require a retrospective amendment for our eave extension on carport and our wall pulled back on back north elevation.	Rejected	No
KP-2020/452	35 Manoon Road	CLAYTON SOUTH	11/08/2020	8/06/2021	The development of four (4) dwellings	Notice of Decision	No
KP-2020/337	4-5 Wimborne Lane	CHELSEA	16/06/2020	8/06/2021	construct and carry out buildings and works associated with a boatshed	Permit	No
KP-2020/759	64 Sherwood Avenue	CHELSEA	21/12/2020	8/06/2021	Development of four dwellings	Notice of Decision	No
KP-2021/92	44 Emma Street	CARRUM	1/03/2021	8/06/2021	Develop two (2) dwellings	Notice of Decision	No
KP-2021/247	37 Lanark Street	CLAYTON SOUTH	3/05/2021	9/06/2021	Subdivide the Land into Six (6) Lots	Permit	No
KP-2021/238	1C Oak Avenue	CHELTENHAM	30/04/2021	9/06/2021	Proposed colourbond steel veranda attached to the side of the dwelling	Withdrawn	No
KP-2020/764	25 Church Road	CARRUM	22/12/2020	9/06/2021	The development of two (2) dwellings	Permit	No
KP-2020/384	241 Nepean Highway	EDITHVALE	6/07/2020	9/06/2021	The development of two (2) dwellings above an existing commercial premise	Lapsed	No
KP-2020/264	4 Gale Street	ASPENDALE	18/05/2020	10/06/2021	Develop the land for the construction of two (2) double storey dwellings	Permit	No
KP-2021/213	58 Northcliffe Road	EDITHVALE	20/04/2021	10/06/2021	Subdivide the Land into Two (2) Lots	Permit	No
KP-2021/221	4 Stanley Avenue	CHELTENHAM	21/04/2021	10/06/2021	Subdivide the land into seven (7) lots	Permit	No
KP-2021/330	42 Edmond Street	PARKDALE	2/06/2021	10/06/2021	Removal of Easement	Permit Not Required	No

KP-2021/46	8 213-223 Wells Road	CHELSEA HEIGHTS	4/02/2021	11/06/2021	The development of alterations and additions to an existing factory and a waiver of the car parking requirement	Permit	No
KP-2021/223	49-55 Woodlands Drive	BRAESIDE	22/04/2021	11/06/2021	The development of a silo, associated works and a reduction in the car parking requirement	Permit	No
KP-2020/749	20 Hawke Street	PARKDALE	17/12/2020	11/06/2021	The development of two (2) dwellings	Notice of Decision	No
KP-2021/172	95 Nepean Highway	ASPENDALE	8/04/2021	11/06/2021	Subdivide the land into two (2) lots in the Design and Development Overlay (Schedule 1 and 7)	Permit	No
KP-2015/516/A	1 Barilla Road	MOORABBIN	5/02/2021	11/06/2021	Develop the land for the construction of three (3) dwellings	Permit	No
KP-2017/441/B	1-5 Lake Drive	DINGLEY VILLAGE	16/12/2020	11/06/2021	Develop the land for the construction of buildings and works, use of the land for the purpose of restricted retail, restricted recreation facility (gym) and a food and drink premises (café), a reduction in car parking, display of pole and illuminated business identification signs	Permit	No
KP-2018/432/A	22 Bruthen Street	MOORABBIN	26/01/2021	11/06/2021	Develop the land for the construction of two (2) dwellings in a Special Building Overlay	Permit	No
KP-2021/316	54 Eighth Street	PARKDALE	31/05/2021	11/06/2021	Subdivide the land into Two (2) Lots	Permit	No
KP-2021/88	2 347 Station Street	CHELSEA	12/03/2021	15/06/2021	The development of a first floor extension and alterations to an existing dwelling on a lot less than 300m2	Permit	No
KP-2020/711	10 Margaret Street	MOORABBIN	2/12/2020	15/06/2021	Develop the land for the construction of two (2) dwellings	Permit	No
KP-2021/222	21A Hall Street	CHELTENHAM	22/04/2021	15/06/2021	The development of a single storey dwelling and garage	Permit Not Required	No

KP-2021/215	1 Bridges Avenue	EDITHVALE	20/04/2021	15/06/2021	Subdivide the Land into Two (2) Lots	Permit	No
KP-2021/220	34 Mount View Avenue	PARKDALE	21/04/2021	15/06/2021	Subdivide the Land into Two (2) Lots	Permit	No
KP-1997/550/A	4 Allnutt Court	CHELTENHAM	24/05/2021	16/06/2021	To develop and use this site for Dual Occupancy in accordance with the plans to be submitted pursuant to Condition 1 hereof	Permit Not Required	No
KP-2008/1106/A	131A Embankment Grove	CHELSEA	19/03/2021	16/06/2021	The development of this site for two (2) dwellings in accordance with plans to be submitted pursuant to Condition 1 hereof.	Permit	No
KP-2021/208	16 Sugar Gum Court	BRAESIDE	19/04/2021	17/06/2021	Subdivide the Land into Eight (8) Lots and to create common property, on Land affected by the Land Subject to Inundation Overlay	Permit	No
KP-2021/188	1 13 Libbett Avenue	CLAYTON SOUTH	8/04/2021	17/06/2021	The development of alterations and additions to the existing warehouse	Withdrawn	No
KP-2021/209	5 York Street	BONBEACH	19/04/2021	17/06/2021	Subdivide the Land into Two (2) Lots	Permit	No
KP-2021/183	61-63 Taunton Drive	CHELTENHAM	12/04/2021	17/06/2021	Use the land for car sales and a waiver of the bicycle requirements	Permit	No
KP-2021/3	6 The Corso	PARKDALE	6/01/2021	18/06/2021	Develop two (2) dwellings	Notice of Decision	No
KP-2020/392	24 Charles Street	CHELTENHAM	27/07/2020	18/06/2021	Develop the land for the construction of two (2) dwellings	Notice of Decision	No
KP-2021/54	40 Evan Street	PARKDALE	10/02/2021	18/06/2021	Develop the land for the construction of two (2) dwellings	Notice of Decision	No
KP-2021/107	29 Timms Crescent	DINGLEY VILLAGE	4/06/2021	18/06/2021	single storey extensions and alterations to an existing single storey dwelling	Permit	No
KP-2021/121	46 Woodbine Grove	CHELSEA	15/03/2021	18/06/2021	The development of one (1) dwelling, to the rear of an existing.	Notice of Decision	No
KP-2021/218	245 Centre Dandenong Road	CHELTENHAM	20/04/2021	18/06/2021	Subdivide land within a Special Building Overlay into Two (2) Lots	Permit	No

KP-2021/132/A	2-4 Eskay Road	OAKLEIGH SOUTH	3/06/2021	18/06/2021	Construct buildings and works within the Industrial 1 Zone	Permit	No
KP-2020/652	139 Wickham Road	MOORABBIN	6/11/2020	18/06/2021	The development of two (2) dwellings and associated works in accordance with the endorsed plans	Permit	No
KP-2021/114	27 Breeze Street	BONBEACH	10/03/2021	18/06/2021	Subdivide the Land into Two (2) Lots	Permit	No
KP-2021/184	10 Luain Avenue	OAKLEIGH SOUTH	12/04/2021	18/06/2021	Subdivide the Land into Two (2) Lots	Permit	No
KP-2021/185	44 Herald Street	CHELTHENHAM	12/04/2021	18/06/2021	Subdivide the Land into Two (2) Lots	Permit	No
KP-2021/318	5 Meribah Court	PARKDALE	1/06/2021	18/06/2021	Extend the existing dwelling on land within a Special Building Overlay	Permit	No
KP-2017/317/A	362 South Road	MOORABBIN	26/10/2020	18/06/2021	To use the land for the sale and consumption of liquor (general license category) with associated advertising signage and a reduction in the car parking requirements under the Clause 52.06 (Car Parking) of the Kingston Planning Scheme	Permit	No
KP-2021/292	17 Marriott Street	PARKDALE	19/05/2021	21/06/2021	Removal of tree	Permit	No
KP-2021/343	469-471 Nepean Highway	CHELSEA	7/06/2021	21/06/2021	Buildings and works associated with the existing Section 2 use (Service Station)	Permit	No
KP-2021/301	6-12 Fairchild Street	HEATHERTON	24/05/2021	21/06/2021	The construction of a canopy and roller doors to the rear of the existing building on this site.	Permit	No
KP-2020/377	5 Rosella Road	PARKDALE	2/07/2020	22/06/2021	The development of two (2) double storey dwellings	Permit	No
KP-2021/225	Warehouse 1 10 Bate Drive	BRAESIDE	22/04/2021	22/06/2021	The development of buildings and works to the existing warehouse and a reduction in the number of parking spaces required under Clause 52.06	Permit	No
KP-2020/613	2 1 Oakes Avenue	CLAYTON SOUTH	14/10/2020	22/06/2021	Extension to one dwelling on a lot under 300m2 (carport addition)	Permit	No

KP-2021/234	124-126 White Street	MORDIALLOC	27/04/2021	23/06/2021	Subdivide the Land into Seventeen (17) Lots	Permit	No
KP-2021/141	19 Randall Avenue	EDITHVALE	23/03/2021	23/06/2021	The development of two (2) dwellings	Notice of Decision	No
KP-2021/348	1 13 Libbett Avenue	CLAYTON SOUTH	9/06/2021	23/06/2021	The development of an extension to the existing warehouse and a reduction in the car parking requirement	Permit	No
KP-2008/191/B	5 Maury Lane	CHELSEA	11/02/2021	23/06/2021	The development of three (3) dwellings	Permit	No
KP-2020/360	152 Warren Road	MORDIALLOC	25/06/2020	24/06/2021	Develop the land for the construction of two (2) double storey dwellings	Permit	No
KP-2021/26	21 Parnell Street	CHELtenham	21/01/2021	24/06/2021	The development of two (2) dwellings	Permit	No
KP-2010/268/D	21 Somme Parade	EDITHVALE	2/06/2020	25/06/2021	Develop the Land for the Construction of three (3) Dwellings	Permit	No
KP-2021/93	2 Ashlar Road	MOORABBIN	1/03/2021	25/06/2021	Subdivide the Land into Three (3) Lots	Permit	No
KP-2021/49	Unit 21 7 Parkview Drive	ASPENDALE	6/02/2021	25/06/2021	The development of an extension to the existing dwelling on a lot less than 300sqm	Permit	No
KP-2020/719	54 Warren Road	MORDIALLOC	7/12/2020	25/06/2021	Construct two (2) dwellings in a Special Building Overlay	Permit	No
KP-2013/702/C	61-69 Clarinda Road	OAKLEIGH SOUTH	29/04/2021	25/06/2021	Develop the land for the construction of buildings and works to an existing industry (pharmaceutical products) with a reduction in the car parking requirements	Permit	No
KP-2020/539	1 Mason Court	HIGHETT	14/09/2020	25/06/2021	The development of two (2) dwellings	Permit	No
KP-2020/231	10 Harding Avenue	BONBEACH	18/05/2020	25/06/2021	The development of two (2) dwellings	Permit	No
KP-2021/175	35 James Avenue	ASPENDALE	12/04/2021	25/06/2021	The construction of two (2) double storey dwellings	Permit	No

KP-2021/254	3 52 Thames Promenade	CHELSEA	5/05/2021	25/06/2021	Extension to the existing dwelling on a lot less than 300sqm (verandah addition)	Permit	No
KP-2019/759	76 Station Street	ASPENDALE	3/12/2019	25/06/2021	Develop the land for four (4) three storey dwellings.	Refused	No
KP-2020/530	2 Moola Court	CHELTENHAM	10/09/2020	25/06/2021	Develop a four storey residential building	Refused	No
KP-2020/669	32-38 Pietro Road	HEATHERTON	17/11/2020	28/06/2021	To develop the land for the construction of one (1) double storey dwelling (demolish existing) and associated works	Permit	No
KP-2020/617	1A Foster Street	ASPENDALE	20/10/2020	28/06/2021	Illuminated sign	Withdrawn	No
KP-2020/679/A	59 Grange Road	CHELTENHAM	22/06/2021	28/06/2021	Develop the land for buildings and works in the Industrial 1 Zone and a reduction in the car parking requirement associated with the use of the land for industry	Permit	No
KP-2021/266	260-280 Chesterville Road	MOORABBIN	12/05/2021	29/06/2021	Display of Major Promotion signage in accordance with the endorsed plans	Permit	No
KP-2021/364	10 Springs Road	CLARINDA	16/06/2021	29/06/2021	Subdivide the Land into Two (2) Lots	Permit	No
KP-2021/377	30 Mount View Street	ASPENDALE	21/06/2021	29/06/2021	Subdivide the Land into Two (2) Lots	Permit	No
KP-2021/182	32 Crown Avenue	MORDIALLOC	13/04/2021	30/06/2021	Use the land as an Indoor Recreation Facility (Yoga and Pilates Studio), with associated buildings and works, on Land affected by the Land Subject to Inundation Overlay	Permit	No
KP-2021/294	7 Peace Street	HIGHETT	24/05/2021	30/06/2021	alterations and additions to an existing dwelling	Withdrawn	No

Council Meeting

26 July 2021

Agenda Item No: 8.2

KP-2011/579/C - 1 - 5 TAYLOR AVENUE, ASPENDALE

Contact Officer: David Tancheff, Statutory Planner

Purpose of Report

This report is for Council to consider Planning Permit Application No. KP-2011/579/C - 1 - 5 Taylor Avenue, Aspendale.

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

RECOMMENDATION

That Council determine to support the proposal and issue a Notice of Decision to Grant an Amended Planning Permit for the construction of one shop and 25 dwellings, use of the land for dwellings, and waiver of the requirement for a loading bay at 1 - 5 Taylor Avenue, Aspendale, subject to the conditions contained within this report.

This application requires a decision by Council, following a call in by Cr Bearsley.

EXECUTIVE SUMMARY - AMENDMENT TO PLANNING PERMIT PURSUANT TO SECTION 72 OF THE PLANNING & ENVIRONMENT ACT 1987			
Address	1 – 5 Taylor Avenue, ASPENDALE VIC 3195		
Legal Description	Lots 1 and 2 on Title Plan 215862G Lot 4 on Plan of Subdivision 005234 Crown Allotment 9B Parish of Lyndhurst.		
Applicant	Sac Building Workshop		
Planning Officer	David Tancheff		
PLANNING REQUIREMENTS			
Planning Scheme	Kingston		
Zoning	Clause 32.08 – General Residential 2 Zone Clause 34.01 – Commercial 1 Zone		
Overlays	Clause 43.02 – Design and Development Overlay 1 and 7		
Particular Provisions	Clause 55 – Two or more dwellings on a Lot and Residential Buildings		
Permit Trigger/s	Clause 32.08 – 6 – Construct two or more dwellings on a lot		
APPLICATION / PROCESS			
Permit Allows	The construction of one shop and 25 dwellings, use of the land for dwellings, and waiver of the requirement for a loading bay		
What amendment/s to the permit are being sought?	Section 72 amendment that amends the plans to : <ul style="list-style-type: none">• decrease the overall building height by 3.06m from an endorsed height of 13.73 AHD to 10.67 A.H.D.• increase of the height of the second story (parapet) by 70mm incorporating the following changes:<ul style="list-style-type: none">➤ Increase to the ground floor finished floor level (FFL) by 470mm.➤ Reduction to the thickness between ground floor and first floor of 50mm.➤ Reduction to the thickness of the roof by 350mm.• delete the rooftop atrium and deck.• increase FFL of the alfresco areas by 470mm.• provide a fence on the boundary that is at least 1.8m above the finished floor level of the ground floor, to act as a visual barrier to adjoining properties to the north;• provide a 750mm overlooking screen to the top of the living room windows; and• supersede the endorsed landscape plan with an amended landscape plan prepared by Memla Pty. Ltd., project number LC2449 Drawing 1 and 2 of 2, dated 12/6/2020.		
Reference No.	KP-2011/579/C	RFI Received	N/A
App. Received		App. Amended	10 April 2021
Site inspection	Yes	Advertising Completed	3 May 2021
S.52 Advertising	Commenced: 15 April 2021		
S.55 Referrals	None		

Internal referrals	Yes			
Objection(s)	10 submissions incorporating nine (9) objections and one (1) support (TRIM checked on 24/6/2021)			
Mandatory Garden area requirement	N/A - no change		Mandatory Building Height requirement	Yes
Vegetation	Trees > 8m	No	No. of Trees to be removed (circumference 110cm)	No
LEGISLATIVE				
Covenant/other Restriction	No	Complies: N/A		
Aboriginal Cultural Heritage Sensitivity Area	Previously: Yes Currently: Yes			
CHMP	EXEMPT			
Considered Plans	SACBW, Job number SAC – 18417 dated 19/5/2021, revision I, Issue E. & The Landscape Plan prepared by Memla Pty. Ltd, project number LC2449 Drawing 1 and 2 of 2, dated 12/6/2020			

1.0 RELEVANT LAND HISTORY

- 1.1 The respective planning application was applied for on 2 November 2011 proposing the development and use of the site for the construction of one (1) shop and twenty-five (25) dwellings, use of the land for dwellings, and the waiver of the requirement for a loading bay.
- 1.2 The application was advertised and seventeen (17) objections were received.
- 1.3 A notice of refusal was issued on 23 October 2012 and an application for review was subsequently lodged at the Victorian Civil and Administrative Tribunal (Tribunal). The Permit was ultimately issued at the direction of the Tribunal on 21 March 2013.
- 1.4 Condition 1 plans were endorsed on 26 September 2014.
- 1.5 Stormwater Plans were approved by Council's Drainage Department on 19 October 2015.
- 1.6 Construction Management Plan (CMP) approved 6 October 2016.
- 1.7 An amended CMP endorsed on 19 June 2020
- 1.8 The expiry condition of the original Permit required the development to commence within two (2) years of the date of the Permit (18 March 2015) and the development to be completed within four (4) years of the date of the Permit (18 March 2017).
- 1.9 Three (3) extensions of time have been issued and one has been refused.
- 1.10 The first extension of time was issued 9 April 2015 and granted an additional one (1) year to commence and complete works. The new expiry date granted under this extension was 18 March 2016 for commencement and 18 March 2018 for completion.

- 1.11 The second extension of time was issued 23 March 2018, evidence was provided by the applicant demonstrating that works had commenced. The new expiry date granted was 20 March 2020 for the completion of the development.
- 1.12 A third extension of time request was lodged 14 January 2019 and subsequently refused on 30 May 2019, it was noted in the letter that unless further evidence was provided it would be unlikely that a further extension be granted.
- 1.13 A fourth extension of time was lodged 27 March 2020 along with evidence to the satisfaction of council and subsequently approved on 6 May 2020. The new and current expiry date for permit is 25 March 2022 for completion.
- 1.14 The proposed changes sought under this application do not undermine any agreement or offer put forward by the Permit Applicant during the consideration of the original proposal.

2.0 SITE PARTICULARS

- 2.1 The following photo illustrates the subject site from the street in its current condition:

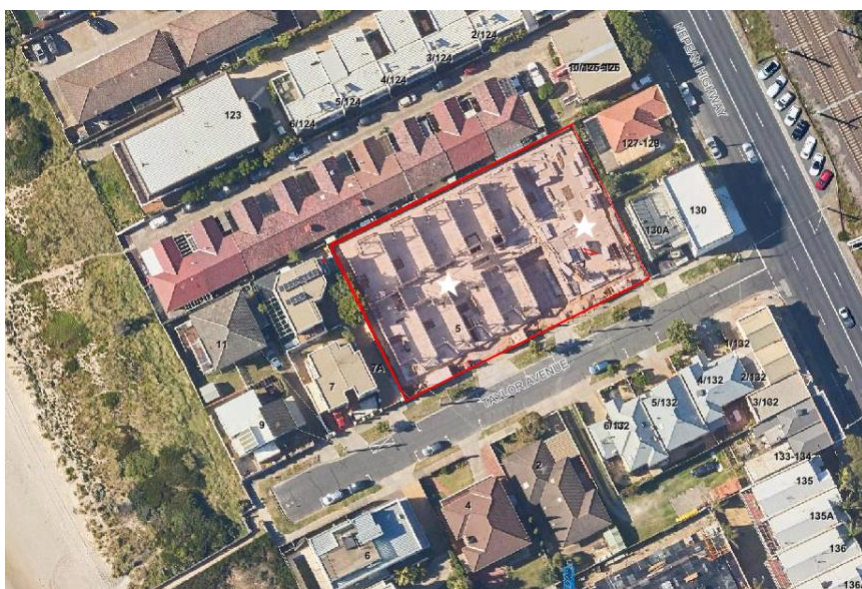


Built form	The subject site is currently under construction with the basement having been poured and some of ground floor walls of the development being erected.
Size (m²)	1876m ²
Topography	The land has been benched to prepare the development. therefore, the site is now generally flat. At the time of the original approval it sloped west (4.86 AHD) to east (3.72 AHD) and north (5.00 AHD) to south (3.72 AHD).
Fencing	All boundary fencing is timber paling except for a brick fence located at the rear section of west property boundary. Further details of fencing is found at Clause 55 assessment of Standard B22 at Section 12.32 within this report.
Vegetation	The subject site is void of any significant vegetation

Easements	The site is encumbered by a 2 metre wide sewerage easement extending along part of the eastern side boundary known as E1 and a 0.61 metre wide carriageway easement on the same boundary known as E2.
Footpath assets/ access	Three (3) existing Street Trees, two (2) power poles, two (2) crossovers, one (1) Telstra Pit and a manhole are located with the footpath on the eastern side of the property frontage.

3.0 SURROUNDING ENVIRONS

3.1 The following map illustrates the subject site in its surrounding context.



3.2 Land directly abutting the subject site and opposite is described as follows:

North	No. 125-126 Nepean Highway is developed for apartments and villa units. A three storey brick building is oriented to Nepean Highway, with nine (9) single storey units, in attached built form extending along the length of the site. Primary access to the site is along its northern side boundary, with the private open spaces of the nine villa units located along the southern boundary (shared boundary with the subject site) with an approximate width of 2.5 metres.
North-East	No. 127-129 Nepean Highway is occupied by a single storey dwelling with a hipped tiled roof form. Access to the site is from Nepean Highway. Private open space is located to the south and rear of the site.
East	No. 130A Nepean Highway is occupied by a two storey (not including basement) dwelling, with a roof deck. It is a contemporary design, finished with rendered walls. The site is accessed to its partly sunken basement via a centrally located crossover.
South	On the opposite side of Taylor Avenue are five (5) residential dwellings and driveway access to 133 – 134 Nepean Highway, currently occupied by a Café.

West

No. 7 and 7a Taylor Avenue is occupied by two double storey dwellings with rendered walls and flat roof forms. The site has two crossovers – one located towards each side boundary.

4.0 PROPOSAL

4.1 It is proposed to amend the approved development plans via a section 72 amendment to:

- decrease the overall building height by 3.06m from an endorsed height of 13.73 AHD to 10.67 A.H.D.
- increase of the height of the second story (parapet) by 70mm incorporating the following changes:
 - Increase to the ground floor finished floor level (FFL) by 470mm resulting in a 420mm increase in height.
 - Reduction to the thickness between ground floor and first floor of 50mm.
 - Reduction to the thickness of the roof by 350mm.
- delete the rooftop atrium and deck.
- increase FFL of the alfresco areas by 470mm.
- provide a fence on the boundary that is at least 1.8m above the finished floor level of the ground floor, to act as a visual barrier to adjoining properties to the north;
- provide a 750mm overlooking screen to the top of the living room windows; and
- supersede the endorsed landscape plan with an amended landscape plan prepared by Memla Pty. Ltd., project number LC2449 Drawing 1 and 2 of 2, dated 12/6/2020.

5.0 PLANNING PERMIT PROVISIONS

Zone

- 5.1 **General Residential Zone (Schedule 2):** Pursuant to Clause 32.08-4 of the Kingston Planning Scheme, a planning permit is required to construct two or more dwellings on a lot. The proposed amendment must meet the requirements of Clause 55 of the Scheme. Schedule 2 to the General Residential Zone includes a variation to one (1) standard within Clause 55. It is noted that the apartment standards of Clause 55.07 do not apply to the amendment, as the original application was lodged before the approval date of Planning Scheme Amendment VC136 (24 July 2019).
- 5.2 **Commercial 1 Zone:** Pursuant to Clause 34.01-4 of the Kingston Planning Scheme, a planning permit is required to construct a building or construct and carry out works. Its noted that the apartment standards of Clause 58 do not apply to the amendment, as the original application was lodged before the approval date of Planning Scheme Amendment VC136 (24 July 2019).

Overlay

- 5.3 **Design Development Overlay Schedule 1 (DDO1):** Pursuant to Clause 43.02-2 and Schedule 1 to the overlay developments must not exceed two storeys in height (including a basement that is no more than 1.2m above natural ground level) and there is a permit requirement if the internal floor to ceiling heights exceed 3.5m. The proposed development therefore does not require a permit and complies with the mandatory provisions of the overlay for the following reasons:
- The proposed basement measured conservatively from the lowest point on the site to the Finished floor level (FFL) of the ground floor has a maximum height of 1.05m above natural ground level, which 150mm under the maximum allowable basement protrusion;
 - The proposal does not exceed two stories in height as the basement is less than 1.2m in height; and
 - The proposed development has internal floor to ceiling heights of 2.7m which is 800mm per level less than the permit requirement of the overlay.
- 5.4 **Design Development Overlay Schedule 7 (DDO7):** This overlay relates to a foreshore boundary of 4.5 metres where the site abuts or adjoins the foreshore. Whilst the DDO7 applies to the site an assessment against its provisions are not relevant to the application as the site does not adjoin the foreshore.

Particular Provisions

- 5.5 **Clause 52.06 - Car Parking:** The amendment does not propose to alter the number of carparking space, number of dwellings, or number of bedrooms, therefore any consideration for the provision of onsite parking therefore cannot be considered.
- 5.6 It is proposed to alter the gradient of the basement ramp. The revised design of the basement ramp is required to comply with the relevant standards of Clause 52.06-8.
- 5.7 It is also noted that since the original development was approved the subject site has now been nominated within a Principle Public Transport Network (PPTN) and that while the proposal does not seek any change to the parking provisions, the proposed development no longer requires the five (5) residential visitor parking spaces that is proposed to be provided.
- 5.8 **Clause 55 - Two or More Dwellings on a Lot & Residential Buildings:** The proposed amendments are required to be assessed against the relevant standards of this provision, Council must be mindful of what is currently approved in consideration of the proposal as the assessment is only limited to the proposed amendments.
- 5.9 The proposal has been assessed against the objectives and standards of Clause 55 (ResCode) of the Kingston Planning Scheme. Clause 55 requires that a development must meet all of the objectives, and all of the standards of this clause should be met. Variations to the standards are able to be considered where it is determined that the overall objective is met.
- 5.10 The table at section 12.32 of the report provides a detailed discussion, where relevant, for any standards where concessions are sought. Overall, it is noted that the application achieves a high level of compliance with the Clause 55 provisions.

General Provisions

- 5.11 The Decision Guidelines of **Clause 65.01** of the Kingston Planning Scheme are relevant to this application and require consideration to be given to a variety of matters including planning scheme policies, the purpose of the zone, orderly planning and the impact on amenity.

6.0 RELEVANT POLICIES

6.1 Planning Policy Framework (PPF)

- Clause 11 Settlement
- Clause 15 Built Environment and Heritage
- Clause 16 Housing
- Clause 17 Economic Development

6.2 Local Planning Policy Framework (LPP)

- Clause 21.07 Housing
- Clause 21.08 Economic Development
- Clause 22.06 Residential Development Policy
- Clause 22.12 Stormwater Management
- Clause 22.13 Environmentally Sustainable Development

Other

- 6.3 Neighbourhood Character Area Guidelines (Incorporated Document under **Clause 21.07** – Residential Land Use of the LPPF). The land is located within Area 65 of the Neighbourhood Character Guidelines.
- 6.4 Design Contextual Housing Guidelines (April 2003 – reference document within **Clause 22.06** – Residential Development Policy). The Design Contextual Housing Guidelines offer a range of design techniques and suggestions to assist with residential design, which is responsive to local character.

7.0 ADVERTISING

- 7.1 The proposal was advertised by sending notices to adjoining and opposite property owners and occupiers and by maintaining a notice on site for fourteen (14) days. Nine (9) objections and one (1) support to the proposal was received. The grounds of objection raised are summarised as follows:
 - Overlooking - Height of the proposed Northern boundary fence
 - Noise – from proposed dwellings and Location of air-conditioning units
 - Landscaping
 - Overall height increase
 - Flooding of basement

8.0 PLANNING CONSULTATION MEETING

- 8.1 A planning consultation meeting was held on 16 June 2021 with the relevant Planning Officer, the Permit Applicant, two of the owners and seven (7) objectors in attendance. The above-mentioned issues were discussed at length.

9.0 SECTION 57A – AMENDMENT TO PLANS

- 9.1 There were no formal amendments made by the permit applicant post the advertising period.

9.2 Following the preliminary conference meeting the Permit Applicant lodged amended plans on 21 June 2021 pursuant to Section 57A of the *Planning and Environment Act 1987*. The amended plans incorporated the following changes:

- Reduction in proposed building height by 400mm so that the proposal now seeks to increase to the building parapet by 70mm from endorsed levels.
- Deletion of the proposed vertical garden and existing fence to be replaced by fence that is a minimum 1.8m high above the FFL level of the ground floor.
- Landscape plan updated in accordance with the agreement made between property owners.
- Relocation of the proposed AC condensers
- Acoustic fencing provided to all AC condensers
- The submission of an amended landscape plan prepared by Memla Pty. Ltd., project number LC2449 Drawing 1 and 2 of 2, dated 12/6/2020

9.3 It is these plans that form the basis of this recommendation and are described at section 4 of this report.

10.0 REFERRALS

10.1 The application was referred as set out in the tables below.

Internal Referrals

Department / Area	Comments
Council's Vegetation Management Officer	No objection subject to conditions included on any permit issued requiring a modified landscape plan to be submitted. These conditions are included in the recommendation as conditions 1y and 3
Council's Development Engineer	No objection raised, subject to updated civil drawings and stormwater management plan being submitted to reflect the proposed changes. These conditions are included in the recommendation as conditions 1p and 35 - 39
Traffic Engineer	No objection raised by councils traffic engineer subject to a condition requiring the basement ramp to have a 1:10 gradient for the first 5m, this has been included as Condition 1v.
ESD Advisor	Councils ESD advisor has no objection to the proposal but has requested that an updated Sustainability Management Plan be submitted prior to the endorsement of the plans. This condition has been included as conditions in the recommendation, those conditions being conditions 1q and 8
Waste	Councils waste officer has no objection to the proposal and stated that the endorsed waste management plan is satisfactory.

External Referrals

Department	Section 52/55	Determining / Recommending	Objection	Comments
Melbourne Water	52	Recommending	None	Subject to conditions included verbatim within the recommendation

11.0 PLANNING CONSIDERATIONS:

Planning Policy Framework

- 11.1 The State Planning Policy Framework sets out the relevant state-wide policies for residential development at **Clause 11** (Settlement), **Clause 15** (Built Environment and Heritage), **Clause 16** (Housing) and **Clause 17**. Essentially, the provisions within these clauses seek to achieve the fundamental objectives and policy outcomes sought by 'Plan Melbourne 2017-2050: Metropolitan Planning Strategy' (Department of Environment, Land, Water and Planning, 2017).
- 11.2 The settlement policies at **Clause 11** seek to promote sustainable growth and development and deliver choice and opportunity through a network of settlements. Of particular relevance to housing, **Clause 11** promotes housing diversity and urban consolidation objectives in the established urban realm. **Clause 11.02-1S** (Supply of urban land) states that Planning Authorities should plan to accommodate projected population growth over at least a 15 year period, taking account of opportunities for redevelopment and intensification of existing urban areas as well consideration being had for environmental aspects, sustainable development and the costs associated with providing infrastructure. This clause states:
- Planning for urban growth should consider:*
- Opportunities for the consolidation, redevelopment and intensification of existing urban areas.
 - Neighbourhood character and landscape considerations.
 - The limits of land capability and natural hazards and environmental quality.
 - Service limitations and the costs of providing infrastructure.
- 11.3 **Clause 11.01-1R1** (Settlement – Metropolitan Melbourne) and **Clause 11.03-1S** (Activity centres) places particular emphasis on providing increased densities of housing in and around activity centres or sites that have good access to a range of services, facilities and transport options.
- 11.4 **Clause 11.02** (Managing Growth) main directive is to ensure a sufficient supply of land is made available for a variety of purposes, including residential. To achieve this, it takes into account sufficient land availability to meet forecasted demand. **Clause 11.03-1S** places particular emphasis on providing a diversity of housing, including forms of higher density housing, in defined activity centres to cater for different households that are close to jobs and services.
- 11.5 **Clause 15** (Built Environment and Heritage) aims to ensure all new land use and development appropriately responds to its landscape, valued built form and cultural context, and protects places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.

- 11.6 Policies pertaining to urban design, built form and heritage outcomes are found at Clause 15 of the Planning Policy Framework. Of particular significance, **Clause 15.01-1S** (Urban design) and **Clause 15.01-1R** (Urban Design – Metropolitan Melbourne) encourages development to achieve high quality architectural and urban design outcomes that contribute positively to neighbourhood character, minimises detrimental amenity impacts and achieves safety for future residents, and the community, through good design. The provisions of **Clause 15.02** (Sustainable Development) promotes energy and resource efficiency through improved building design, urban consolidation and promotion of sustainable transport.
- 11.7 **Clause 15.03-2S (Aboriginal Cultural Heritage)** seeks to ensure the protection and conservation of places of Aboriginal cultural heritage significance.
- 11.8 The proposal **is** located within an area nominated as having aboriginal cultural heritage significance, however pursuant to regulation 19a of the *Aboriginal Cultural Regulations 2018* the proposed amendment does not require the submission of a Cultural heritage management Plan as significant ground disturbance has occurred on the subject site.
- 11.9 Housing objectives are further advanced at **Clause 16**. This Clause aims to encourage increased diversity in housing to meet the needs of the community through different life stages and respond to market demand for housing. In much the same vein as **Clause 11**, this Clause advances notions of consolidation of existing urban areas, particularly in and around activity centres and employment corridors that are well served by all infrastructure and services.
- 11.10 The policies contained within **Clause 16.01-3S** (Housing diversity) encourage the provision of range of housing types to meet the increasingly diverse needs of the community. Emphasis is placed on development of well-designed medium density housing with respect to neighbourhood character. Further, this Clause aims to make better use of the existing infrastructure and provide more energy efficient housing. **Clause 16.01-4S** (Housing affordability) raises the objective of delivering more affordable housing closer to jobs, transport and services.
- 11.11 The policies contained within **Clause 17** (Economic Development) aim to provide for a strong and innovative economy, where all sectors are critical to economic prosperity. It also stipulates that is to contribute to the economic wellbeing of the state and foster economic growth by providing land, facilitating decisions and resolving land use conflicts, so that each region may build on its strengths and achieve its economic potential.
- 11.12 It is considered that the proposed amendment to the planning permit remains in accordance with above policies and objectives as the overall design, scale and use of the subject site is generally in keeping with the original development.

Local Planning Policy Framework

- 11.13 The City of Kingston's MSS at **Clause 21.07 – Housing** of the Kingston Planning Scheme, seeks to provide guidance to development in residential zoned land, mixed use zoned land and land within activity centres. The Residential Land Use Framework Plan illustrates the range of housing outcomes sought across the City of Kingston.
- 11.14 Relevant objectives and strategies in **Clause 21.07-1: Residential Development** include:
- To provide a range of housing types across the municipality taking account of the differential capacity of local areas to accommodate different types and rates of housing change.

- To manage the interface between residential development and adjoining or nearby sensitive and strategic land uses.
 - To ensure new residential development respects neighbourhood character and is site responsive, and that medium density dwellings are of the highest design quality.
 - To promote more environmentally sustainable forms of residential development
 - To ensure residential development does not exceed known physical infrastructure capacities.
 - To ensure all residential neighbourhoods in Kingston are provided with supporting social infrastructure adequate to the population's needs.
- 11.15 Council's Local Planning Policy at **Clause 21.07** essentially reinforces State Planning Policy relevant to housing, stressing the need to encourage urban consolidation in appropriate locations and to accommodate projected population increases.
- 11.16 **Clause 22.06 - Residential Development Policy** extends upon the provision contained at **Clause 21.07 - Residential Land Use**, relating to increased housing diversity areas, incremental housing change areas, minimal housing change areas, residential renewal areas and neighbourhood character. It provides design guidance on how new residential development should achieve architectural and urban design outcomes that positively respond to neighbourhood character.
- 11.17 Relevant objectives in **Clause 22.06-2 Residential Development Policy** include:
- To promote a managed approach to housing change, taking account of the differential capacity of local areas in Kingston to accommodate increased housing diversity, incremental housing change, residential renewal or minimal housing change, as identified within the MSS.
 - To encourage new residential development to achieve architectural and urban design outcomes that positively respond to neighbourhood character having particular regard to that identified in the Kingston Neighbourhood Character Guidelines – August 2007.
 - To promote on-site car parking which is adequate to meet the anticipated needs of future residents.
 - To ensure that landscaping and trees remain a major element in the appearance and character of the municipality's residential environments.
 - To limit the amount and impact of increased stormwater runoff on local drainage systems.
 - To ensure that the siting and design of new residential development takes account of interfaces with sensitive and strategic land uses.
- 11.18 **Clause 22.19 (Public Open Space Contributions)** forms the prevailing policy that guides Council to apply a land or cash public open space contribution, which is applicable to all subdivision applications. This policy identifies the important role that contributions play in funding new open space areas and facilitating capital improvements to existing public open space to meet the needs of the future population growth in Kingston.

- 11.19 Whilst the application at hand does not propose to subdivide the land, it is imperative to identify at this stage of the process whether a public open space contribution requirement is likely to be applied should the site be subdivided at a later date and, if so, whether the land is located in a 'cash' or 'land' preferred area. If in a land preferred area, the proposed design and layout must be considered as it will ultimately shape the subdivision configuration and whether any land is set aside for public open space purposes.
- 11.20 The subject site is located in area 65, which is a Cash Contribution Preferred Area on Map 1 of this clause.
- 11.21 As the site is located in a 'cash' preferred area, the public open space contribution requirements will be considered and advanced at the subdivision stage of the process. As such, there is no need to consider this matter any further at this point in time.
- 11.22 It is considered that the proposed amendment to the planning permit remains in accordance with above policies and objectives as the overall design, scale and use of the subject site is generally in keeping with the original development. A detailed analysis of the direct amenity impacts to adjoining dwellings and the street is discussed in the Clause 55 assessment, later within this report.
- 11.23 **Clause 22.12 – Stormwater Management** is applicable to the consideration of medium and large scale developments as specified within Table 1 of the policy. This clause seeks to improve the quality and reduce the impact of stormwater run-off, incorporate the use of WSUD principles in development and to ensure that developments are designed to meet best practice performance objectives.
- 11.24 In relation to Clause 22.12 Councils Engineering Team has considered the amendments and raised no objection to the proposed changes subject to conditions being included on any permit issued relating updated stormwater plans and a stormwater management plan being submitted for endorsement. This requested has been included as Condition 1p and 35 - 39 within the recommendation.
- 11.25 **Clause 22.13 Environmentally Sustainable Development (ESD)** policy applies to the consideration of residential development of 3 or more dwellings. Councils ESD advisor has reviewed the proposed changes in comparison with the endorsed Sustainability Management Plan (SMP) and has raised no objection to the proposal subject to conditions being included on any permit issued relating to an updated SMP being submitted for endorsement. This request has been included as Condition 1q within the recommendation

Zoning Provisions

- 11.26 Pursuant to **Clause 32.08-4**, a lot must provide for the minimum garden area as set out in the following table:

Lot Size	Minimum percentage of a lot set aside as garden area
400-500m ²	25%
501-650 m ²	30%
Above 650 m ²	35%

- 11.27 The proposed amendment does not propose to decrease or increase the garden area provided to the development and therefore its existing garden area of 27% is an accrued right and as such the development remains compliant garden area.

Overlay Provisions

- 11.28 The subject site is located within the **Design and Development Overlay Schedule 1 and 7**, as outlined earlier in this report at paragraph 5.3 and 5.4, the proposed amendments comply with the requirements of these overlays.

Particular Provisions



- 11.29 As identified earlier in Section 5.5-5.7 of this report the basement ramp is compliant and no change is proposed to the parking requirements, which means the car parking provisions at **Clause 52.06** cannot be considered as part of the proposal
- 11.30 Council's traffic engineer has also reviewed the proposed amendments and has no objection.

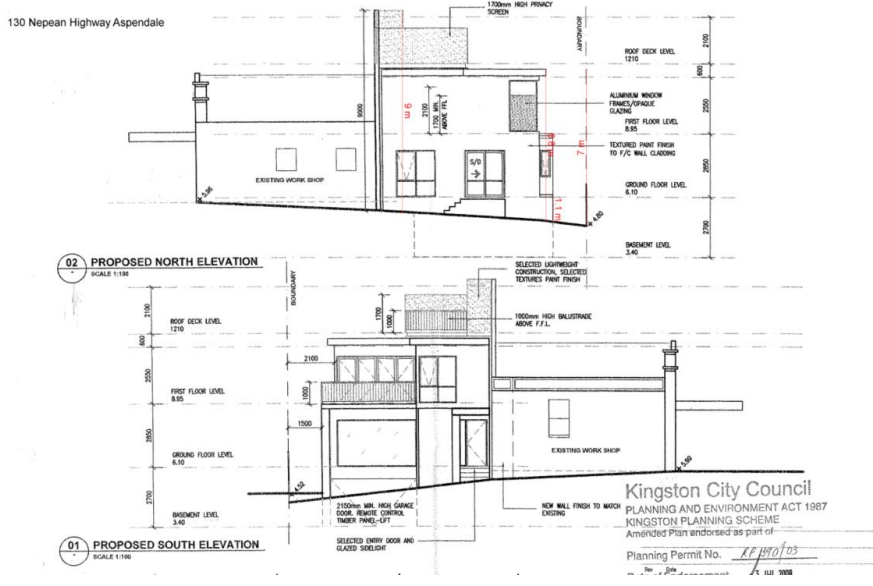


CLAUSE 55 (RESCODE ASSESSMENT)






- 11.31 The proposal has been assessed against the objectives and standards of **Clause 55** (ResCode) of the Kingston Planning Scheme (refer to Appendix A). **Clause 55** requires that a development **must** meet all of the objectives, and all of the standards of this clause **should** be met. Variations to the standards are able to be considered where it is determined that the overall objective is met.
- 11.32 The table below provides a detailed discussion, where relevant, for any standards where concessions are sought. Overall, it is noted that the application achieves a high level of compliance with the ResCode provisions, with only minor variation sought, specifically one (1) variation of the thirty-three (33) ResCode standards is sought.
- 11.33 **CLAUSE 55: RESCODE TABLE ASSESSMENT**


Two or more dwellings on a lot and residential buildings in a General Residential Zone – Schedule 2. *****MUST meet the objective, SHOULD meet the standard*****

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
Clause 55.02-1 Neighbourhood Character objectives <ul style="list-style-type: none"> To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character. To ensure that development responds to the features of the site and the surrounding area. 	Standard B1 <ul style="list-style-type: none"> The design response must be appropriate to the neighbourhood and site. The proposed design must respect the existing or preferred neighbourhood character and respond to site features. 	Complies with Standard & Objective
Assessment: The site sits within an established residential area with a variety of styles and built form. A similar character can be found on the Nepean Highway side of the Frankston Railway Line from		

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
<p>Aspendale to Bonbeach, which correlates with Area 65 of Kingston Neighbourhood Character Guidelines.</p> <p>The existing character of the area is varied with existing presence of apartments, multi-unit and single dwelling developments. All these typologies on the beach side of railway line within 'Area 26' generally have a large built form consistent with the increased housing diversity development policy for the area as outlined at Clause 22.06 of the Scheme.</p> <p>All dwellings within Taylor Avenue except for 2a Taylor Avenue have large double storey-built form of both contemporary and traditional styles, mainly consisting of building envelopes with little to no articulation at the first floor. This built form can be found at the following sites located in close proximity of the subject site.</p> <ul style="list-style-type: none"> 125 -126 Nepean Highway – contains a three-storey apartment building with sheer walls at the front of the site facing Nepean highway. See site photo below: 		
		
<ul style="list-style-type: none"> 130 Nepean Highway Aspendale – contains a two-storey sheer walled office building. See site photo below: 		
		
<ul style="list-style-type: none"> 130a Nepean Highway Aspendale – as described earlier in the report, contains a two storey dwelling with a basement that protrudes 1.1m above natural ground level. The overall building height of which includes its stairwell access to the rooftop deck that is 9.03m in height. The total height of the buildings parapet is 6.81m which sits at 11.82AHD. The development also contains a modern design with sheer walls. See plans and photo's below: 		

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
	<p>130 Nepean Highway Aspendale</p> 	 <ul style="list-style-type: none"> 132 Nepean Highway Aspendale – Contains three (3) double storey attached dwellings with no breaks between the dwellings. These dwellings are provided with pitched roofs that have an overall building height of 7.92m and a maximum parapet height of 7.4m. See plans and site photo below: 

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
	 <ul style="list-style-type: none"> Number 4 Taylor Avenue Aspendale – contains a large double storey dwelling with sheer walls and a first floor balcony. See streetscape photo below:  <ul style="list-style-type: none"> No 6 Taylor Avenue Aspendale – contains a large double storey contemporary style dwelling with sheer walls. The dwelling has a maximum building height of 8.98m and a parapet height 6.8m. See streetscape photo below:  <ul style="list-style-type: none"> No 7, 7a, 9 and 11 Taylor Avenue -contain four (4) double storey dwellings. Notably no 7 and 7a Taylor avenue are a contemporary style and are designed with sheer walls which abut the subject site. See streetscape photos below: <div style="display: flex; justify-content: space-around;">   </div>	

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
 <p>The proposed deletion of the rooftop atrium and increase in parapet height of 70mm results in an overall decrease to the total height of the proposed development by 3.06m, which is considered to be a substantial net decrease to overall bulk of the development. This net decrease is considered to result in a more appropriate response to the streetscape character and is therefore supported.</p> <p>The proposed increase to the height of parapet in consideration of the street context is considered reasonable. The height of proposed parapet will be 11.17 AHD which steps down from the first floor parapet of No. 130a Nepean Highway which is 11.82 A.H.D, mimicking the Natural topography of the street which slopes down towards the subject site.</p> <p>The maximum building height of the proposed development, at 6.74m, is also considered to be more in keeping with the street as it is now proposed to be lower than other existing dwelling within the street including No 6. Taylor Avenue and No. 132 Nepean Highway, which present a far bulkier built form due to the massing of their pitched roofs.</p> <p>The proposed amendments to the height of the building remains in keeping with the neighbourhood character of the area and is supported.</p>		
<p>Clause 55.02-2 Residential Policy objectives</p> <ul style="list-style-type: none"> To ensure that residential development is provided in accordance with any policy for housing in the MPS and the PPF. To support medium densities in areas where development can take advantage of public transport and community infrastructure and services. 	<p>Standard B2</p> <ul style="list-style-type: none"> An application must be accompanied by a written statement that describes how the development is consistent with relevant housing policy in the PPF & MPS 	<p>Complies with Standard & Objective</p>
<p>Assessment: Section 11.2 of this report outlines the policy at Clause 22.06, which is based on the principles outlined in the <i>Kingston Residential Strategy (September 2000)</i> and <i>Kingston Neighbourhood Character Guidelines (August 2007)</i>. In unity with the policy premise of the <i>Kingston Residential Strategy</i>, Clause 22.11 seeks to provide a managed approach to housing change, taking account of the differential capacity of local areas in Kingston to accommodate increased housing diversity, incremental housing change, residential renewal or minimal housing change, as identified within the MSS</p> <p>Clause 22.06 nominates the site and its surrounds in a General Residential Zone Schedule 2 area for Increased Housing, and states:</p> <p><i>Encourage increased residential densities and a wider diversity in housing types and sizes in areas which are within convenient walking distance of public transport and activity centres. These</i></p>		

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
<p><i>areas are identified for 'increased housing diversity' on the Residential Framework Plan within the MSS.</i></p> <p>For the reasons outlined in Standard B1 above It is considered that the proposed amendments generally comply and satisfy the Scheme's Planning Policy Framework guidelines which aim to encourage well-designed medium density housing in appropriate locations.</p>		
<p>Clause 55.02-3 Dwelling Diversity objective To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</p>	<p>Standard B3 Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:</p> <ul style="list-style-type: none"> • Dwellings with a different number of bedrooms. • At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level. 	<p>N/A</p>
<p>Assessment: The proposed amendments do not alter the size of number of dwelling proposed, this standard therefore cannot be considered.</p>		
<p>Clause 55.02-4 Infrastructure objectives</p> <ul style="list-style-type: none"> • To ensure development is provided with appropriate utility services and infrastructure. • To ensure development does not unreasonably overload the capacity of utility services and infrastructure. 	<p>Standard B4</p> <ul style="list-style-type: none"> • Connection to reticulated services/sewerage, electricity, gas and drainage services • Capacity of infrastructure and utility services should not be exceeded unreasonably • Provision should be made for upgrading and mitigation of the impact of services or infrastructure where little or no spare capacity exists 	<p>Complies with Standard & Objective subject to conditions</p>
<p>Assessment: It is recommended that suitable condition(s) (1p and 35-39) be included in any permit issued to address infrastructure considerations as per the referral advice from Council's Development Engineering team.</p>		
<p>Clause 55.02-5 Integration with the street objective</p> <ul style="list-style-type: none"> • To integrate the layout of development with the street. 	<p>Standard B5</p> <ul style="list-style-type: none"> • Provides adequate vehicle and pedestrian links that maintain or enhance local accessibility. • Development oriented to front existing/proposed streets • High fencing in front of dwellings should be avoided if practicable. • Development next to existing public open space should be laid out to complement the open space. 	<p>Complies with Standard and meets Objective</p>
<p>Assessment: The proposed amendments do not significantly alter how the development integrates with the street and the development is therefore considered to maintain compliance with this standard.</p>		
<p>Clause 55.03-1 Street setback objective</p> <ul style="list-style-type: none"> ▪ To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site. 	<p>Standard B6 Walls of buildings should be set back from streets:</p> <ul style="list-style-type: none"> ▪ If no distance is specified in a schedule to the zone, the distance specified in Table B1 	<p>N/A</p>

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
Assessment: There is no proposed change relative to this standard, this standard is not applicable.		
Clause 55.03-2 Building height objective <ul style="list-style-type: none"> To ensure that the height of buildings respects the existing or preferred neighbourhood character. 	Standard B7 Maximum: 11 metres Proposed: 6.74 metres	Complies with Standard & Objective
<p>Assessment: Maximum building height is measured from the natural ground level directly under the highest point of the development. The endorsed development's highest point was the top of the atrium measured from the ground below it is was 9.54m and the new highest point of the proposed development is the west facing wall is 6.74m high resulting in a maximum building height reduction of 2.8m. Its noted that the standard allows for an additional 4.26m in total height.</p> <p>For clarity it is also noted that the difference in maximum height at 2.8m differs from what was previously stated as the height difference in AHD of 3.06m. This is because the highest point of the development shifted to a different point on the site which had a lower natural ground level than the previous highest point which resulted in the difference in height seemingly less that what is proposed.</p>		
Clause 55.03-3 Site Coverage objective <ul style="list-style-type: none"> To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site. 	Standard B8 Maximum: GRZ2 – 60%	N/A
Assessment: There is no proposed change relative to this standard, this standard is not applicable.		
Clause 55.03-4 Permeability objectives <ul style="list-style-type: none"> To reduce the impact of increased stormwater run-off on the drainage system. To facilitate on-site stormwater infiltration. 	Standard B9 At least: 20%	N/A
Assessment: There is no proposed change relative to this standard, this standard is not applicable.		
Clause 55.03-5 Energy Efficiency objectives <ul style="list-style-type: none"> To achieve and protect energy efficient dwellings and residential buildings. To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy. 	Standard B10 Orientation, siting & design of buildings should make appropriate use of solar energy. Further, siting & design should ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. Living areas & private open space should be located on the north side of the development, if practicable. Solar access to north-facing windows is maximised.	Complies with Standard & Objective subject to conditions
Assessment: Once an amended SMP is submitted to include the proposed changes as per Condition 1q in the recommendation the proposal will comply with this standard.		

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
Clause 55.03-6 Open Space objective <ul style="list-style-type: none"> To integrate the layout of development with any public and communal open space provided in or adjacent to the development. 	Standard B11 Public or communal open space should: <ul style="list-style-type: none"> Be substantially fronted by dwellings Provide outlook for dwellings Be designed to protect natural features. Be accessible and useable. 	N/A
Assessment: There is no proposed change relative to this standard, this standard is not applicable.		
Clause 55.03-7 Safety objectives <ul style="list-style-type: none"> To ensure the layout of development provides for the safety and security of residents and property. 	Standard B12 Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways. Planting should not create unsafe spaces along streets and accessways Good lighting, visibility and surveillance of car parks and internal accessways should be achieved. Private spaces should be protected from inappropriate use as public thoroughfares.	Complies with Standard & Objective
Assessment: The proposed amendments do not raise any safety concerns applicable to this standard and are supported.		
Clause 55.03-8 Landscaping objectives <ul style="list-style-type: none"> To encourage development that respects the landscape character of the neighbourhood. To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance. To provide appropriate landscaping. To encourage the retention of mature vegetation on the site. 	Standard B13 In summary, landscape layout & design should: <ul style="list-style-type: none"> Protect predominant landscape features of the neighbourhood. Take into account the soil type and drainage patterns of the site. Allow for intended vegetation growth and structural protection of buildings. Provide a safe, attractive and functional environment for residents. In summary, development should: <ul style="list-style-type: none"> Provide for the retention or planting of trees, where these are part of the character of the neighbourhood. Provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made. Specify landscape themes, vegetation (location and species), paving and lighting. 	Complies with Standard & Objective subject to conditions
Assessment: The application provides adequate space for the planting of various species, including canopy trees. As a condition of any permit issued, a detailed landscape plan will be required. Conditions 1y and 3 have been updated with regards to landscaping.		
Clause 55.03-9 Access objective	Standard B14 The width of accessways or car spaces should not exceed: <ul style="list-style-type: none"> 33 per cent of the street frontage, or if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage. 	N/A

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE				
<ul style="list-style-type: none">To ensure the number and design of vehicle crossovers respects the neighbourhood character.	No more than one single-width crossover should be provided for each dwelling fronting a street.					
	The location of crossovers should maximise the retention of on-street car parking spaces.					
	The number of access points to a road in a Road Zone should be minimised.					
	Access for service, emergency and delivery vehicles must be provided.					
Assessment: There is no proposed change relative to this standard, this standard is not applicable.						
Clause 55.03-10 Parking location objectives <ul style="list-style-type: none">To provide convenient parking for resident and visitor vehicles.To protect residents from vehicular noise within developments	Standard B15 Car parking facilities should: <ul style="list-style-type: none">Be reasonably close and convenient to dwellings and residential buildings.Be secure.Be well ventilated if enclosed. Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.	N/A				
Assessment: There is no proposed change relative to this standard, this standard is not applicable.						
Clause 55.04-1 Side and rear setbacks objective <ul style="list-style-type: none">To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.	Standard B17 A new building not on or within 200mm of a boundary should be set back from side or rear boundaries: <ul style="list-style-type: none">1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.	Variation sought & supported				
Assessment: The maximum height of the ground floor walls (excluding the north east ground floor wall associated with Apartment 11 minimum required setback of the ground floor walls) is 4.08m, which requires a setback from the property boundary of 1.14m. The minimum proposed setback of the ground floor walls is 1.88m, all ground floor walls (excluding apartment 11’s aforementioned wall) comply with the standard. The north east ground floor wall is located on the existing fence line of the proposed development however this fence is 380mm from the property boundary, meaning this wall is not technically considered a wall on boundary. Standard B18 and B17 have the objective to respect the existing or preferred neighbourhood character and limit the impact on the amenity of existing dwellings. While this wall is not technically a wall on boundary the wall is going to be built on the physical boundary of the site; and as such to assess whether this wall meets the objective it is worth considering the standards, objectives and decision guidelines of Standard B18, which will be discussed in that section of this report. The table below sets out the proposed, endorsed heights and required setbacks of the first floor walls pursuant to this standard, where the setback is in bold it does not comply:						
Wall	Endor sed height of wall (Max)	Endorsed setback of wall (min)	Required setback of endorsed plans	Proposed height of wall (max)	Setback of proposed wall (min)	Required setback of proposed wall

OBJECTIVE		STANDARD				LEVEL OF COMPLIANCE
East facing first floor wall	6.3m	2m	1.81m	6.37m	2m	1.831m
West facing first floor wall excluding balcony associated with apartment 18	6.74m	2.25m	1.94m	6.81m	2.25m	1.963m
West facing First floor wall of Apartment 18's balcony.	6.74m	1.47m	1.94m	6.81m	1.47m	1.963m
North facing balconies	4.9m	2.3m	1.39m	4.97m	2.3m	1.411m
North facing first floor walls	6.65m	4.71	1.89m	6.72m	2.21m	1.89m

The west facing wall variations are considered to have limited impact to impact the streetscape character and to the adjoining property to the west. This is evident, as the walls maintain the same setback as approved with only a minor increase to its height, which as discussed in Standard B1 is appropriate given its site context. The variation will also have limited impact to the adjoining property as the proposed developments shadowing complies with Standard B22 (see later section of report) and it abuts a driveway to the west which is a non-sensitive interface. The variation therefore meets the objective of the standard.

All side and rear setbacks comply with the objective of the standard, the proposed amendment is supported.

Clause 55.04-2 Walls on boundaries objective <ul style="list-style-type: none"> To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings. 	Standard B18 A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary: <ul style="list-style-type: none"> 10 m plus 25% of the remaining length of the boundary of an adjoining lot, or Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater. 	Complies with Standard & Objective
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Assessment: No walls are proposed to be on the boundary however as discussed earlier in the report the north east wall associated with Apartment 11 will be assessed against the standards of this provision as it is proposed to be built on the physical property boundary and as such the compliance with this standard would indicate that the wall meets the objective of Standard B17.

The length of this wall is not proposed to be altered and therefore this part of the standard cannot be considered.

The height of this wall was endorsed at 2.30m above the natural ground level at the title boundary, the proposed plans show a wall height of 2.72m above the natural ground level of the proposed boundary. The standard requires that walls on boundary should not exceed a total height of 3.20m. Whilst the proposed wall on boundary at 2.72m would comply with the standard the applicant has agreed to retain the original endorsed height of 2.30m and this is required by **Condition 1x**.

Clause 55.04-3 Daylight to existing windows objective <ul style="list-style-type: none"> To allow adequate daylight into existing habitable room windows. 	Standard B19 Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3m ² and minimum dimension of 1m clear to the sky.	Complies with Standard & Objective
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OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
	Walls or carports more than 3m in height opposite an existing habitable room window should be set back from the window at least 50% of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.	
Assessment: Given the axis of the allotment and siting of the development, the proposal will not have an unreasonable impact upon daylight to existing habitable room windows.		
Clause 55.04-4 North facing windows objective <ul style="list-style-type: none"> To allow adequate solar access to existing north-facing habitable room windows. 	Standard B20 Buildings should be setback 1m if an existing HRW is within 3m of the abutting lot boundary (add 0.6m to this setback for every metre of height over 3.6m & add 1m for every metre of height over 6.9m)	N/A
Assessment: There are no existing north facing windows applicable to this standard.		
Clause 55.04-5 Overshadowing open space objective <ul style="list-style-type: none"> To ensure buildings do not significantly overshadow existing secluded private open space 	Standard B21 Where sunlight to the SPOS of an existing dwelling is reduced, at least 75%, or 40m ² with min. 3m, whichever is the lesser area, of the SPOS should receive a min of 5hrs of sunlight btw 9am & 3pm on 22 September. If existing sunlight to the SPOS of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.	Complies with Standard & Objective
Assessment: The proposed development does not result in an unreasonable level of overshadowing to any existing SPOS areas.		
Clause 55.04-6 Overlooking objective <ul style="list-style-type: none"> To limit views into existing secluded private open space and habitable room windows. 	Standard B22 A HRW, balcony, terrace, deck or patio should be located & designed to avoid direct views into the SPOS of an existing dwelling within 9m (refer to clause for exact specifications). Where within it should be either: <ul style="list-style-type: none"> Offset a minimum of 1.5m from the edge of one window to the edge of the other. Have sill heights of at least 1.7m above floor level. Have fixed, obscure glazing in any part of the window below 1.7m above floor level. Have permanently fixed external screens to at least 1.7m above floor level & be no more than 25% transparent. 	Complies with Standard & Objective subject to conditions

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
	Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.	
	Screens used to obscure a view should be: <ul style="list-style-type: none"> ▪ Perforated panels or trellis with a maximum of 25% openings or solid translucent panels. ▪ Permanent, fixed and durable. ▪ Designed and coloured to blend in with the development. 	
	This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.	

Assessment:

All first-floor windows remain compliant with the standard as, where applicable, they have been provided with screening or obscure glazing which is 1.7m above the finished floor level (FFL).

Ground floor windows balconies and terraces that have FFL that are less than 800mm above ground level at the boundary and are provided with a visual barrier that is at least 1.8m above the natural ground level (NGL) on the boundary do not require any additional screening.

The proposed terrace associated with Apartment 5 facing west is proposed to have a FFL of 670mm above the endorsed NGL at the property boundary and it is proposed to erect a new fence on the west boundary that is 2.6m above the ground level and 1.94m above the FFL level of the deck. The proposed terrace facing west complies with the standard.

The proposed west facing habitable room windows and glass doors have FFL which are 770mm above the endorsed NGL at the property boundary and it is proposed to erect a new fence on the west boundary that is 2.6m above the ground level and 1.84m above the FFL level of the deck. The proposed windows and glass doors facing west comply with the standard.

It is noted that the proposed west property boundary fence has not been clearly shown on the proposed plans and that **Condition 1r** has been included in the recommendation for this to be clearly shown.

The proposed terrace associated with Apartment 11 facing east has a FFL of 230mm below the endorsed NGL and it is proposed to retain the existing fence on the boundary which is 1.78m above the endorsed NGL and 2.01m above the FFL of the terrace. This is considered to meet the objective of the standard as the fence would prevent overlooking from the terrace with it acting as a visual barrier which is 2.01m above its FFL.

The proposed ground floor habitable room window facing east associated with Bedroom 1 of Apartment 11 has a FFL of 135mm above the endorsed NGL and the existing fence opposite this window is 2.14m above the NGL on the boundary and 2.005 above the FFL of the bedroom. The overlooking for this window complies with the standard.

It is noted that the fencing to the east has not been clearly illustrated, annotated or dimensioned on the proposed plans. **Condition 1s** has been included on the plans for this to be shown clearly.

The proposed terraces and habitable room windows on the ground floor facing north have FFL levels that are 670mm and 770mm above the endorsed NGL, respectively. On the associated boundary it is proposed to construct a fence which is 1.8m above the natural ground level the ground floor level of the proposed development, the total height of this fence will be a minimum 2.665m high. This fence complies with the standard and at 1.8m high above the FFL of the ground floor will obscure views to the adjoining

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
<p>properties to the north. This design solution was agreed upon at the public consultation meeting held on 16 June 2021 and it is considered that this addresses the concerns raised by the objectors relating to overlooking.</p> <p>It is noted that the proposal has two options for the fence on the northern boundary. The objectors have confirmed that they prefer the 'block wall' option and the applicant has agreed to a condition being included on the permit that will require the amended plans to show only the block wall. This condition has been included in the recommendation at Condition 1w.</p>		
<p>Clause 55.04-7 Internal views objective</p> <ul style="list-style-type: none"> To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development. 	<p>Standard B23</p> <p>Windows and balconies should be designed to prevent overlooking of more than 50% of the SPOS of a lower-level dwelling or residential building directly below and within the same development.</p>	<p>Complies with Standard & Objective</p>
<p>Assessment: No unreasonable internal overlooking will occur.</p>		
<p>Clause 55.04-8 Noise impacts objectives</p> <ul style="list-style-type: none"> To contain noise sources in developments that may affect existing dwellings. To protect residents from external noise. 	<p>Standard B24</p> <p>Noise sources should not be located near bedrooms of immediately adjacent existing dwellings.</p> <p>Noise sensitive rooms and SPOS of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.</p>	<p>N/A</p>
<p>Assessment: The proposed amendments will have no impact to the noise sources generated by the proposal.</p>		
<p>Clause 55.05-1 Accessibility objective</p> <ul style="list-style-type: none"> To encourage the consideration of the needs of people with limited mobility in the design of developments. 	<p>Standard B25</p> <p>The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.</p>	<p>Complies with Standard & Objective</p>
<p>Assessment: There has been no significant change to in relation to this standard, it is considered that the proposed changes continue to meet the objective this standard.</p>		
<p>Clause 55.05-2 Dwelling entry objective</p> <ul style="list-style-type: none"> To provide each dwelling or residential building with its own sense of identity. 	<p>Standard B26</p> <p>Entries to dwellings and residential buildings should:</p> <ul style="list-style-type: none"> Be visible and easily identifiable from streets and other public areas. Provide shelter, a sense of personal address and a transitional space around the entry. 	<p>Complies with Standard & Objective</p>
<p>Assessment: There has been no significant change to in relation to this standard, it is considered that the proposed changes continue to meet the objective this standard.</p>		


OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
Clause 55.05-3 Daylight to new windows objective <ul style="list-style-type: none"> To allow adequate daylight into new habitable room windows. 	Standard B27 HRW should be located to face: <ul style="list-style-type: none"> Outdoor space clear to the sky or a light court with a minimum area of 3m² and min. dimension of 1m clear to the sky or Verandah provided it is open for at least 1/3 of its perimeter, or A carport provided it has 2 or more open sides and is open for at least 1/3 of its perimeter. 	Complies with Standard & Objective
Assessment: There has been no significant change to in relation to this standard, it is considered that the proposed changes continue to meet the objective this standard.		
Clause 55.05-4 Private open space objective <ul style="list-style-type: none"> To provide adequate private open space for the reasonable recreation and service needs of residents. 	Standard B28 GRZ2 - A dwelling or residential building should have POS consisting of: <ul style="list-style-type: none"> An area of 40m², with one part of the POS to consist of SPOS at the side or rear of the dwelling or residential building with a min. 25m², a min. dimension of 3m and convenient access from a living room, or A balcony of 8m² with a min. width of 1.6m and convenient access from a living room, or A roof-top area of 10m² with a min. width of 2m and convenient access from a living room. 	N/A
Assessment: There is no proposed change relative to this standard, this standard is not applicable.		
Clause 55.05-5 Solar Access to Open Space <ul style="list-style-type: none"> To allow solar access into the secluded private open space of new dwellings and residential buildings. 	Standard B29 The private open space should be located on the north side of the dwelling or residential building, if appropriate. The southern boundary of secluded private open space should be set back from any wall on the north of the space at least (2 + 0.9h) metres, where 'h' is the height of the wall.	N/A
Assessment: There is no proposed change relative to this standard, this standard is not applicable.		
Clause 55.05-6 Storage objective <ul style="list-style-type: none"> To provide adequate storage facilities for each dwelling. 	Standard B30 Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.	N/A
Assessment: There is no proposed change relative to this standard, this standard is not applicable.		
Clause 55.06-1 Design Detail objective <ul style="list-style-type: none"> To encourage design detail that respects the existing or preferred neighbourhood character 	Standard B31 The design of buildings, including: <ul style="list-style-type: none"> Facade articulation and detailing Window and door proportions, Roof form, and Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character. Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.	Complies with Standard & Objective
Assessment: As discussed in Standard B1 the overall design of the proposed development is considered remain in keeping with the neighbourhood character of the area.		

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
Clause 55.06-2 Front fences objective <ul style="list-style-type: none"> To encourage front fence design that respects the existing or preferred neighbourhood character. 	Standard B32 The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties. Schedule to GRZ2/3: A front fence within 3m of a street should not exceed: 2m for streets in a RDZ1 or 1.2m for other streets	n/A
Assessment: There is no proposed change relative to this standard, this standard is not applicable.		
Clause 55.06-3 Common property objectives <ul style="list-style-type: none"> To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained. To avoid future management difficulties in areas of common ownership. 	Standard B33 Developments should clearly delineate public, communal and private areas. Common property, where provided, should be functional and capable of efficient management.	N/A
Assessment: There is no proposed change relative to this standard, this standard is not applicable.		
Clause 55.06-4 Site services objectives <ul style="list-style-type: none"> To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive. 	Standard B34 Dwelling layout and design should provide sufficient space and facilities for services to be installed and maintained efficiently and economically. Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.	N/A
Assessment: There is no proposed change relative to this standard, this standard is not applicable.		

12.0 RESPONSE TO GROUNDS OF OBJECTIONS

12.1 The objector concerns have largely been addressed in the body of this report for clarity they are outlined below and elaborated on where necessary:

Ground(s)	Response
Overlooking - Height of the proposed Northern boundary fence	Overlooking as relative to this objection was discussed in the Clause 55 assessment Standard B22 at Section 12.33 of this report.

<p>Noise</p>	<p>An issue was raised by the objectors that the windows and glass doors of the proposed development should be double glazed. Double glazing was proposed in the endorsed drawings and this has not been proposed to be changed. The proposal satisfies this objection relating to double glazing.</p> <p>During the Public Consultation Meeting held on 16 June 2021 objections were raised relating to noise generation from the rooftop condensers. The objectors to north wanted them to be relocated to the south side of the development so that they were away from their dwellings, however the neighbours to the south were concerned regarding the visual impact of this to the street. The Permit applicant also mentioned that these will be provided with acoustic fencing which should prevent any noise from reaching the properties to the north. Following on from this meeting the applicant provided amended plans showing the condensers provided on top of each individual unit and added a note on the plans stating that each condenser is to be provided with acoustic fencing.</p> <p>The new locations for the condensers is not supported as it is considered that this will have significant impact to the streetscape and it is also considered the original location on the roof of the development combined with an acoustic fence around will provide sufficient sound insulation to adjoining properties. As such Condition 1t has been included in the recommendation that requires the acoustic barriers to be shown on the plans and the original position of the condensers on the northern roof be maintained. The original position is illustrated in the image below highlighted yellow:</p> 
<p>Landscaping</p>	<p>In response to the objector concern the applicant formally provided Council with the landscape plan prepared by Memla Pty. Ltd., project number LC2449 Drawing 1 and 2 of 2, dated 12/6/2020. This plan is deemed to satisfy the concerns raised by the objector.</p>
<p>Overall height increase</p>	<p>This concern was covered at the discussion relating to Standard B1, B2 and B7 of the Clause 55 assessment at Section 12.33 of this report.</p>
<p>Flooding of basement</p>	<p>Council's Development Engineering team has raised no issues with flooding to the basement subject to an updated plan being submitted to include the proposed changes. These are included within the recommendation to council as Condition 1p and Conditions 35 -39</p>
<p>Wall on the north east boundary</p>	<p>The applicant has agreed to lower the north east ground floor wall associated with Apartment 11 from 2.73m in height back to the endorsed levels of 2.3m. This change has been included in the recommendation as Condition 1x.</p>

13.0 CONCLUSION:

- 13.1 On balance, the proposed amendment is considered to substantially comply with the relevant planning policy and therefore should be supported.
- 13.2 As outlined above, it has been determined that prior to deciding on this application all factors pursuant to section 60(1) of the Act have been considered. Further to this, the proposal does not give rise to any significant social and economic effects.
- 13.3 The proposed amendments are considered appropriate for the Site, subject to conditions, as evidenced by:
- The compatibility of the design and siting with the surrounding area
 - The mitigation of off-site amenity impacts
 - A suitable level of compliance with all relevant policies, including **Clause 55** of the Kingston Planning Scheme.

14.0 RECOMMENDATION

- 14.1 That Council determine to Support the proposal and issue a **Notice of Decision to Grant an Amended Planning Permit** for the construction of one shop and 25 dwellings, use of the land for dwellings, and waiver of the requirement for a loading bay at 1 – 5 Taylor Avenue Aspendale 3195, subject to subject to the list of conditions detailed below (conditions in **bold** are amended from the original permit):

All to the satisfaction of the Responsible Authority.

- 1) **Before the development continues works amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be substantially in accordance with the amended plans prepared by SACBW, Job number SAC – 18417 dated 19/5/2021, revision I, Issue E., but modified to show:**
- a) abasement ramp longitudinal section with gradients, levels to Australian Height Datum and clearance heights;
 - b) **Deleted**
 - c) habitable room windows treated with obscure glazing nominated as fixed to a height of 1.7 metres above finished floor level;
 - d) details of the balcony screening on the north elevation, to consist of 1700mm high screening along the northern edge of the first floor balconies, and along the northern half of the western edge of those balconies;
 - e) the surface material of all driveways / accessways and car parking spaces nominated in all-weather coloured concrete sealcoat, or similar;
 - f) the location of any external clothes drying facilities, with these screened from public view;
 - g) full details and dimensions of the proposed bicycle parking area in the basement, with specifications of any proposed racks;
 - h) **Deleted**
 - i) any changes to the bin store area and access areas as required by the Waste Management Plan at Condition 13 of this Permit;
 - j) Relocation of the bin storage area for the shop to the basement. If necessary it would be appropriate to remove one car parking space from the basement to achieve this outcome;

- k) Deletion of the external doors to the goods store associated with the shop, and dedication of the space located between the shop and the eastern boundary of the site to a landscaped setback;
- l) An increased rear first floor setback of 4.714 metres and modified balcony design located above the projecting ground floor elements, and other amendments to the ground and first floors and elevations as set out in the amended plans TP-06, TP-07 and TP-09 issue date 15 February 2013 tabled during the Tribunal hearing;
- m) Widening of the bicycle access bay to a minimum of 2.2 metres, and associated reduction of the width of Visitor Space 1 to 2.6 metres if required;
- n) The provision of full height windows facing Taylor Avenue to the living rooms for Apartments 1, 2 & 3 and the Bedroom 1 for Apartment 4;
- o) Location of substation, if one is required;
- p) **An updated, comprehensive detailed drainage strategy of the site incorporating Water Sensitive Urban Design Treatments including rainwater re-use for toilet flushing, to the satisfaction of the Council;**
- q) **An updated sustainable design initiatives outlined in the endorsed Sustainable Management Plan (SMP) required by Condition 8 of this Permit;**
- r) **the proposed fence on the west property boundary clearly illustrated as a new 2.6m high boundary fence;**
- s) **The existing fence on the east property boundary to be clearly illustrated, annotated and dimensioned on the plans;**
- t) **The condensers to be shown on the northern half of the roof as per Revision I, Issue D of the plans prepared by SACBW, Job number SAC – 18417, these condensers are to be shown as being enclosed by acoustic fences;**
- u) **The proposed north boundary fence to be at least 1.8m high above finished floor level of the ground floor and designed to be no more than 25% transparent, with all other aspects of its design and finish to be determined as per *Fences Act 1968*;**
- v) **The first 5 metres of the basement ramp to have a gradient no steeper than of 1:10 to comply with Design standard 3 of Clause 52.06-9;**
- w) **Only the 'block wall' fence option on TP205;**
- x) **The north east facing ground floor wall associated with Apartment 11 lowered to 2.3m in height; and**
- y) **the provision of landscape plans substantially in accordance with the Memla Landscape Concept Plans 1 & 2 of 2 dated 19/11/2020, with such plans to be prepared to the satisfaction of the Responsible Authority and amended to show:**
 - i) **the deletion of the compacted layer at the base of the rear garden bed so that the substrate is directly on top of the natural ground;**
 - ii) **the Banksia integrifolia adjacent to the basement entrance ramp and the Banksia marginata located in the south-west corner of the site to swap places;**
 - iii) **the location of the two remaining Banksia integrifolia east of the basement entrance ramp to be moved west by one (1) metre;**
 - iv) **the plant list amended to so that the scheduled planted size of the two (2) Banksia integrifolia east of the entrance ramp is 4 metres;**
 - v) **Proposed front fences to be constructed on isolated pier footings systems (e.g. concrete stumps, steel columns);**

vi) Paving located in the front setback of Unit 4 to be reduced in size to provide an additional 2 m2 of garden area;

vii) Tree protection fencing for the three (3) *Banksia integrifolia* (Coast Banksia) street trees accurately drawn to scale and labelled.

All to the satisfaction of the Responsible Authority.

Endorsed Plans

- 2) The development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.

Vegetation Conditions

3) The two (2) *Banksia integrifolia* east of the entrance ramp are to be planted at a minimum of 4 metres in height; and

- 4) The landscaping works as shown on the endorsed landscape plan must be carried out and completed to the satisfaction of the Responsible Authority. Landscaping must then be maintained to the satisfaction of the Responsible Authority, including any dead, diseased or damaged plants are to be replaced.

5) *Deleted*

6) *Deleted*

7) *Deleted*

Environmental Sustainable Development

8) Prior to the endorsement of the amended plans an updated Sustainability Management Plan (SMP) that is generally in accordance with the SMP prepared by Efficient Energy Choices, revision 2 dated 24/9/2014 that demonstrates compliance with Clause 22.13 of the Kingston Planning Scheme, is to be prepared by a suitably qualified professional and be submitted to and approved by the Responsible Authority.

9) *Deleted*

Construction Management Plan

10) Before the commencement of any buildings and works on the Land, a Construction Management Plan (CMP), to the satisfaction of the Responsible Authority, must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed as evidence of its approval and will then form part of the permit and shall thereafter be complied with to the satisfaction of the Responsible Authority. The CMP must specify and deal with, but is not limited to, the following:

- a) a detailed schedule of works including a full project timing;
- b) a traffic management plan for the site, including when or whether any access points would be required to be blocked; an outline of requests to occupy public footpaths or roads, or anticipated disruptions to local services; and preferred routes for trucks delivering to the site;
- c) the location for the parking of all construction vehicles and construction worker vehicles during construction;
- d) delivery of materials including times for loading/unloading and unloading points; expected frequency; and details of where materials will be stored and how concrete pours would be managed;
- e) proposed traffic management signage indicating any inconvenience generated by construction;
- f) a fully detailed plan indicating where construction hoardings would be located;

- g) a waste management plan including the containment of waste on site, disposal of waste, stormwater treatment and on-site facilities for vehicle washing;
 - h) containment of dust, dirt and mud within the site and method and frequency of clean up procedures in the event of build up of matter outside the site;
 - i) business operations on the site during construction;
 - j) site security;
 - k) public safety measures;
 - l) construction times, noise and vibration controls;
 - m) restoration of any Council assets removed and/or damaged during construction;
 - n) protection works necessary to road and other infrastructure (limited to an area reasonably proximate to the site);
 - o) remediation of any damage to road and other infrastructure (limited to an area reasonably proximate to the site);
 - p) an emergency contact that is available for 24 hours per day for residents and the Responsible Authority in the event of relevant queries or problems experienced;
 - q) traffic management measures to comply with provisions of AS 17 42.3-2002 Manual of uniform traffic control devices - Part 3: Traffic control devices for works on roads; and
 - r) all contractors associated with the construction of the development must be made aware of the requirements of the Construction Management Plan.
- 11) Prior to the commencement of any buildings and works on the land, a pre construction site and immediate surrounds inspection and condition assessment of all road ways and footpaths abutting the development is to be submitted to and approved in writing by the Responsible Authority. This must occur in a media (photos/video) which is able to accurately illustrate the full condition of all potentially impacted assets prior to the construction commencing. In the event of damage during construction, such damage will be required to be repaired by the developer, at the developer's cost and to the satisfaction of the Responsible Authority.
- 12) During the construction, the following must occur:
- a) any stormwater discharged into the stormwater drainage system is to comply with EPA guidelines;
 - b) stormwater drainage system protection measures must be installed as required to ensure that no solid waste, sediment, sand, soil, clay or stones from the premises enters the stormwater drainage system;
 - c) vehicle borne material must not accumulate on the roads abutting the site;
 - d) the cleaning of machinery and equipment must take place on site and not on adjacent footpaths, roads or parks;
 - e) all litter (including items such as cement bags, food packaging and plastic strapping) must be disposed of responsibly; and
 - f) all site operations must comply with the EPA Publication TG302/92 (including all revisions or replacement guidelines).

Waste Management Plan

- 13) Prior to the endorsement of plans pursuant to Condition 1, a Waste Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. Three copies of the plan must be submitted. The plan must include but is not limited to:

- a) The manner in which waste will be stored and collected including: type, size and number of containers.
- b) Spatial provision for on-site storage.
- c) Details whether waste collection is to be performed by Council's services or privately contracted.
- d) The size of the collection vehicle and the frequency, time and point of collection.

The waste management plan must be implemented to the satisfaction of the Responsible Authority. The waste management plan must not be modified unless without the written consent of the Responsible Authority.

14) Deleted

15) Deleted

16) Deleted

Roads and Drains Conditions

- 17) Property boundary and footpath levels must not be altered without the prior written consent from the Responsible Authority.
- 18) The replacement of all footpaths, including offsets between the property boundary and footpath, must be constructed to the satisfaction of the Responsible Authority.
- 19) All reinstatements and vehicle crossings must be constructed to the satisfaction of the Responsible Authority, with the vehicle crossing to be constructed to Council's specifications.
- 20) All redundant vehicle crossings must be removed (including redundant portions of vehicle crossings) to the satisfaction of the Responsible Authority.

Car Parking

- 21) Prior to the occupation of the dwellings hereby permitted, areas set aside for parking vehicles, access lanes and paths as shown on the endorsed plans must be:
 - a) Constructed to the satisfaction of the Responsible Authority.
 - b) Properly formed to such levels that they can be used in accordance with the plans.
 - c) Surfaced in accordance with the endorsed plans under this permit.
 - d) Drained and maintained to the satisfaction of the Responsible Authority.
 - e) Line-marked to indicate each car space and all access lanes, with the basement ramp line-marked to indicate two way traffic.
 - f) Provided with wheel stops to the front of each car parking space designed to meet Australian Standards AS2890.1 – 2004, Parking Facilities: Off-street parking.

Parking areas and access lanes must be kept available for these purposes at all times and maintained to the satisfaction of the Responsible Authority.

- 22) Prior to the commencement of the use, a Parking Management Plan must be submitted to and approved by the Responsible Authority. The Parking Management Plan must include, but is not limited to:
 - a) The allocation of car spaces to residents, visitors and shop staff.
 - b) Details of the signing and line marking of parking spaces.
 - c) Details of car park control equipment which must show the location of any intercom or other security device at the entry and method of accessing the basement by visitors.
 - d) Providing unobstructed access to the visitor spaces during the shop opening hours.

- e) Lighting and security arrangements for the car park.

When approved, the Parking Management Plan will be endorsed and will then form part of the permit.

- 23) The approved Parking Management Plan must be implemented and followed to the satisfaction of the Responsible Authority, and may be amended from time to time with the written approval of the Responsible Authority.

General Amenity

- 24) Exterior lighting must be installed in such positions as to effectively illuminate all communal areas. Such lighting must be designed, baffled and located to the satisfaction of the Responsible Authority to prevent any adverse effect on neighbouring land.
- 25) The obscure glazing shown on the endorsed plans must be through frosted glass or similarly treated glass, and thereafter maintained to the satisfaction of the Responsible Authority. Adhesive film or the like that can be removed must not be used.
- 26) All fixed external screening to prevent overlooking marked on the endorsed plans shall be maintained by the owner of the land to the satisfaction of the Responsible Authority.
- 27) All piping and ducting above the ground floor storey of the development (other than rainwater guttering and downpipes) must be concealed to the satisfaction of the Responsible Authority.
- 28) All works on or facing the boundaries of adjoining properties must be finished and surface cleaned to a standard that is well presented to neighbouring properties in a manner to the satisfaction of the Responsible Authority.
- 29) Service units, including air conditioning/heating units, must not be located where they will be visible from any public area, and must not be located near bedrooms of immediately adjacent existing dwellings.
- 30) Prior to the occupation of any building approved under this permit, written confirmation from the author of the endorsed Sustainable Management Plan is to be submitted to the Responsible Authority that all of the required measures specified in the SMP have been implemented.
- 31) Prior to the occupation of the dwellings hereby permitted, the landscaping works as shown on the endorsed plans must be completed to the satisfaction of the Responsible Authority. The landscaping must then be maintained to the satisfaction of the Responsible Authority.
- 32) Prior to the occupation of the dwellings hereby permitted, all buildings and works and the conditions of this permit must be complied with, unless with the further prior written consent of the Responsible Authority.
- 33) Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.

Expiry

- 34) In accordance with section 68 of the *Planning and Environment Act* 1987, this permit will expire if one of the following circumstances applies:
 - a) The development is not started within two (2) years from the date of permit issue.
 - b) The development is not completed within four (4) years from the date of permit issue.

In accordance with section 69 of the *Planning and Environment Act* 1987, the responsible authority may extend the periods referred to if a request is made in writing before the permit expires, or within three months afterwards.

Water Sensitive Urban Design

- 35) Unless with prior written consent of the Responsible Authority, before works recommence on site the following Integrated Stormwater Management (drainage)**

documents must be prepared, by a suitably qualified person, to the satisfaction of the Responsible Authority:

- a) Prior to submitting detailed plans, an updated comprehensive stormwater management (drainage) strategy for the site must be prepared that addresses the requirements specified within Council's "Civil Design requirements for Developers – Part A: Integrated Stormwater Management".
 - b) The stormwater management (drainage) strategy must include a report with MUSIC modelling results demonstrating water sensitive urban design treatments that achieve Victorian best practice objectives. These may include the use of an infiltration or bio-retention system, rainwater tanks connected for reuse, or other treatments to the satisfaction of the Responsible Authority.
 - c) Stormwater Management (drainage) Plan(s) must be prepared, with supporting computations, showing the stormwater (drainage) works to the nominated point of discharge. The plan(s) must show all details of the proposed stormwater works including all existing and proposed features that may have an impact on the stormwater (drainage) works, including landscaping details
 - d) The water sensitive urban design treatments as per conditions 35a, 35b, & 35c above must be implemented on-site, unless an alternative agreement for stormwater quality in-lieu contribution is reached with the Responsible Authority.
- 36) Stormwater (drainage) works must be implemented in accordance with the approved stormwater management (drainage) plan and to the satisfaction of the Responsible Authority including the following:
- a) All stormwater (drainage) works must be provided onsite so as to prevent overflows onto adjacent properties.
 - b) The implementation of stormwater (drainage) detention system which restricts stormwater discharge to the maximum allowable flowrate of 15L/s.
 - c) All stormwater (drainage) works must be maintained to the satisfaction of the Responsible authority.
- 37) A groundwater assessment report (GAR) must be prepared by a qualified hydrogeologist to assess any possible impacts the proposed development has on the ground water table, surrounding land and buildings to the satisfaction of Responsible Authority. Should the findings of the submitted GAR demonstrate that the site is likely to experience issues associated with ground water management, a ground water management plan (GMP) must be submitted to and approved by the responsible authority.
- 38) The basement structure must be designed to respond to the findings of the GAR and GMP required under condition 37 and constructed to the satisfaction of the responsible authority in accordance with the following:
- a) the basement must be a fully-tanked dry basement with no ground water including agricultural (AG) drain collection or disposal into stormwater system and with an allowance made for any hydrostatic pressures in accordance with Council's "Basements and Deep Building Construction Policy 2014" and "Basements and Deep Building Construction Guidelines 2014", or
 - b) in the event it is demonstrated that a fully tanked dry basement cannot be achieved or if a wet basement system is proposed, no groundwater including AG drain from the site shall be discharged into the stormwater system. Council does not accept any groundwater (including AG drain) into the stormwater system. Sub-surface water (groundwater) is the responsibility of the property owner to dispose of on site or reach an agreement with the local sewer authority.

39) In any case where the basement design and construction, as required by Conditions 37 and 38 of this permit, does not accord with the plan(s) approved under this permit, the endorsed plan(s) must be amended to the satisfaction and with the written consent of the Responsible Authority.

Note: Environment Protection Authority (EPA) Victoria set out the requirements pertaining to site construction hours and permissible noise levels.

Note: Any buildings and works (including eaves) to be located within an easement requires separate consent from Council and/or the relevant service authority. This will need to be obtained prior to the issue of a building permit.

Note: Prior to the commencement of the development you are required to obtain the necessary Building Permit.

Note: The applicant/owner must provide a copy of this planning permit to any appointed Building Surveyor. It is the responsibility of the applicant/owner and Building Surveyor to ensure that all building development works approved by any building permit is consistent with the planning permit.

Note: The applicant/owner must provide a copy of this planning permit and any endorsed plans to any external contractor to ensure that all trees to be retained on site are protected during any works.

Note: The allocation of street numbering and addressing of properties is vested in Council. Any reference to addressing or dwelling/unit/apartment and street numbers or street names on any endorsed plan is indicative only. The onus is on the Permit Applicant/Land Owner to contact Council's Property Data Department to determine the official dwelling/unit/apartment street numbers, street name details and the like for the approved development.

If the Permit Applicant/Land Owner adopts the street numbering or addressing from the endorsed plans, or where advertising and/or sales transact (off the plan) prior to Council's official allocation of the street numbering and addressing, it will be viewed to be non-compliant with the guideline and standard applied (Australian/New Zealand Standard for Rural & Urban Addressing / AS/NZS 4819:2011).

Note: The owner(s), occupiers and visitors of the development allowed by this permit may not be eligible for Council resident or visitor parking permits.

Note: All buildings and works must be carried out in accordance with the approved Cultural Heritage Management Plan as required by the *Aboriginal Heritage Act 2006*. A copy of the approved CHMP must be held on site during the construction activity.

THIS PERMIT WAS ISSUED AT THE DIRECTION OF VCAT AS FOLLOWS:

Date of Order

18 March 2013

Planning Permit KP-579/2011 was issued in accordance with the order of the Victorian Civil and Administrative Tribunal, reference: P1381/2012.

THIS PERMIT HAS BEEN AMENDED PURSUANT TO SECTION 72 OF *THE PLANNING AND ENVIRONMENT ACT 1987* AS FOLLOWS:

Amendment	Date of Amendment	Description of Amendment	Name of responsible authority that
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**City of Kingston
Council Meeting**

Agenda

26 July 2021

			approved the amendment
A	(Date to be the same as Date Amended)	<p>Section 72 amendment that amends the plans to :</p> <ul style="list-style-type: none"> • decrease the overall building height by 3.06m from an endorsed height of 13.73 AHD to 10.67 A.H.D. • increase of the height of the second story (parapet) by 70mm incorporating the following changes: <ul style="list-style-type: none"> ➤ Increase to the ground floor finished floor level (FFL) by 470mm. ➤ Reduction to the thickness between ground floor and first floor of 50mm. ➤ Reduction to the thickness of the roof by 350mm. • delete the rooftop atrium and deck. • increase FFL of the alfresco areas by 470mm. • provide a fence on the boundary that is at least 1.8m above the finished floor level of the ground floor, to act as a visual barrier to adjoining properties to the north; • provide a 750mm overlooking screen to the top of the living room windows; and • supersede the endorsed landscape plan with an amended landscape plan prepared by Memla Pty. Ltd., project number LC2449 Drawing 1 and 2 of 2, dated 12/6/2020. ○ Conditions 1, 3 and 8 amended ○ Condition 1b, 1h, 5-7, 9 and 14-16 deleted ○ Condition 1p-y and 35-39 added to the permit ○ Subtitles added to the permit for clarity 	City of Kingston

Appendices

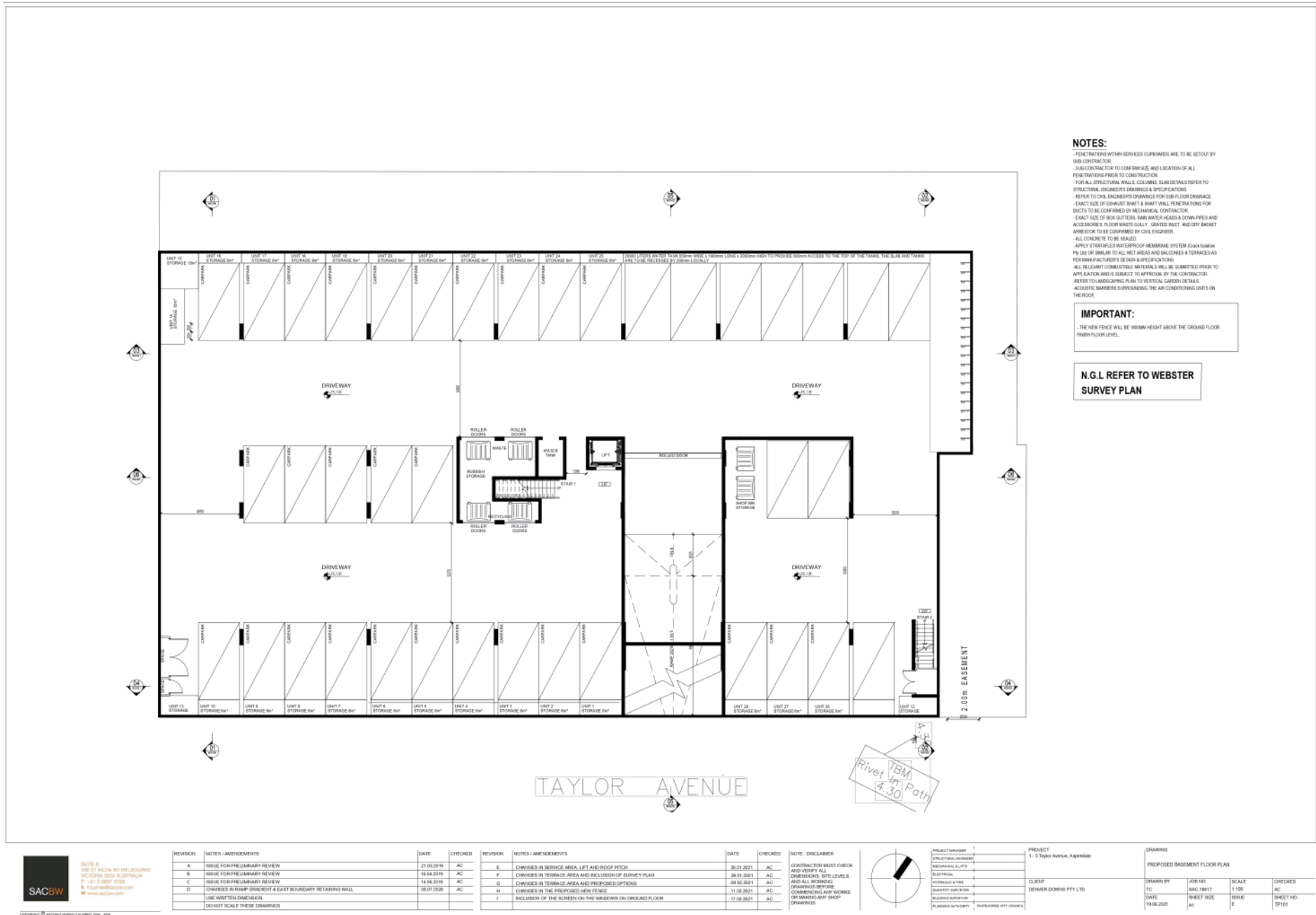
Appendix 1 - kp-2011/579/C - 1 -5 Taylor Avenue Aspendale - Considered Plans (Ref 21/156345)  [↓](#)

Author/s:	David Tancheff, Statutory Planner
Reviewed and Approved By:	James Leonard, Principal Planner
	Alfred Carnovale, Manager City Development

8.2

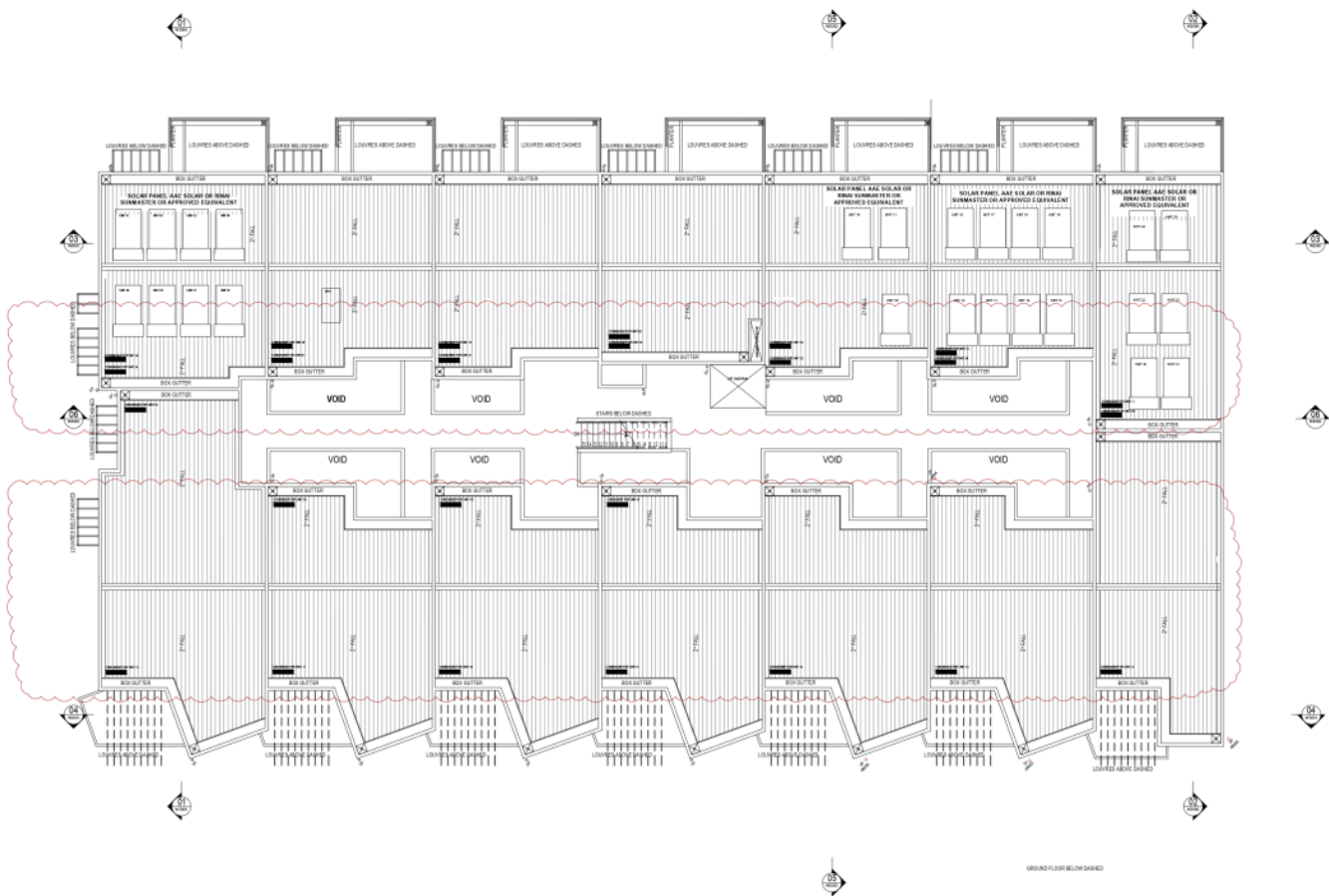
KP-2011/579/C - 1 - 5 TAYLOR AVENUE, ASPENDALE

1	kp-2011/579/C - 1 -5 Taylor Avenue Aspendale - Considered Plans.....	59
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NOTES:

PENETRATIONS WITHIN SECTIONS OF CURB/PAVEMENT ARE TO BE SEOUT BY THIS CONTRACTOR

SUB-CONTRACTOR TO CONFIRM SIZE AND LOCATION OF ALL PENETRATIONS PRIOR TO CONSTRUCTION

FOR EXISTING CURB, WALLS, CURBS AND DETAILS REFER TO STRUCTURAL ENGINEERS DRAWINGS AND SPECIFICATIONS

REFER TO C&M ENGINEERS DRAWINGS FOR SUB-FLOOR DRAINAGE

EXACT SIZE OF DRAINAGE SHALT A SHIRT WALL PENETRATIONS FOR DUCTS TO BE PROVIDED BY CURB/WALL CONTRACTOR

EXACT SIZE OF BOX JOISTS, RAIN WATER RAIN AND DOWNPIPES AND ACCESSORIES, FLOOR WASTE GALLY, GRAATED ALLEY AND DRY BASK ARE TO BE CONFIRMED BY C&M ENGINEER

ALL CONCRETE REPAIRS

APPLY STRATACON TO WATERPROOF MEMBRANE SYSTEM (CHECK LOCAL CODES FOR SIMILAR TO LOCAL MEANS AND BALANCES AND TERRAZAS IN EXISTING CURB, WALLS, CURBS AND DETAILS)

ALL RELEVANT COMBUSTIBLE MATERIAL SHALL BE SUBMITTED PRIOR TO APPLICATION AND BE SUBJECT TO APPROVAL BY THE CONTRACTOR

REFER TO LANDSCAPE PLAN TO VERTICAL GARDEN DETAILS

FOR EXISTING CURB, WALLS, CURBS AND DETAILS REFER TO STRUCTURAL ENGINEERS DRAWINGS AND SPECIFICATIONS

THE END

IMPORTANT:

- THE NEW FENCE WILL BE 1800MM HEIGHT ABOVE THE GROUND FLOOR FINISH FLOOR LEVEL;

N.G.L REFER TO WEBSTER
SURVEY PLAN

REVISION	NOTES / AMENDMENTS	DATE	CHECKED
A	ISSUE FOR PRELIMINARY REVIEW	21.03.2019	AC
B	ISSUE FOR PRELIMINARY REVIEW	16.04.2019	AC
C	ISSUE FOR PRELIMINARY REVIEW	14.06.2019	AC
D	CHANGES IN RAMP GRADIENT & EAST BOUNDARY RETAINING WALL	06.07.2020	AC
	USE WRITTEN DIMENSION		
	DO NOT SCALE IN THESE DRAWINGS		

REVISION	NOTES / AMENDMENTS	DATE	CHECKED
E	CHANGES IN SERVICE AREA, LIFT AND ROOF PITCH	20.01.2021	AC
F	CHANGES IN TERRACE AREA AND INCLUSION OF SURVEY PLAN	26.01.2021	AC
G	CHANGES IN TERRACE AREA AND PROPOSED OPTIONS	08.02.2021	AC
H	CHANGES IN THE PROPOSED NEW FENCE	11.03.2021	AC
I	INCLUSION OF THE SCREEN ON THE WINDOWS ON GROUND FLOOR	17.03.2021	AC

[NOTE : DISCLAIMER]

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SITE LEVELS AND ALL WORKING DRAWINGS BEFORE COMMENCING ANY WORKS OR MAKING ANY SHOP DRAWINGS



PROJECT MANAGER	1
STRUCTURAL ENGINEER	1
MECHANICAL & LIFTS	1
ELECTRICAL	1
HYDRAULIC & FIRE	1
QUANTITY SURVEYOR	1
BUILDING SUPERVISOR	1
PLANNING & LOGISTICS	West Yorkshire City Council

PROJECT
A. B. Taylor, Assistant, Research Station1 - 5 Tapia Avenue, Aspinwall

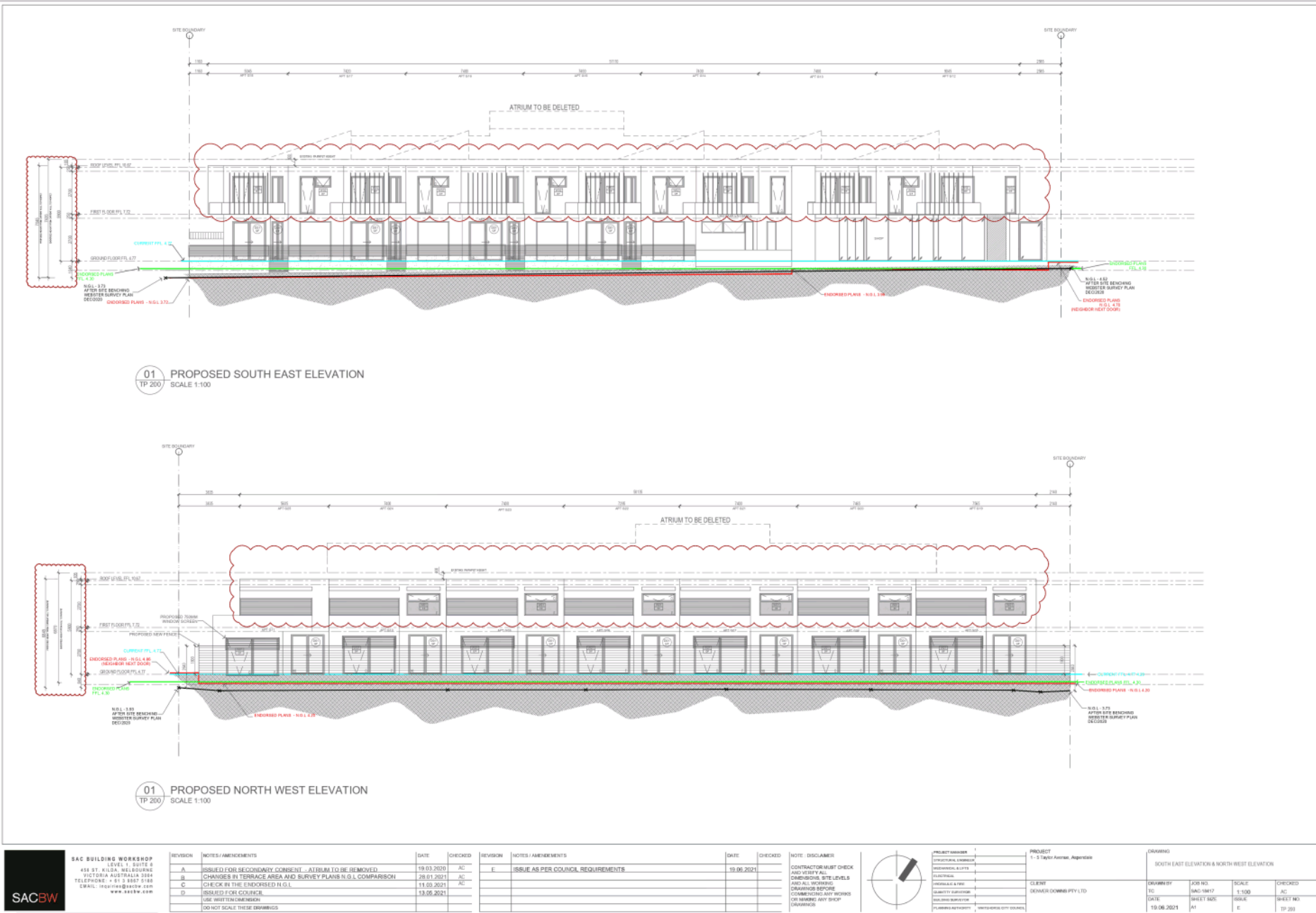
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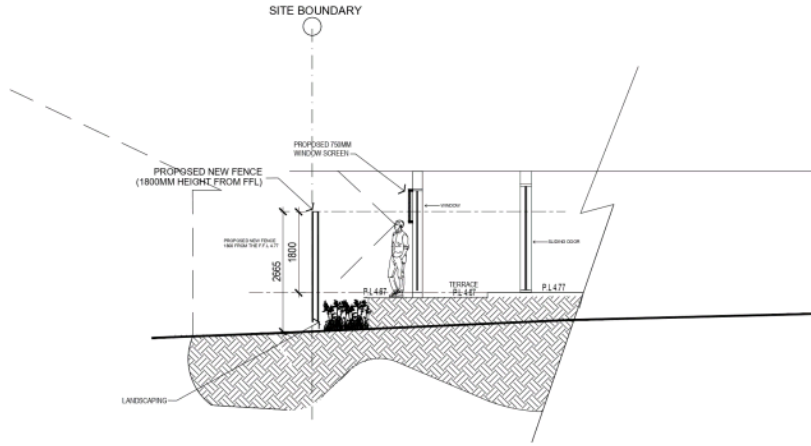
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DENVER DOWNS PTY LTD

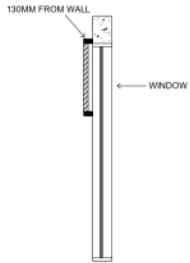
(DRAWING)

PROPOSED ROOF PLAN			
DRAWN BY TC	JOB NO. SAC-18417	SCALE 1:100	CHECKED AC
DATE 19.06.2021	SHEET SIZE A1	ISSUE E	SHEET NO. TP104





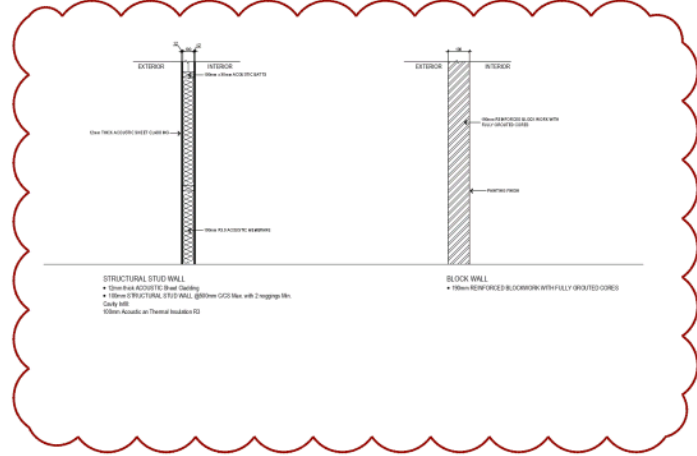
01 OVERLOOKING VIEW
TP 205 SCALE 1:100



03 PROPOSED WINDOW SCREEN
TP 205 SCALE 1:100



NOTES :
- WINDOW IS 1300MM LONG AND 1800MM HEIGHT.
- THE SCREEN IS 750MM HEIGHT AND MADE FROM ALUMINIUM WITH 10MM WIDE SLATS AND IS MOUNTED ON WALL MOUNTED BRACKETS.
- COLOUR TO BE DETERMINED BY THE DEVELOPER.



02 FENCING OPTIONS
TP 205 SCALE 1:100

IMPORTANT:
- NEW FENCING TO BE 1800MM HEIGHT FROM THE GROUND FLOOR FINISH FLOOR LEVEL, RL 4.77MM.
- INSTALL OF PERMANENT OBSCURE GLAZING OR FIXED EXTERNAL SCREENS OVER WINDOWS/CLOSURE TO ADJOINING PROPERTIES TO COMPLY WITH PRIVACY REGULATIONS.

REVISION	NOTES / AMENDMENTS	DATE	CHECKED
A	ISSUED FOR SECONDARY COMMENT - ATRUM TO BE REMOVED	19.03.2020	AC
B	CHANGES IN TERRACE AREA AND SURVEY PLANS II.G.L. COMPARISON	28.01.2021	AC
C	CHECK IN THE ENDORSED N.O.L.	11.03.2021	AC
D	ISSUED FOR COUNCIL	13.05.2021	
	USE WRITTEN DIMENSIONS		
	DO NOT SCALE THESE DRAWINGS		

REVISION	NOTES / AMENDMENTS	DATE	CHECKED
E	ISSUE AS PER COUNCIL REQUIREMENTS	19.06.2021	

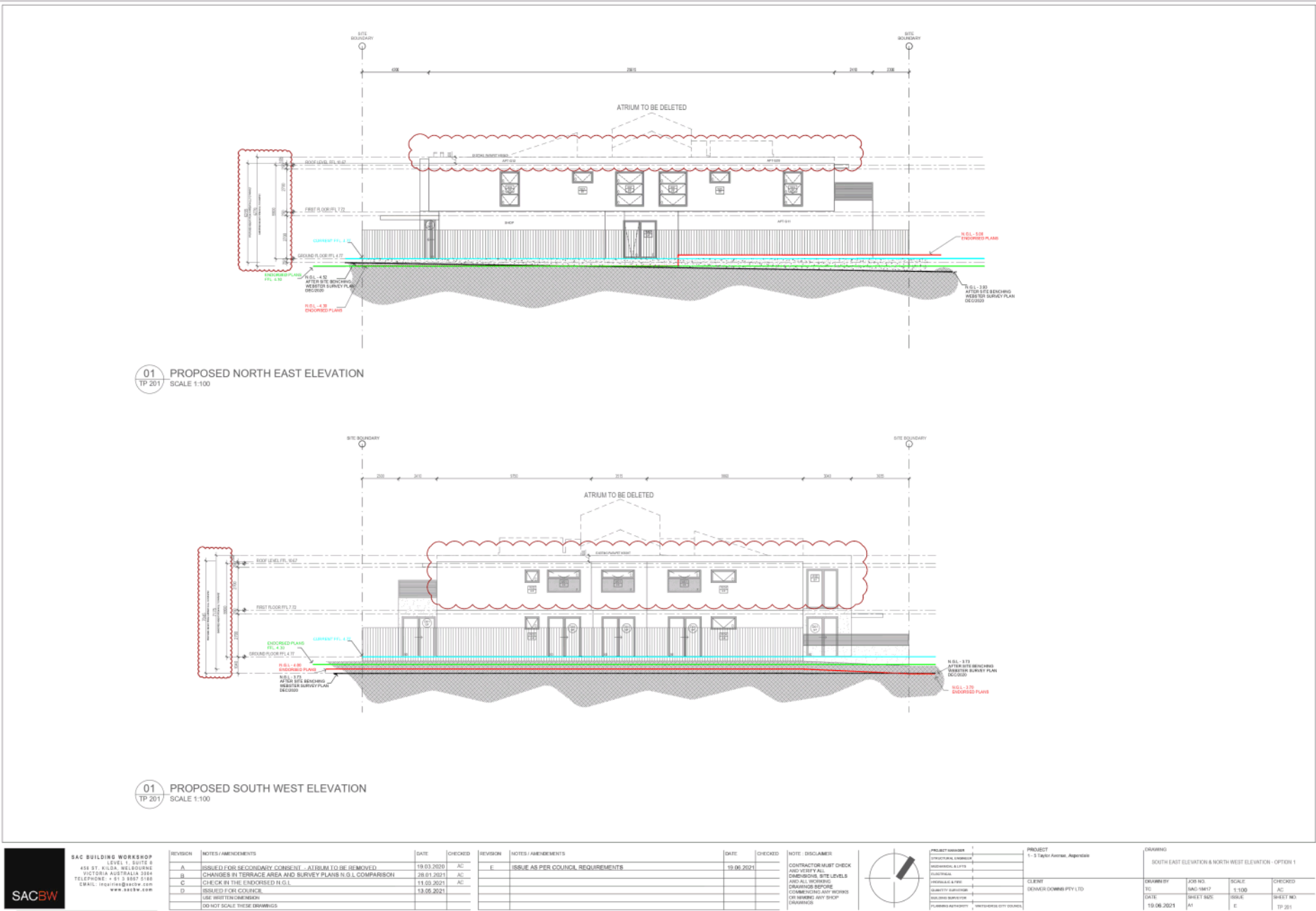
NOTE: DISCLAIMER
CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SITE LEVELS AND ALL WORKING DRAWINGS BEFORE COMMENCING ANY WORKS OR MAKING ANY SHOP DRAWINGS



PROJECT MANAGER	1
STRUCTURAL ENGINEER	
MECHANICAL ENGINEER	
ELECTRICAL	
HYDRAULIC ENGINEER	
QUANTITY SURVEYOR	
BUILDING SURVEYOR	
PLANNING AUTHORITY	WILSONS CITY COUNCIL

PROJECT	1 - 5 Taylor Avenue, Ascendale
CLIENT	DEMER DOWNS PTY LTD

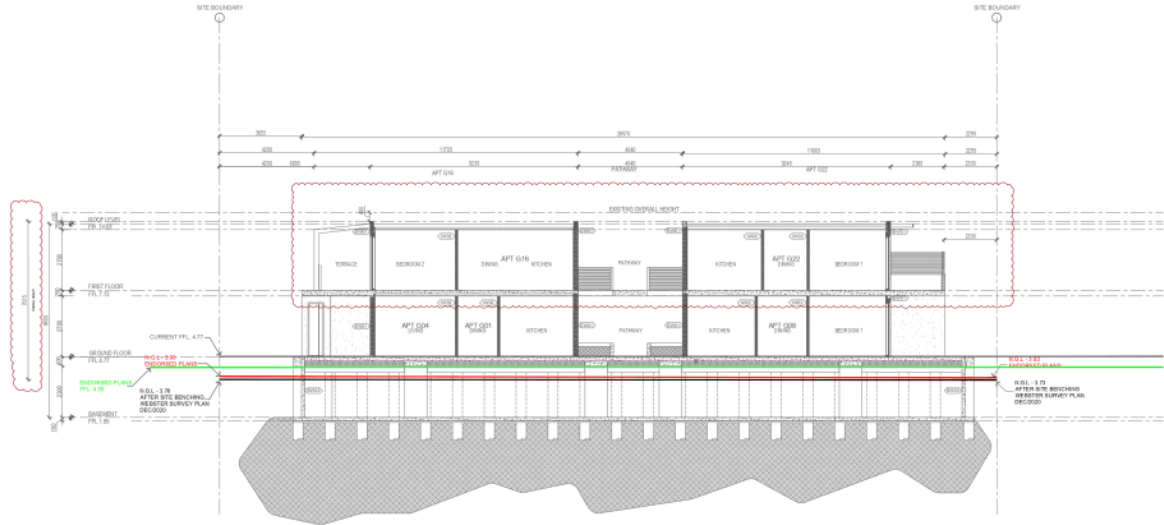
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19.06.2021	A1	E	TP 205



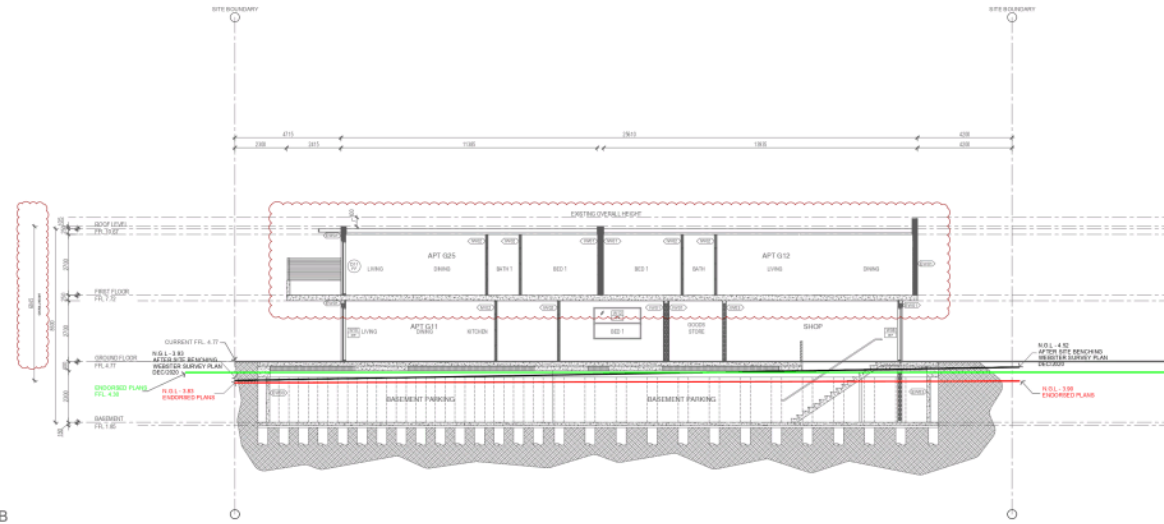
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01 PROPOSED SECTION A
TP 300 SCALE 1:100



02 PROPOSED SECTION B
TP 300 SCALE 1:100

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A	ISSUED FOR SECONDARY CONSENT - ATRIM TO BE REMOVED	19.03.2020	AC
B	CHANGES IN TERRACE AREA AND SURVEY PLANS N.G.L. COMPARISON	28.01.2021	AC
C	CHECK IN THE ENDORSED N.G.L.	11.03.2021	
D	ISSUED FOR COUNCIL	13.05.2021	
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E	ISSUE AS PER COUNCIL REQUIREMENTS	19.06.2021	

NOTE / DISCLAIMER	DATE	CHECKED
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PROJECT MANAGER	
STRUCTURAL ENGINEER	
MECHANICAL & LIFTS	
ELECTRICAL	
PLUMBING	
FIRE & ALARM	
QUANTITY SURVEYOR	
BUILDING SURVEYOR	
PLANNING AUTHORITY	MELBOURNE CITY COUNCIL

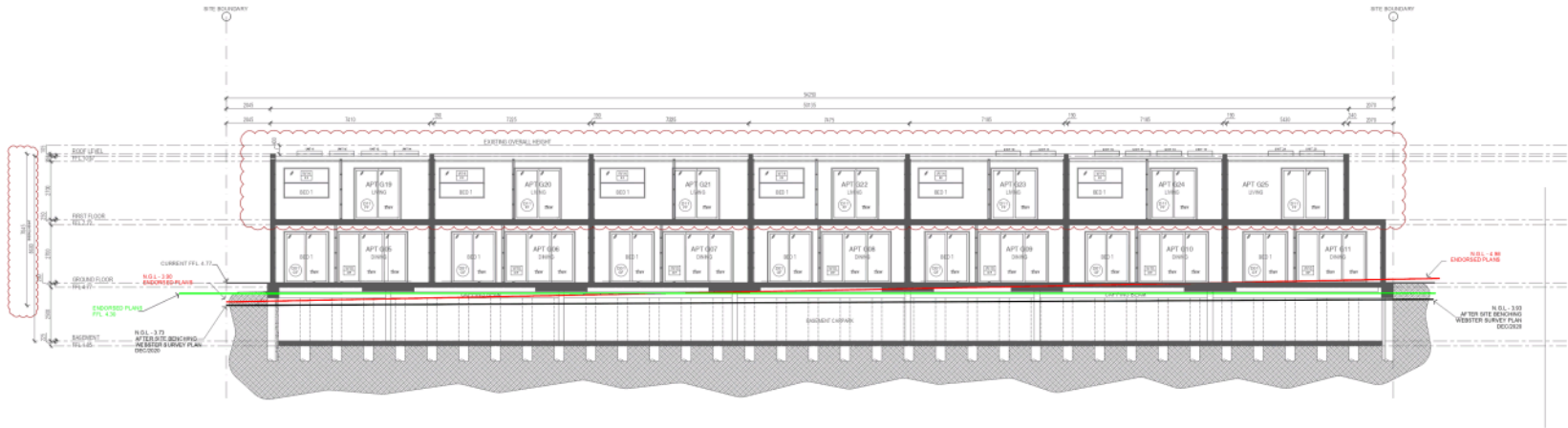
PROJECT

1-5 Taylor Avenue, Aspendale

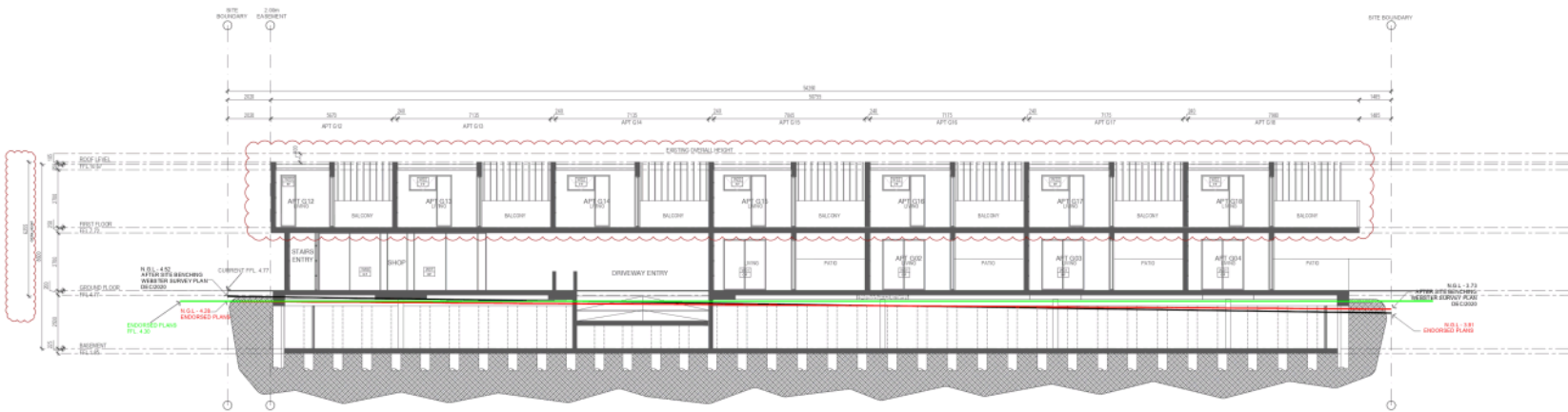
CLIENT

DRIVER DOWN PTY LTD

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DATE	19.06.2021	SHEET SIZE	A1	ISSUE	19/06



01 PROPOSED SECTION C
TP 301 SCALE 1:100



02 PROPOSED SECTION D
TP 301 SCALE 1:100

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A	ISSUED FOR SECONDARY CONSENT - ATTRIBUTION TO BE REMOVED	19.03.2020	
B	CHANGES IN TERRACE AREA AND SURVEY PLANS R.G.L. COMPARISON	28.01.2021	
C	CHECK IN THE ENCLOSED R.G.L.	11.03.2021	
D	ISSUED FOR COUNCIL	13.05.2021	
	USE WRITTEN DIMENSIONS		
	DON'T SCALE THESE DRAWINGS		

REVISION	NOTES / AMENDMENTS	DATE	CHECKED
E	ISSUE AS PER COUNCIL REQUIREMENTS	19.06.2021	

NOTE / DISCLAIMER	DATE	CHECKED
CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SITE LEVELS AND ALL WORKING DIMENSIONS BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS		

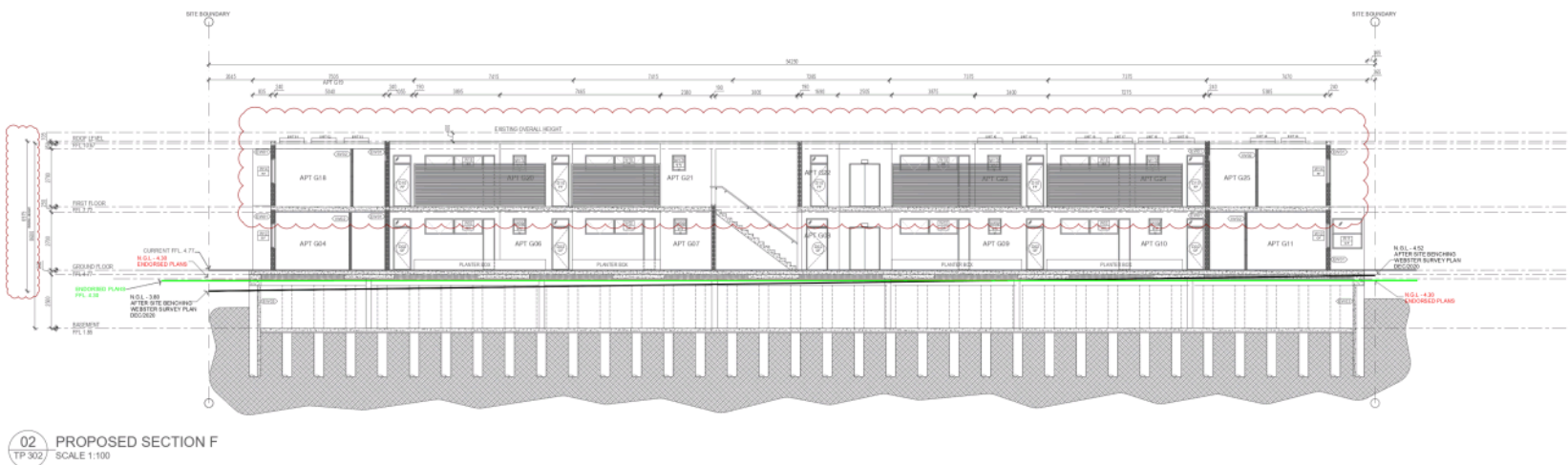
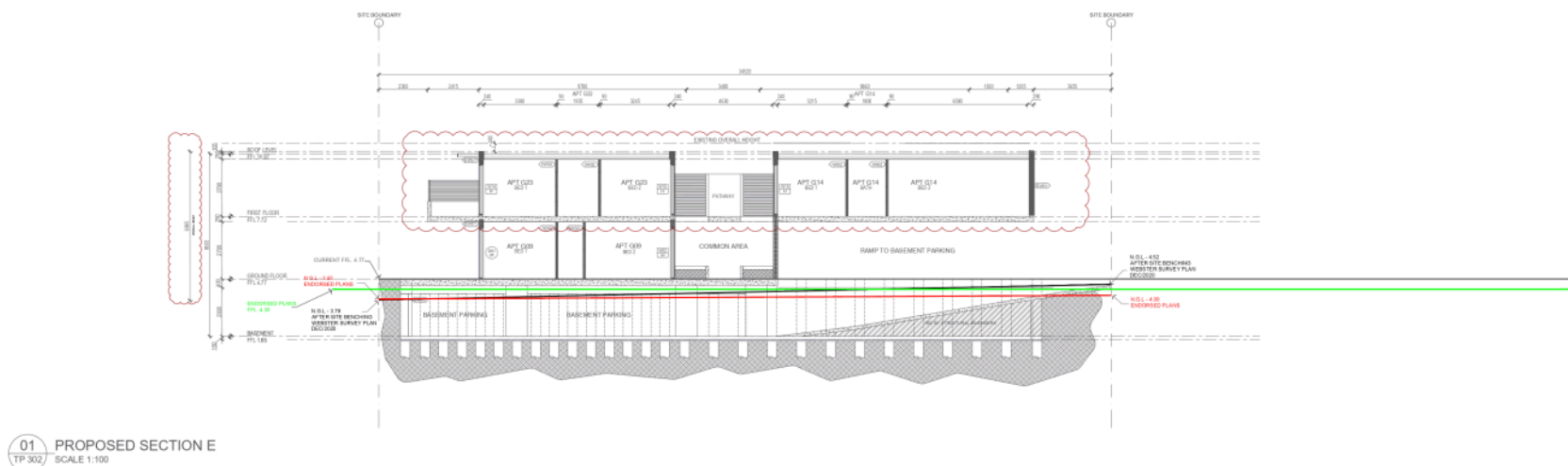


PROJECT MANAGER	1
STRUCTURAL ENGINEER	
Mechanical & Lifts	
ELECTRICAL	
MECHANICAL & PLUMBING	
CLIMATE & VENT	
QUALITY ASSURANCE	
BUILDING SURVEYOR	
PLANNING AUTHORITY	
INTERPRETING CITY COUNCIL	

PROJECT	1-5 Taylor Avenue, Ascendale
CLIENT	DRIVER DOWNING PTY LTD

DRAWING	SECTION C & D
DRAWN BY	AWH
TO	SAC
DATE	19.06.2021

SCALE	1:100
SHEET SIZE	A1
SCALE	1:100
CHECKED	AC
SHEET NO.	19501







26 July 2021

Agenda Item No: 8.3

KP-2021/179 - UNIT 12 605 NEPEAN HIGHWAY, BONBEACH

Contact Officer: Chelsea Campos, Statutory Planner

Purpose of Report

This report is for Council to consider Planning Permit Application No. KP-2021/179 - Unit 12 605 Nepean Highway, Bonbeach.

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council determine to support the proposal and issue a Notice of Decision to develop the land for The development of land for alterations and additions to the existing dwelling on a lot less than 300 square metres at Unit 12 605 Nepean Highway, Bonbeach, subject to the conditions contained within this report.

This application requires a decision by Council, following a call in by Cr Howe.

EXECUTIVE SUMMARY			
Address	Unit 12 605 Nepean Highway, BONBEACH VIC 3196		
Legal Description	Lot 1 on PS 811677Q		
Applicant	Bayside Town Planning Pty Ltd		
Planning Officer	Chelsea Campos		
PLANNING REQUIREMENTS			
Planning Scheme	Kingston		
Zoning	Clause 32.08 – General Residential 2 Zone		
Overlays	Clause 43.02 – Design and Development Overlay 1 Clause 43.02 – Design and Development Overlay 7		
Particular Provisions	Clause 54 – One dwelling on a lot		
Permit Trigger/s	Clause 32.08 – 5 – Construction and extension of one dwelling on a lot		
APPLICATION / PROCESS			
Proposal	The development of land for alterations and additions to the existing dwelling on a lot less than 300 square metres.		
Reference No.	KP-2021/179	RFI Received	N/A
App. Received	9 April 2021	App. Amended	N/A
Site inspection	Yes		
S.52 Advertising Commenced	30 April 2021	Advertising Completed	10 May 2021
S.55 Referrals	N/A		
Internal referrals	N/A		
Objection(s)	Seven (TRIM checked on 24/06/2021)		
Mandatory Garden area requirement	N/A	Mandatory Building Height requirement	Complies
LEGISLATIVE			
Covenant/other Restriction	No	Complies: N/A	
CHMP	EXEMPT		
Considered Plans	Plans prepared by BK World, Sheets 1 to 5 inclusive, dated 09 October 2020, submitted to Council on 06 April 2021		

1.0 RELEVANT LAND HISTORY

- 1.1 Planning Permit KP-2015/152 was applied for on 16 March 2015 proposing the development of twelve (12) dwellings.
- 1.2 The original planning application was advertised and nine (9) objections were received.
- 1.3 Planning Permit KP-2015/152 was issued under the direction of VCAT on 26 July 2016 to develop the land for 'the construction of twelve (12) dwellings; Creation and alteration of access in a Road Zone Category 1; in accordance with the endorsed plans'. Refer to Section 5 of this report for further discussion.
- 1.4 Plans were endorsed on 20 October 2016 as part of condition 1 of the Permit.
- 1.5 Planning Permit KP-2018/494 was applied for on 26 June 2018 proposing to 'Subdivide the land into Twelve (12) Lots'. This permit was approved on the 25 July 2018.
- 1.6 The Plan of Subdivision was Certified and Statement of Compliance issued on the 28 November 2018, with separate titles issued.

2.0 SITE PARTICULARS

Built form	A double storey rendered dwelling with a roof deck occupies the land. The existing dwelling is located at the rear of a 12 attached double storey multi-unit development and is setback approximately 57 metres from Nepean Highway.
Size (m²)	297m ²
Topography	The land (as a whole) has a fall of 2m from east to west
Fencing	N/A
Vegetation	Norfolk Island Pine located at the site's north-west corner.
Easement(s)	The land is encumbered by a 1.83m wide carriageway and a 2.92m sewerage along its west (rear) property boundary.
Footpath assets / access	One (1) existing crossover adjacent to the south (side) common boundary. there is a power pole located along the nature strip. No bollards or street trees are located along the frontage.
Covenant(s) / Restrictions	There are no restriction listed on the Certificate of Title.

3.0 SURROUNDING ENVIRONS

3.1 The following map illustrates the subject site in its surrounding context.



3.2 Land directly abutting the subject site and opposite is described as follows:

North	<p>No. 604 Nepean Highway contains four (4) double storey, brick veneer dwellings with a crossover located towards the property's north (side) of its frontage. The front dwelling has a front setback of 8.4 metres from Nepean Highway.</p> <p>4/604 is within closest proximity to the subject site.</p>
East	<p>Units 1-11 605 Nepean Highway contains eleven (11) attached double storey, rendered with feature cladding unit development and a crossover located towards the property's south (side) of its frontage.</p> <p>Nepean Highway and the Frankston train line.</p>
South	<p>No. 606 Nepean Highway contains eleven (11) double storey, brick veneer dwellings with a crossover located towards the property's north (side) frontage. The front dwelling has a front setback of 7.5 metres from Nepean Highway.</p>
West	<p>Unit 11 606 Nepean Highway containing a double storey brick veneer dwelling. Beyond this dwelling is the Bonbeach foreshore reserve.</p>

3.3 The surrounding area generally comprises of multi-unit developments.

4.0 PROPOSAL

4.1 A summary of the proposal is provided in the table below.

Description	The proposal comprises of the following: <ul style="list-style-type: none"> • Addition of a balcony adjacent to the first floor living area; • Deletion of the planter box and installation of alternate balustrading and screening measures on the rooftop deck. 		
Storeys	Double storey (unaltered).		
Maximum building height	9.2m (unaltered).		
Bedrooms (including study)	3 bedrooms per dwelling (unaltered).		
Car parking	2 spaces in total (unaltered).		
Front setback	N/A - The subject site is located at the rear of this property		
Private Open Space	Dwelling 1 143m ²		
Site Coverage	46%	Permeability	45%
Access	Existing crossover towards the site's east (side) property boundary.		
Vegetation removal/retention	No significant vegetation is proposed to be removed or impacted by the proposed development.		
Building materials	Glass balustrade		

5.0 PREVIOUS PLANNING DECISION

5.1 Planning Permit KP-2015/152 was applied for on 16 March 2015 proposing the development of twelve (12) dwellings. The application was recommended for approval, however subsequently the officer recommendation was overturned. The application was refused via the Council Meeting held on the 9 December 2015.

5.2 The applicant appealed to VCAT following the Notice of Refusal issued on 18 December 2015 on the following grounds:

- The proposal would detrimentally affect the amenity of the neighbourhood

- The proposal constitutes an over development of the site.
- The proposal would cause traffic congestion in a residential street.

5.3 At the time of the decision, Unit 12 Nepean Highway (the subject site) was referred to as TH.01.

5.4 Planning Permit KP-2015/152 was issued with the following conditions to address the issues of overlooking:

b) the floor plans, elevations and sections corrected to show a 1.8 metre high masonry screen wall along the whole of the south-west edge of the roof terrace to Unit TH.01 including abutting the western side of the planter box.

c) with respect to screening devices:

i) provide details of louvres to allow outward views while limiting overlooking to adjacent habitable room windows and secluded open spaces;

ii) Delete the 1.2 metre high glass balustrade serving the first floor balconies in Units TH.03, TH.05, TH.09 and TH.10 and replace them with another screening device to a height of 1.7 metres above finished floor level or an alternative screen to the satisfaction of the Responsible Authority that allows outward views while limiting overlooking to adjacent habitable room windows and secluded private open spaces.

5.5 Condition 1.b is a response to the concern of inaccuracies and inconsistencies of this 1.8m masonry wall shown on the floor plans, elevations and sections.

5.6 Condition 1.c.i. solely refers to the details of louvres to ensure that the overlooking views are limited.

5.7 Condition 1.c.ii. refers to the deletion of the glass balustrade serving the balconies of TH.03, TH.05, TH.09 and TH.10. This became part of the permit due to there being Habitable Room Windows (HRW) and Secluded Private Open Space (SPOS) located within 9 metres of the balconies and did not comply with Standard B22.

5.8 It is noted the Tribunal member and subsequent written decision talked to extended overlooking and views achievable beyond 9 metres. Some of the measures included on the final approval appear to be offerings made by the applicant at the time, rather than requirements to satisfy standards of Clause 55.

6.0 PLANNING PERMIT PROVISIONS

Zone

6.1 General Residential Zone (Schedule 2): Pursuant to Clause 32.08-4 of the Kingston Planning Scheme, a planning permit is required to construct or extend a dwelling on a lot less than 300m². A development must meet the requirements of Clause 54 of the Scheme.

Particular Provisions

6.2 **Clause 54** - Dwelling on a lot less than 300m² – (Refer to Appendix A for the Planning Officer's full assessment against this report).

General Provisions

- 6.3 The Decision Guidelines of **Clause 65.01** of the Kingston Planning Scheme are relevant to this application and require consideration to be given to a variety of matters including planning scheme policies, the purpose of the zone, orderly planning and the impact on amenity.

7.0 RELEVANT POLICIES

7.1 Planning Policy Framework (PPF)

- Clause 11 Settlement
Clause 15 Built Environment and Heritage
Clause 16 Housing

7.2 Local Planning Policy Framework (LPP)

- Clause 21.07 Residential Land Use

7.3 Other

- 7.4 Neighbourhood Character Area Guidelines (Incorporated Document under **Clause 21.07** – Residential Land Use of the LPPF). The land is located within Area 65 of the Neighbourhood Character Guidelines.
- 7.5 Design Contextual Housing Guidelines (April 2003 – reference document within **Clause 22.06** – Residential Development Policy). The Design Contextual Housing Guidelines offer a range of design techniques and suggestions to assist with residential design, which is responsive to local character.

8.0 ADVERTISING

- 8.1 The proposal was advertised by sending notices to adjoining and opposite property owners and occupiers. Seven (7) objections to the proposal were received. The grounds of objection raised are summarised as follows:
- Overlooking
 - Site coverage
 - Noise
 - Building height
 - Landscaping
 - Car parking
 - Overdevelopment
- 8.2 The following grounds are outside of the provisions of the planning scheme and cannot be considered:
- Loss of views
 - Devaluation of property

9.0 PLANNING CONSULTATION MEETING

- 9.1 The objectors were contacted by the planning officer on 5 May 2021 to discuss their concerns, with this information then being relayed to the applicant.
- 9.2 A site visit to Unit 11 606 Nepean Highway and along the driveway of 604 Nepean Highway was conducted by a planning officer on 17 June 2021.
- 9.3 A Planning Consultation Meeting was held on the 8 July 2021. Two objectors, the applicant and council officers were in attendance.
- 9.4 The objector concerns were unable to be resolved, and the objections still stand.

10.0 SECTION 50 / 50A / 57A – AMENDMENT TO PLANS

- 10.1 There were no formal amendments made by the permit applicant post the advertising period.

11.0 REFERRALS

- 11.1 The application was referred as set out in the tables below.

Internal Referrals

Department / Area	Comments
None	N/A

External Referrals

Department	Section 52/55	Determining / Recommending	Objection	Comments
None	N/A	N/A	N/A	N/A

PLANNING CONSIDERATIONS:

Planning Policy Framework

- 11.2 The State Planning Policy Framework sets out the relevant state-wide policies for residential development at **Clause 11** (Settlement), **Clause 15** (Built Environment and Heritage) and **Clause 16** (Housing). Essentially, the provisions within these clauses seek to achieve the fundamental objectives and policy outcomes sought by 'Plan Melbourne 2017-2050: Metropolitan Planning Strategy' (Department of Environment, Land, Water and Planning, 2017).
- 11.3 The settlement policies at **Clause 11** seek to promote sustainable growth and development and deliver choice and opportunity through a network of settlements. Of particular relevance to housing, **Clause 11** promotes housing diversity and urban consolidation objectives in the established urban realm. **Clause 11.02-1S** (Supply of urban land) states that Planning Authorities should plan to accommodate projected population growth over at least a 15 year period, taking account of opportunities for redevelopment and intensification of existing urban areas as well consideration being had for environmental aspects, sustainable development and the costs associated with providing infrastructure. This clause states:

Planning for urban growth should consider:

- *Opportunities for the consolidation, redevelopment and intensification of existing urban areas.*
- *Neighbourhood character and landscape considerations.*

- *The limits of land capability and natural hazards and environmental quality.*
- *Service limitations and the costs of providing infrastructure.*

- 11.4 **Clause 11.01-1R1** (Settlement – Metropolitan Melbourne) and **Clause 11.03-1S** (Activity centres) places particular emphasis on providing increased densities of housing in and around activity centres or sites that have good access to a range of services, facilities and transport options.
- 11.5 **Clause 11.02** (Managing Growth) main directive is to ensure a sufficient supply of land is made available for a variety of purposes, including residential. To achieve this, it takes into account sufficient land availability to meet forecasted demand. **Clause 11.03-1S** places particular emphasis on providing a diversity of housing, including forms of higher density housing, in defined activity centres to cater for different households that are close to jobs and services.
- 11.6 **Clause 15** (Built Environment and Heritage) aims to ensure all new land use and development appropriately responds to its landscape, valued built form and cultural context, and protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.
- 11.7 Policies pertaining to urban design, built form and heritage outcomes are found at Clause 15 of the Planning Policy Framework. Of particular significance, **Clause 15.01-1S** (Urban design) and **Clause 15.01-1R** (Urban Design – Metropolitan Melbourne) encourages development to achieve high quality architectural and urban design outcomes that contribute positively to neighbourhood character, minimises detrimental amenity impacts and achieves safety for future residents, and the community, through good design. The provisions of **Clause 15.02** (Sustainable Development) promotes energy and resource efficiency through improved building design, urban consolidation and promotion of sustainable transport.
- 11.8 **Clause 15.03-2S (Aboriginal Cultural Heritage)** seeks to ensure the protection and conservation of places of Aboriginal cultural heritage significance.
- 11.9 The Subject Land is identified in an area of Aboriginal Cultural Heritage Sensitivity, however the Planning Officer has completed the Aboriginal Heritage Planning Tool on the Department of Planning and Community Development (DPCD) website and established that the proposed activity is **exempt** from requiring a Cultural Heritage Management Plan.
- 11.10 Housing objectives are further advanced at **Clause 16**. This Clause aims to encourage increased diversity in housing to meet the needs of the community through different life stages and respond to market demand for housing. In much the same vein as **Clause 11**, this Clause advances notions of consolidation of existing urban areas, particularly in and around activity centres and employment corridors that are well served by all infrastructure and services.
- 11.11 The policies contained within **Clause 16.01-3S** (Housing diversity) encourage the provision of range of housing types to meet the increasingly diverse needs of the community. Emphasis is placed on development of well-designed medium density housing with respect to neighbourhood character. Further, this Clause aims to make better use of the existing infrastructure and provide more energy efficient housing. **Clause 16.01-4S** (Housing affordability) raises the objective of delivering more affordable housing closer to jobs, transport and services.

- 11.12 It is submitted that the proposed development satisfies the aforementioned State strategies and policy direction. Specifically, the subject site is located on land earmarked for residential purposes, whereby residential development is an 'as of right' use under the zoning provisions. Subject to appropriate conditions on any permit issued, the development itself achieves an acceptable design outcome for the site and its immediate abuttals, whilst enjoying convenient and direct access to community facilities and the like, including public transport nodes.

Local Planning Policy Framework

- 11.13 The City of Kingston's MSS at **Clause 21.07 - Housing** of the Kingston Planning Scheme, seeks to provide guidance to development in residential zoned land, mixed use zoned lands and land within activity centres. The Residential Land Use Framework Plan illustrates the range of housing outcomes sought across the City of Kingston.
- 11.14 Relevant objectives and strategies in **Clause 21.07-1: Residential Land Use** include:
- To provide a range of housing types across the municipality to increase housing diversity and cater for the changing housing needs of current and future populations, taking account of the capacity of local areas in Kingston to accommodate different types and rates of housing change. This is to be achieved through encouraging residential development within activity centres via mixed-use development, and on transitional sites at the periphery of activity centres.
 - To ensure new residential development respects neighbourhood character and is site responsive, and that medium density dwellings are of the highest design quality. This is to be achieved through promoting new residential development, which is of a high standard, responds to the local context and positively contributes to the character and identity of the local neighbourhood.
 - To promote more environmentally sustainable forms of residential development. To be achieved through promoting medium density housing development in close proximity to public transport facilities, particularly train stations.
 - To manage the interface between residential development and adjoining or nearby sensitive/strategic land uses.
- 11.15 Council's Local Planning Policy at **Clause 21.07** essentially reinforces State Planning Policy relevant to housing, stressing the need to encourage urban consolidation in appropriate locations and to accommodate projected population increases.
- 11.16 **Clause 22.06 - Residential Development Policy** extends upon the provision contained at **Clause 21.07 - Housing**, relating to increased housing diversity areas, incremental housing change areas, minimal housing change areas, residential renewal areas and neighbourhood character. It provides design guidance on how new residential development should achieve architectural and urban design outcomes that positively respond to neighbourhood character.
- 11.17 Relevant objectives in **Clause 22.06-2 Residential Development Policy** include:
- To promote a managed approach to housing change, taking account of the differential capacity of local areas in Kingston to accommodate increased housing diversity, incremental housing change, residential renewal or minimal housing change, as identified within the MSS.

- To encourage new residential development to achieve architectural and urban design outcomes that positively respond to neighbourhood character having particular regard to that identified in the Kingston Neighbourhood Character Guidelines – August 2007.
- To promote on-site car parking which is adequate to meet the anticipated needs of future residents.
- To ensure that landscaping and trees remain a major element in the appearance and character of the municipality's residential environments.
- To limit the amount and impact of increased stormwater runoff on local drainage systems.
- To ensure that the siting and design of new residential development takes account of interfaces with sensitive and strategic land uses.

11.18 It is considered that the proposed development generally complies and satisfies the State and Local Planning Policy Framework guidelines which aim to encourage well-designed medium density housing in appropriate locations. This is discussed in the Clause 54 assessment, later within this report.

Zoning Provisions

11.19 Pursuant to **Clause 32.08-4**, a lot must provide for the minimum garden area as set out in the following table:

Lot Size	Minimum percentage of a lot set aside as garden area
400-500m ²	25%
501-650 m ²	30%
Above 650 m ²	35%

11.20 The minimum garden area requirement does not apply to an application that extends a dwelling on a lot less than 400 square metres in area. As the subject site equates to 297m², the minimum garden area does not apply.

Overlay Provisions

11.21 The subject site is located within a Design and Development Overlay (Schedule 1 and 7)

11.22 The purpose of this Overlay is to identify areas which are affected by specific requirements relating to the design and built form of new development.

11.23 The proposal complies with the Overlay's relevant Decision Guidelines and is deemed appropriate for the following reasons:

- The proposal does not alter the overall height or the number of storeys of the dwelling;
- The proposed works are beyond 4.5 metres of the foreshore boundary.

12.0 CLAUSE 54 (RESCODE ASSESSMENT)

12.1 The proposal has been assessed against the objectives and standards of **Clause 54** (ResCode) of the Kingston Planning Scheme (refer to Appendix A). **Clause 54** requires that a development **must** meet all of the objectives, and all of the standards of this clause **should** be met. Variations to the standards are able to be considered where it is determined that the overall objective is met.

12.2 The table below provides a detailed discussion, where relevant, for any standards where concessions are sought. Overall, it is noted that the application achieves a high level of compliance with the ResCode provisions, with no variations sought of the thirty-three (33) ResCode standards.

12.3 CLAUSE 54: RESCODE TABLE ASSESSMENT

Two or more dwellings on a lot and residential buildings in a General Residential Zone – Schedule 2. *****MUST meet the objective, SHOULD meet the standard*****

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
Clause 54.02-1 Neighbourhood Character objectives <ul style="list-style-type: none"> To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character. To ensure that design responds to the features of the site and the surrounding area. 	Standard A1 <ul style="list-style-type: none"> The design response must be appropriate to the neighbourhood and site. The proposed design must respect the existing or preferred neighbourhood character and respond to site features. 	Complies with Standard & Objective
Assessment: The proposal seeks to incorporate a balcony, which is a prevalent characteristic of dwellings in the immediate area. The proposal however will not alter the overall characteristics of the dwelling.		
Clause 55.02-5 Integration with the street objective <ul style="list-style-type: none"> To integrate the layout of development with the street. 	Standard B5 <ul style="list-style-type: none"> Dwelling should be oriented to front existing and proposed streets. 	N/A
	<ul style="list-style-type: none"> Development oriented to front existing/proposed streets 	N/A
	<ul style="list-style-type: none"> High fencing in front of dwellings should be avoided if practicable. 	N/A
	<ul style="list-style-type: none"> Development next to existing public open space should be laid out to complement the open space. 	N/A
Assessment: The dwelling does not face the street and is approximately 58 metres from Nepean Highway.		

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
Clause 54.03-1 Street setback objective <ul style="list-style-type: none"> To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site. 	Standard A3 Walls of buildings should be set back from streets: <ul style="list-style-type: none"> At least the distance specified in a schedule to the zone, OR If no distance is specified in a schedule to the zone, the distance specified in Table A1 Required: N/A	N/A
Assessment: The proposal will not alter the street setback.		
Clause 54.03-2 Building height objective <ul style="list-style-type: none"> To ensure that the height of buildings respects the existing or preferred neighbourhood character. 	Standard A4 Maximum: 11 metres (11 metres and no more than 3 storeys under GRZ2)	Complies with Standard & Objective
Assessment: There has been concerns raised by an objector that the proposal will result in a three-storey building and will exceed the maximum building height. There are no alterations to the existing open pergola located on the roof top and will not result in a third floor. Therefore, the maximum building height of the dwelling will remain as 9.3 metres and meets the height parameters specified in this Standard.		
Clause 54.03-3 Site Coverage objective <ul style="list-style-type: none"> To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site. 	Standard A5 Maximum: GRZ2 – 60%	Complies with Standard & Objective
Assessment: The proposal will increase the site coverage by 12m ² and will achieve a site coverage of 46% for the subject site only. In regard to the original approval as per KP-2015/152, the site coverage would be increased to 60%. This meets the requirements of the standard.		
Clause 54.03-4 Permeability objectives <ul style="list-style-type: none"> To reduce the impact of increased stormwater run-off on the drainage system. To facilitate on-site stormwater infiltration. 	Standard A6 At least: 20%	Complies with Standard & Objective
Assessment: The permeability figure proposed for the subject site (i.e. 45%) exceeds that specified in the Standard.		

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
Clause 54.03-5 Energy efficiency protection objectives <ul style="list-style-type: none"> To achieve and protect energy efficient dwellings. To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy. 	Standard A7 Orientation, siting & design of buildings should make appropriate use of solar energy. Further, siting & design should ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. Living areas & private open space should be located on the north side of the development, if practicable. Solar access to north-facing windows is maximised.	Complies with Standard & Objective
Assessment: The internal layout of the dwelling has not altered. The proposed balcony is located on the north side of the dwelling which maximises solar access onto this private open space and meets this Standard.		
Clause 54.03-6 Significant trees objective <ul style="list-style-type: none"> To encourage development that respects the landscape character of the neighbourhood. To encourage the retention of significant trees on the site 	Standard A8 <ul style="list-style-type: none"> Development should provide for the retention or planting of trees, where these are part of the neighbourhood character. Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made. 	N/A
Assessment: No significant trees are proposed to be removed or impacted by the proposed development.		
Clause 54.04-1 Side and rear setbacks objective <ul style="list-style-type: none"> To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings. 	Standard B10 A new building not on or within 200mm of a boundary should be set back from side or rear boundaries: <ul style="list-style-type: none"> 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. 	Complies with Standard & Objective
Assessment: The balcony is required to have a side setback of 1.99m from both the south-western title boundary and the northern title boundary. The proposed balcony is setback 6m from the south-western title boundary and 4m from the northern title boundary. The proposal satisfies and in some cases exceeds the formula to Standard B17.		
Clause 54.04-2 Walls on boundaries objective	Standard A11 A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary:	N/A

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
<ul style="list-style-type: none"> To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings. 	<ul style="list-style-type: none"> 10 m plus 25% of the remaining length of the boundary of an adjoining lot, or Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater. 	
Assessment: No new walls on boundary proposed as part of this development application.		
Clause 54.04-3 Daylight to existing windows objective <ul style="list-style-type: none"> To allow adequate daylight into existing habitable room windows. 	Standard A12 Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3m ² and minimum dimension of 1m clear to the sky.	Complies with Standard & Objective
	Walls or carports more than 3m in height opposite an existing habitable room window should be set back from the window at least 50% of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.	Complies with Standard & Objective
Assessment: The proposal will not have an unreasonable impact upon daylight to existing habitable room windows, particularly as the proposed works are at least 8 metres from any windows. These existing habitable room windows will still have more than 3m ² of light court that is clear to the sky.		
Clause 54.04-4 North facing windows objective <ul style="list-style-type: none"> To allow adequate solar access to existing north-facing habitable room windows. 	Standard A13 Buildings should be setback 1m if an existing HRW is within 3m of the abutting lot boundary (add 0.6m to this setback for every metre of height over 3.6m & add 1m for every metre of height over 6.9m)	Complies with Standard & Objective
Assessment: The standard requires a setback of 2.98m from the north facing windows of Unit 11 606 Nepean Highway to the proposed works. The proposed balcony is at least 8 metres from these windows which accords with this standard.		
Clause 54.04-5 Overshadowing open space objective <ul style="list-style-type: none"> To ensure buildings do not significantly overshadow existing secluded private open space 	Standard A14 Where sunlight to the SPOS of an existing dwelling is reduced, at least 75%, or 40m ² with min. 3m, whichever is the lesser area, of the SPOS should receive a min of 5hrs of sunlight btw 9am & 3pm on 22 September. If existing sunlight to the SPOS of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.	Complies with Standard & Objective

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
Assessment: The proposed development does not result in an unreasonable level of overshadowing to any existing SPOS areas.		
Clause 54.04-6 Overlooking objective <ul style="list-style-type: none"> To limit views into existing secluded private open space and habitable room windows. 	Standard A15 A HRW, balcony, terrace, deck or patio should be located & designed to avoid direct views into the SPOS of an existing dwelling within 9m (refer to clause for exact specifications). Where within it should be either: <ul style="list-style-type: none"> Offset a minimum of 1.5m from the edge of one window to the edge of the other. Have sill heights of at least 1.7m above floor level. Have fixed, obscure glazing in any part of the window below 1.7m above floor level. Have permanently fixed external screens to at least 1.7m above floor level & be no more than 25% transparent. 	Complies with Standard & Objective
	Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.	N/A
	Screens used to obscure a view should be: <ul style="list-style-type: none"> Perforated panels or trellis with a maximum of 25% openings or solid translucent panels. Permanent, fixed and durable. Designed and coloured to blend in with the development. 	Complies with Standard & Objective
<p>Standard A15 can only have consideration for windows or POS within a horizontal distance of 9 metres. Views are measured within a 45 degree angle from the plane of the window or perimeter of the balcony and from a height of 1.7 metres above floor level. Any views beyond 9 metres are achievable and allowable and are beyond the assessment of this standard.</p> <p>It is reiterated, this assessment can only be made against any overlooking achievable within 9 metres from the view point.</p> <p>Balcony Overlooking Assessment</p> <p>The balcony is proposed to be located adjacent to the existing first floor kitchen/living area, which has been designed with existing privacy screenings (fixed louvre screens on either side to limit overlooking from the existing windows into No. 604 Nepean Highway and No. 606 Nepean Highway. The balcony is proposed to be located between these existing louvres, with the plans notated to specify the privacy screening is to be retained.</p>		

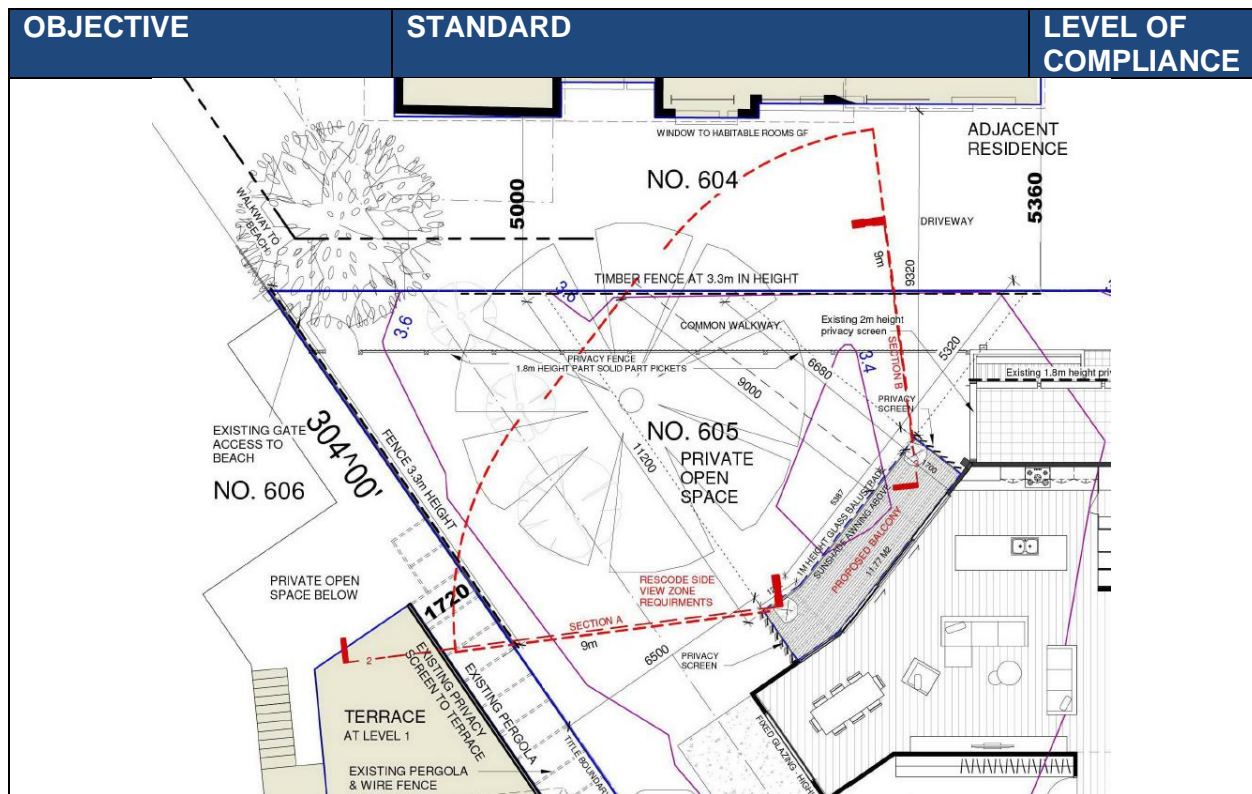


Figure 1: Location of proposed First Floor Balcony

Potential overlooking can only occur within the section highlight in Figure 2.

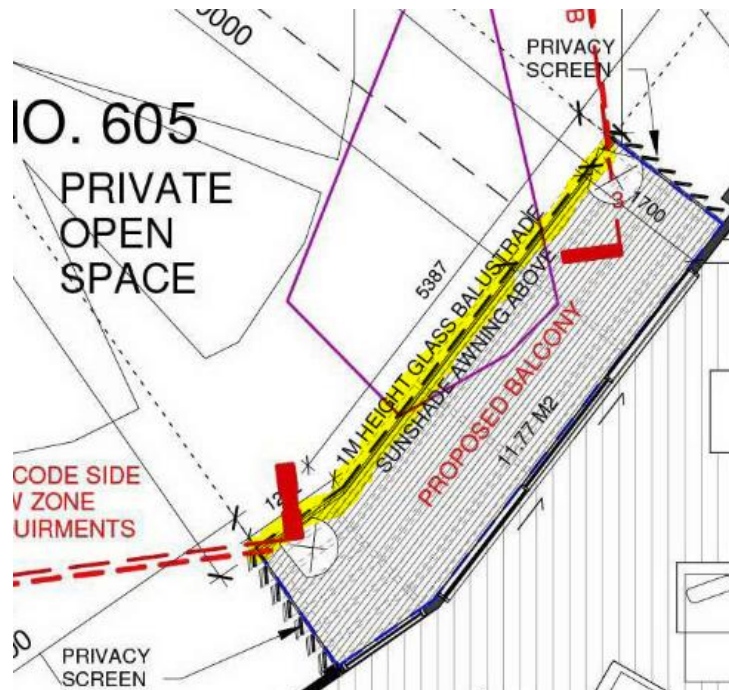

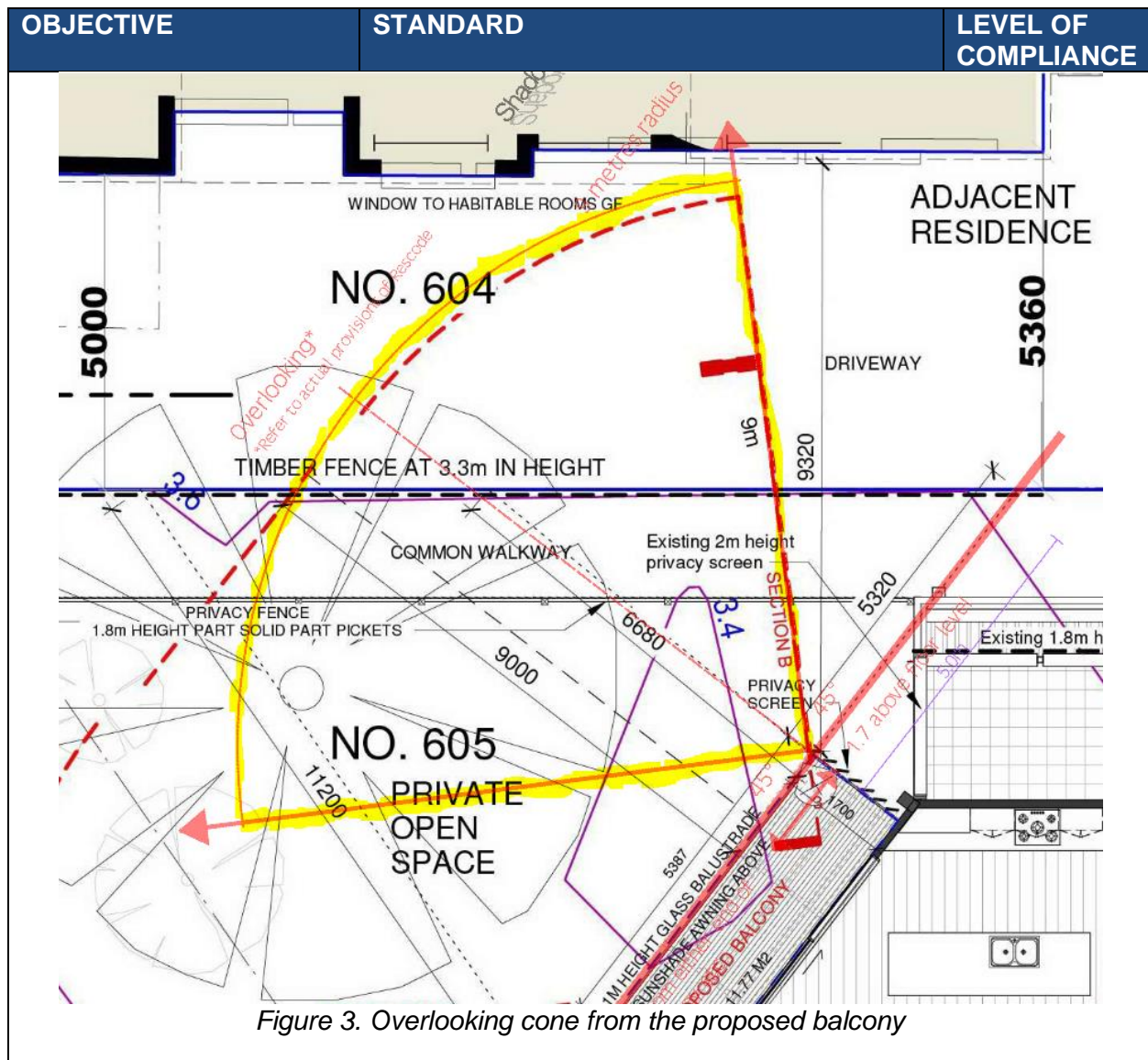


Figure 2: Section where potential overlooking can occur from proposed balcony

It is noted that during the site visit, the louvres which have been installed appeared to have quite large gaps shown on the following images. It is noted, the louvres have been angled to limit direct views, however given the angle, and the width between blades, it is considered there may be opportunity for direct views on particular angles.

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
<div data-bbox="360 445 1201 1413"></div> <p><i>Image 1: The existing privacy screens on the first floor – photo taken from the habitable bedroom of 11/604 Nepean Highway (South-east)</i></p>		

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
<div data-bbox="293 315 1267 1061" data-label="Image"> </div> <p data-bbox="233 1061 1356 1128"><i>Image 2: The existing privacy screens on the first floor – photo taken from the outdoor terrace of 11/604 Nepean Highway (South-west)</i></p> <p data-bbox="167 1162 1396 1263">It is noted that the Tribunal Member determined the louvre screening was considered to be a reasonable screening measure to limit overlooking when considered at the hearing for the previous application.</p> <p data-bbox="167 1296 1299 1330">It is noted the planning permit issued for KP-2015/152 included the following condition:</p> <p data-bbox="215 1364 713 1397"><i>1c. with respect to screening devices:</i></p> <p data-bbox="258 1431 1278 1498"><i>i. provide details of louvers to allow outward views while limiting overlooking to adjacent habitable room windows and secluded private open spaces;</i></p> <p data-bbox="167 1532 1396 1599">It is unclear when attending the adjoining property if the louvres have been designed in accordance with the requirements of Standard A15, and the previous planning permit.</p> <p data-bbox="167 1632 1396 1800">It is recommended that a condition be included on any permit to be issued to ensure that the privacy screen have openings of maximum 25% and comply with the standard. This can be done by way of diagram showing the existing screening meet the requirements, or the screening will be required to be modified accordingly. This has been included as condition 1a of the recommendation below.</p> <p data-bbox="167 1834 716 1868">Overlooking onto 604 Nepean Highway</p> <p data-bbox="167 1901 1396 2069">The proposed balcony is 9.32 metres from Unit 4 604 Nepean Highway's habitable room windows, north of the site. As shown on <i>Figure 3</i> the view lines only fall on the driveway and do not encroach into any habitable rooms or area of private open space of the adjoining properties to the north of the subject site. This complies with the requirement. <i>Image 3</i> shows the location of the balcony from the driveway of 604 Nepean Highway.</p>		



OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
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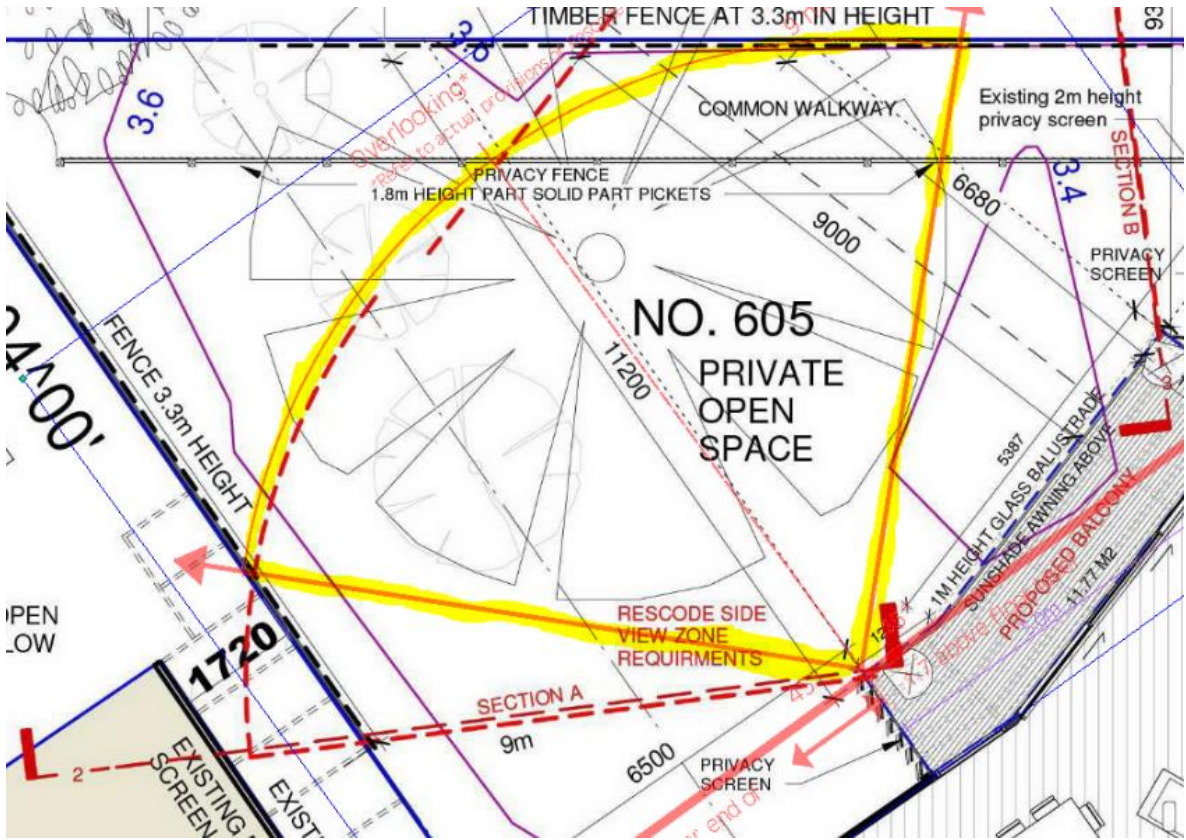




Image 3: Views from the driveway of No. 604 Nepean Highway

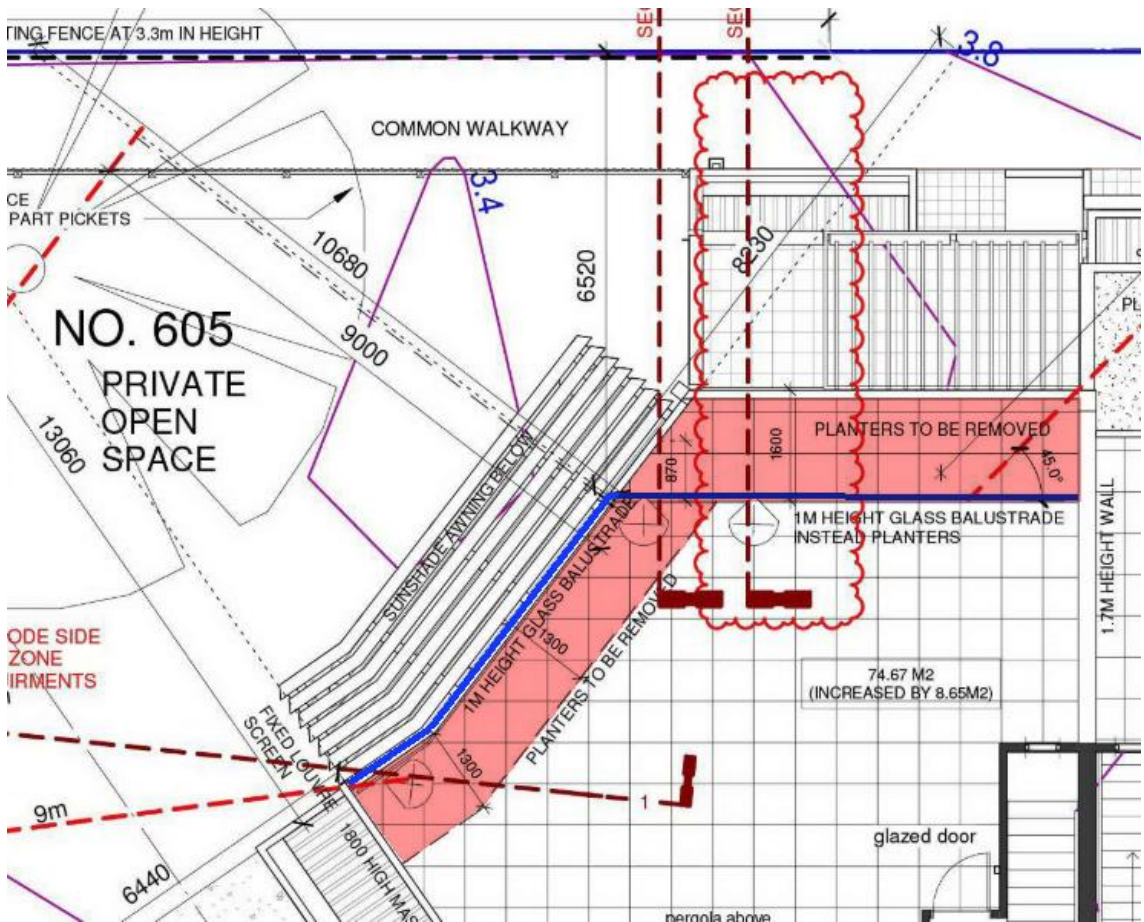
Overlooking onto Unit 11 606 Nepean Highway

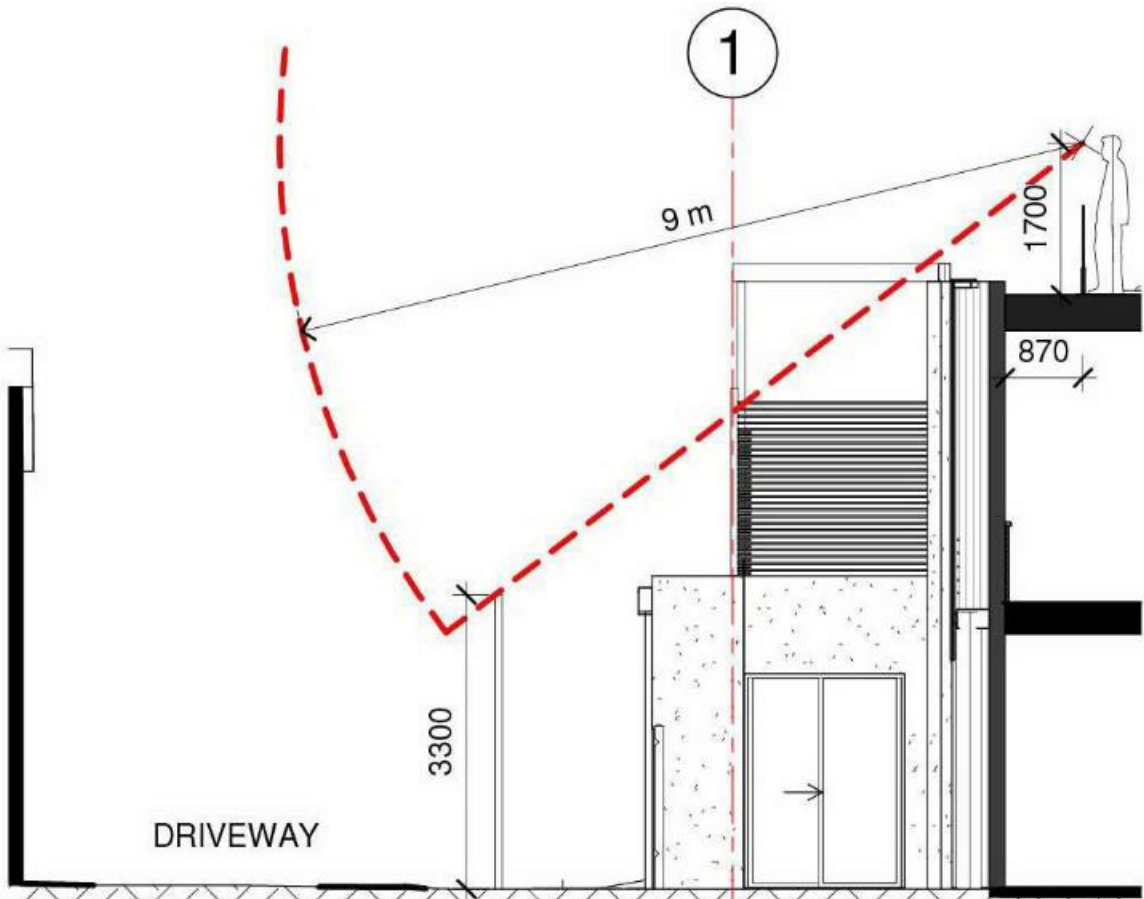
Concerns have been raised by an objector that the proposed balcony will result in unreasonable overlooking onto Unit 11 606 Nepean Highway, south-west of the site.

The adjoining SPOS of Unit 11 606 Nepean Highway just falls outside of the 9 metre view zone requirement as highlighted on *Figure 4*. There is no overlooking potential in a south/south-western direction within 9 metres from the proposed balcony.

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
 <p data-bbox="422 1189 1145 1223">Figure 4: Overlooking Cone from the proposed balcony</p> <p data-bbox="167 1256 1396 1391">Additionally, there is an existing privacy screen located on the terrace of Unit 11 606 Nepean Highway as shown on <i>Image 4 & 5</i>. The location and height of this existing screen further limits any extended views (greater than 9 metres, which is outside of the scope of Standard A15) from the balcony onto the adjoining property.</p>		

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
		
<p><i>Image 4: Existing Privacy screen on the northern side of the Dwelling 11/604 Terrace</i></p>		
		
<p><i>Image 5: Existing Privacy screen on the northern side of the Dwelling 11 604 Terrace</i></p>		

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
<p>Rooftop Deck Overlooking Assessment</p> <p>On submission of the application, the assessing planning officer raised concerns that the proposal could result in downwards views onto the adjoining properties. As a result, the planning officer requested the applicant to submit Sectional Diagrams to demonstrate view lines in a downward direction. Views are measured within a 45 degree angle and a radius of 9 metres, from a standardised height of 1.7 metres above the finished floor level.</p> <p>Only windows and POS within this view zone can be considered.</p> <p>The rooftop planter box is proposed to be removed, and replaced with clear glass balustrading, to a height of 1 metre. The location of the existing planter box is shown below on <i>Figure 5</i> in red and the proposed balustrading shown as a Blue Line.</p>  <p style="text-align: center;"><i>Figure 5</i></p> <p>The glass balustrading is setback from the roof top edge 1.6 metres from the northern side and is located in line with the existing edge of the building on the north-western side.</p> <p>Overlooking onto No. 604 Nepean Highway:</p> <p>Due to the distance the balustrading is setback from the northern edge, the removal of the planter box on the rooftop deck will not have any unreasonable overlooking onto No. 604 Nepean Highway, north of the site.</p>		

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
<p>View lines shown on <i>Figure 6</i> fall mostly onto the area of driveway. Windows are located a significant distance beyond 9 metres from the balustrading. It is acknowledged that there are views beyond 9 metres, however Standard A15 can only consider views within the 9 metre of the proposed works.</p>		
		
<p><i>Figure 6: Overlooking Section C, Rooftop</i></p>		
<p>Overlooking onto Unit 11 605 Nepean Highway</p>		
<p>There has been concerns that the removal of the north facing planter box on the roof deck could result in downward overlooking on to the balcony of Unit 11 605 Nepean Highway, located north of the proposed balustrade. As above and re-iterated in <i>Figure 7</i>, the proposed balustrade is setback 1.6 metres from the edge of the rooftop, which is the same width of the removed planter box. As a result, this setback of the balustrade will have the same outcome as the planter box as the edge of the roof (or parapet of the building) restricts downward views.</p>		

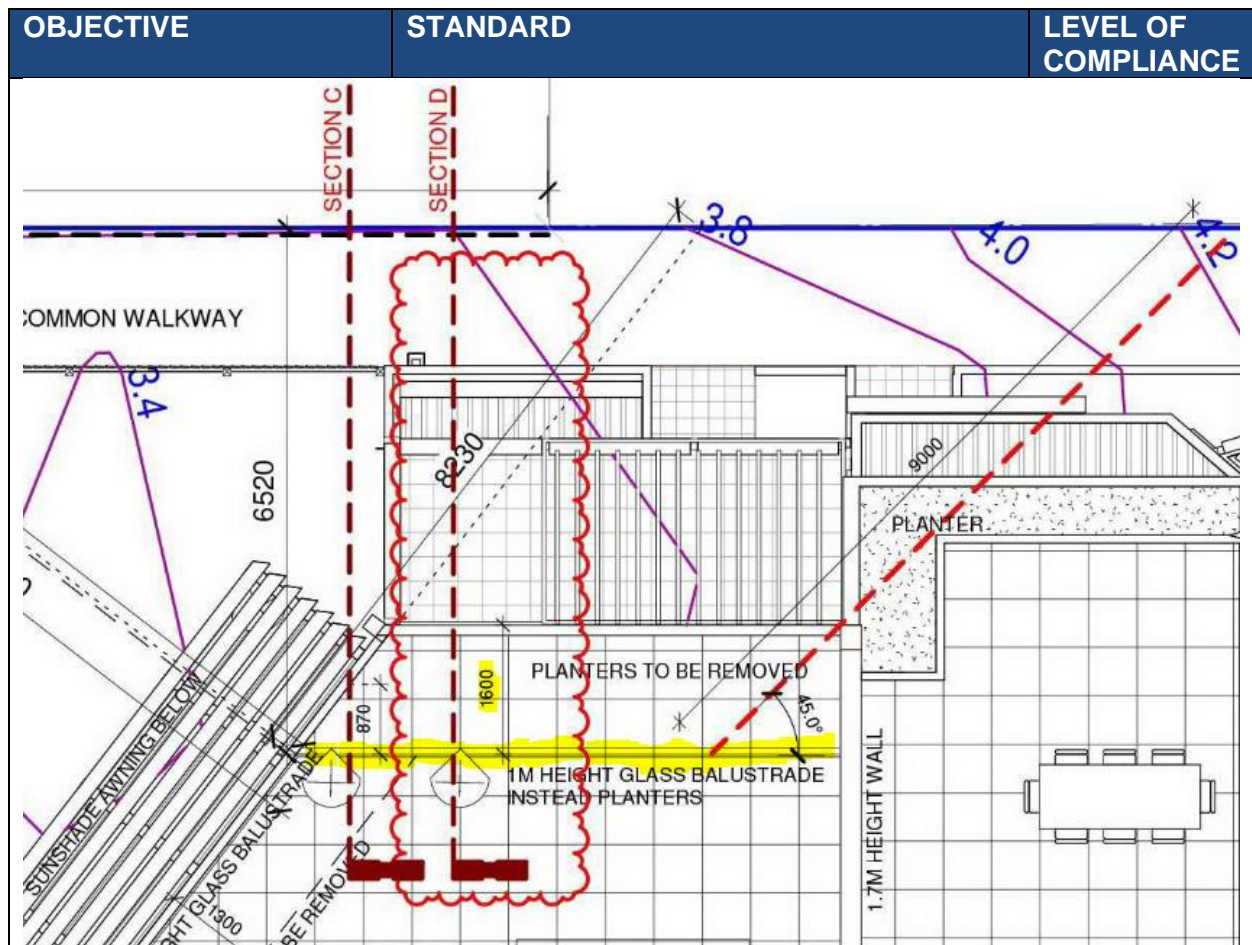
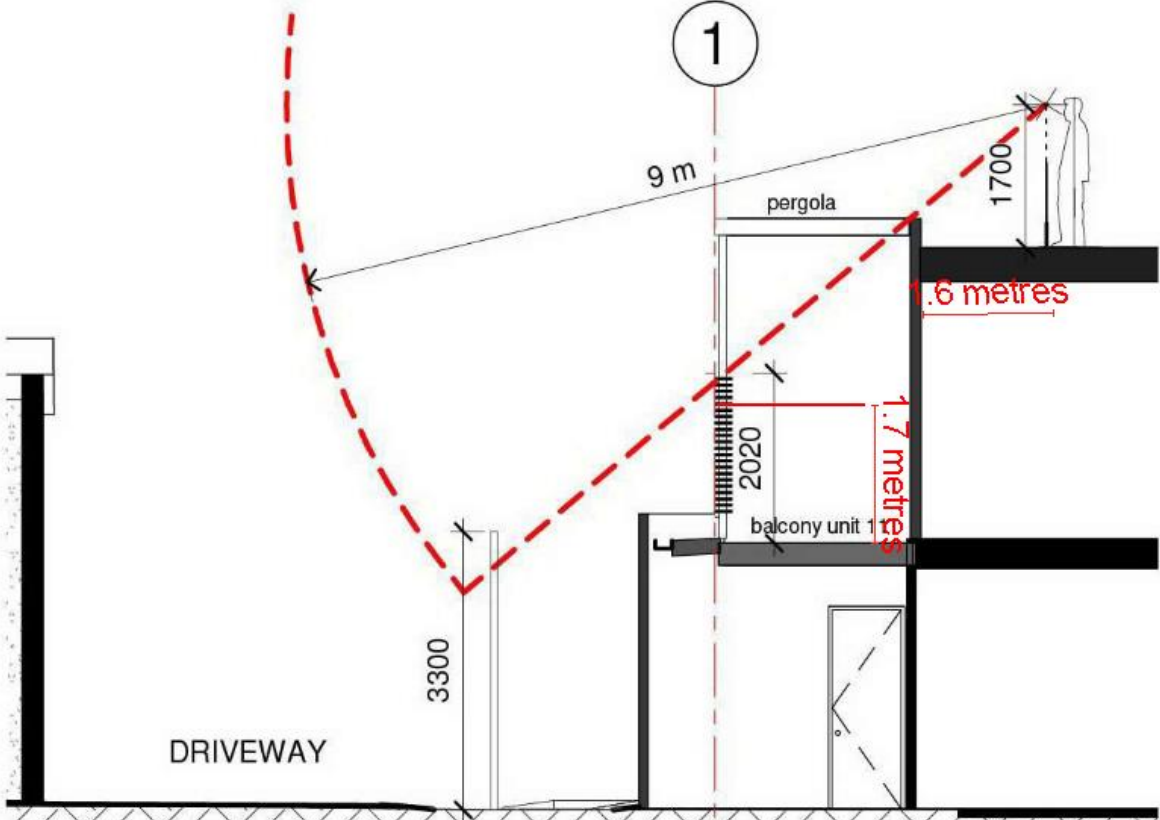


Figure 7: Balustrade setback 1.6 metres

The objector raised concerns that the balustrade being clear glass would result in overlooking. The material of glass is acceptable as views through the balustrade will be limited by the existing built form. It is also noted that the balustrade is set at a height of 1 metre, with the existing roof form being utilised to restrict views. If the balustrading was altered to opaque glazing, it is still only 1 metre high and would not create any additional limitation of achievable views.

Figure 7 shows that the balcony, which includes an open pergola roof, of Unit 11 605 is located below the rooftop deck to the north. Due to the setback of the balustrading, and existing parapet rooftop, downward views are blocked by the built form.

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
		
Figure 7: Overlooking Section D, Rooftop.		
<p>Whilst overlooking is considered to be achievable into the balcony below, the setback of the balustrading and parapet edge limit extensive views. As can be seen on <i>Figure 7</i>, the downward view intersects the outer edge of the balcony at 2.02 metres above the finished floor level. A standardised height of 1.7 metres has been notated on the plans to represent the average height of a person.</p>		
<p>It is considered that due to the blocked downward view, any persons on the balcony would not be able to be seen from any persons on the rooftop above. It is considered the setback of the balustrading and parapet edge sufficiently limit downward views, and no unreasonable overlooking is achievable into 11 605 Nepean highway by the removal of the planter box.</p>		
<p>Overlooking onto Unit 11 606 Nepean Highway:</p>		
<p>There were concerns raised by an objector that the removal of the planter box on the north-western (foreshore side) will result in unreasonable overlooking onto Unit 11 606 Nepean Highway, located south-west of the site. <i>Figure 8</i> below shows the relationship between the subject site and 11 606 Nepean Highway.</p>		

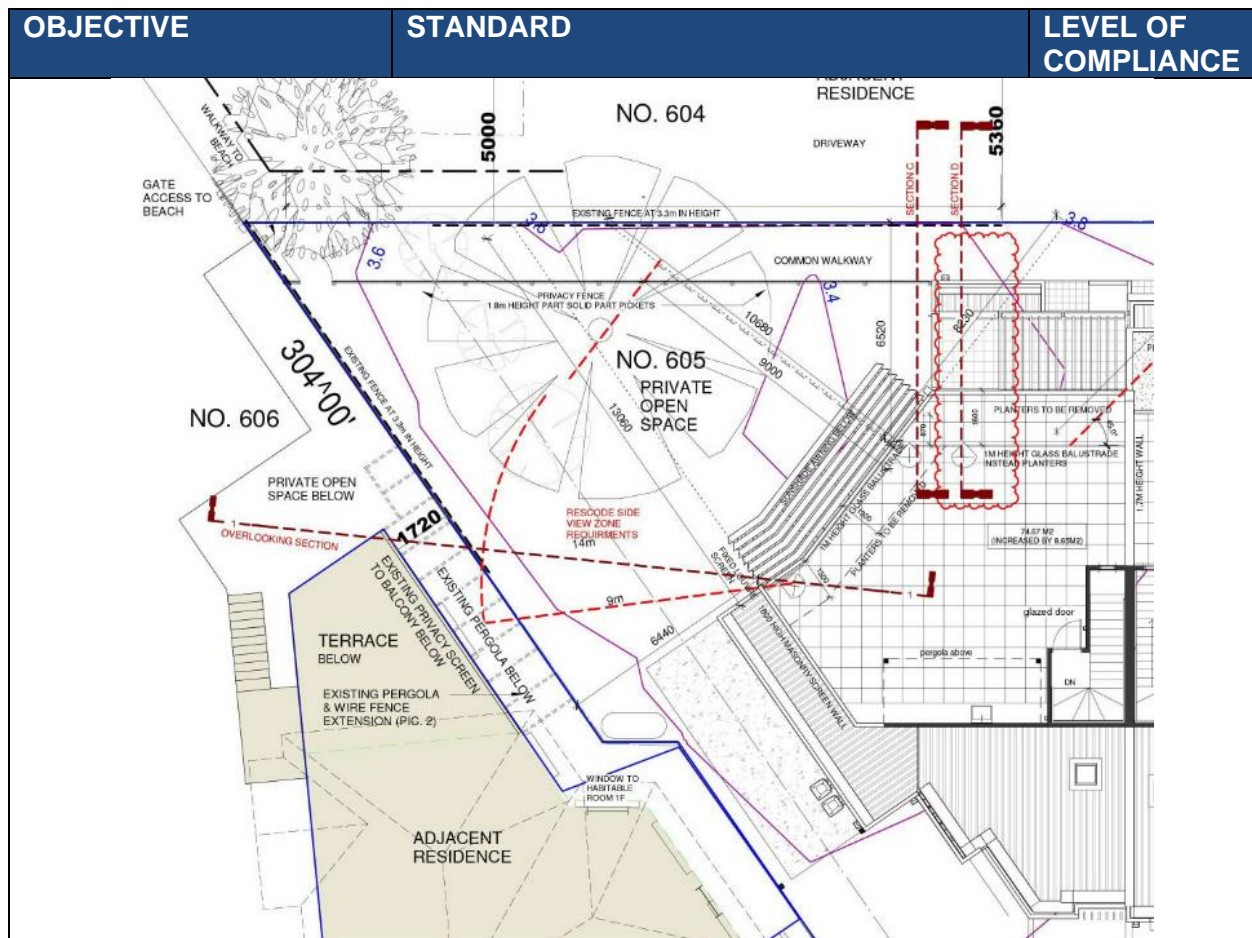


Figure 8: 12 605 & 11 606 Nepean Highway

The previously endorsed plans for KP-2015/152 required a 1.8 metre high masonry screen wall to be constructed on the southern edge, restricting any direct views in a south west from the rooftop deck. The endorsed plans indicated this wall was to be constructed of masonry, however, the objector has claimed that the wall has been constructed from timber with external cladding, rather than the required masonry. *Image 6 and 7* below shows the constructed wall on the southern edge of the rooftop.



Image 6

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
<div data-bbox="445 383 1114 1081"></div> <div data-bbox="721 1079 839 1115"><i>Image 7</i></div> <p>It is noted the planning permit issued for KP-2015/152 included the following condition:</p> <p><i>1b. the floor plans, elevations and sections corrected to show a 1.8 metre high masonry screen wall along the whole of the south-west edge of the roof terrace to Unit TH.01 including abutting the western side of the planter box.</i></p> <p>The previously endorsed plans specified this wall was to be constructed of masonry.</p> <p>The considered plans also include the notation that this wall is to be constructed of masonry, therefore the plans under assessment are consistent with the conditions of the previous permit and will be required to be constructed as notated. The plans currently being assessed do not seek permission to alter the material of the wall to a timber frame with cladding.</p> <p>If the material of the screening is to be altered, the plans will need to be amended, in addition to an amendment being lodged against Planning Permit KP-2015/152. An assessment of this alteration to the material would be made at the time of submission.</p> <p>On review of the previous VCAT decision, the purpose of the masonry screen wall was to limit overlooking; therefore, the constructed timber framed wall is considered to achieve the same outcome of restricting any views onto the properties south-west of the subject site. The 1.8 metre height exceeds the standard requirement for screening to be 1.7 metres above Finished Floor Level.</p> <p>Due to the location of the wall, potential overlooking could only occur within the section highlighted in <i>Figure 9</i> below. The 45 degree angle does not allow for backwards views in a southern direction.</p>		


OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
		

Figure 9: Section where potential overlooking can occur from the rooftop deck

The adjoining SPOS of Unit 11 606 Nepean Highway just falls beyond the 9 metre view zone requirement, as highlighted in *Figure 10 and 11*. It is noted the applicant included overlooking diagrams which exceeded the standard arc measurement, however still demonstrated compliance. The highlighted arcs are the standard as per A15.

Furthermore, as shown on *Figure 12*, Unit 11 606 Nepean Highway has a 3.3 metre high fence with an additional privacy screen to the terrace (shown on *Image 4 and 5*). Thus, no unreasonable overlooking onto the SPOS of the adjoining property will occur from any part of the rooftop deck.

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
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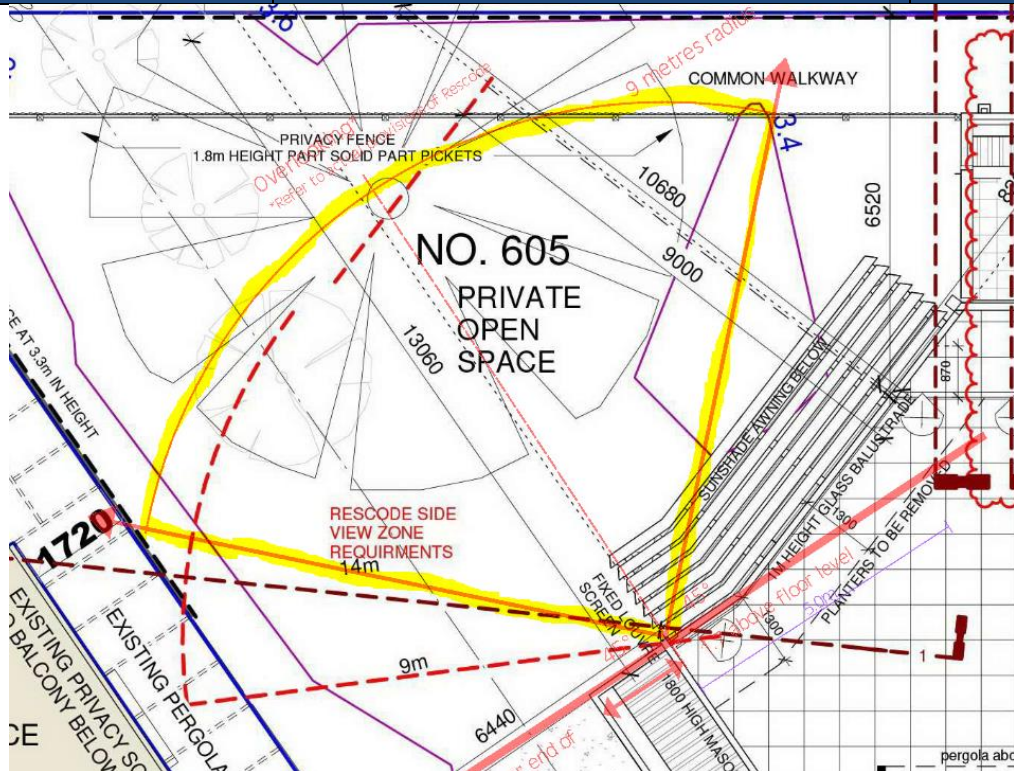


Figure 10: Overlooking cone from the rooftop deck

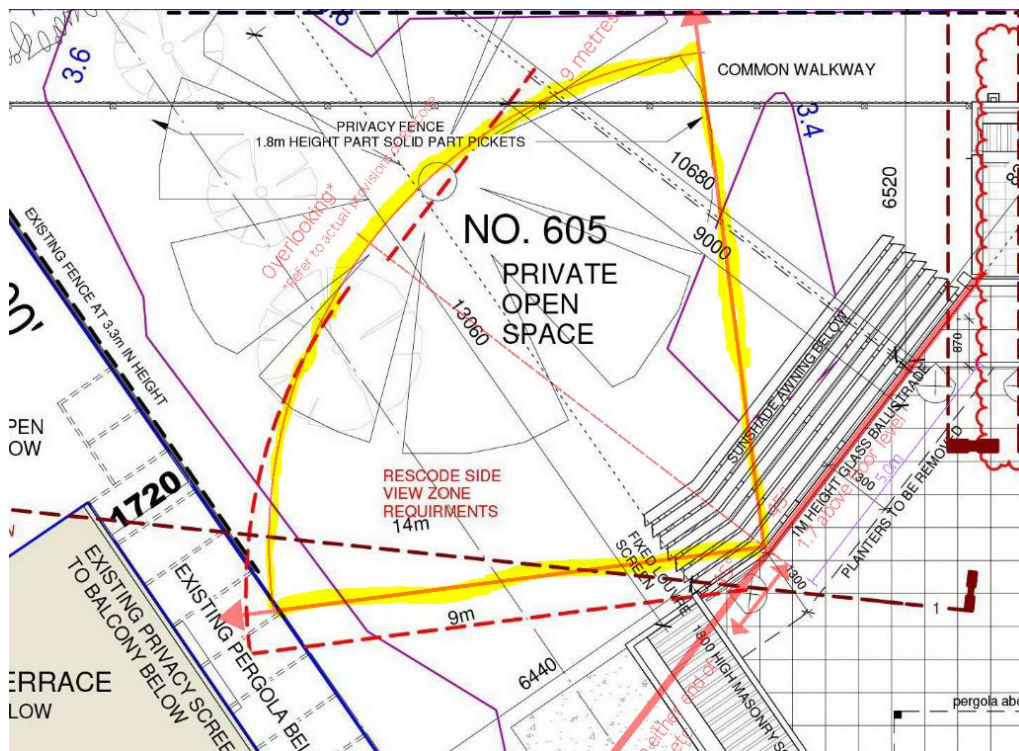
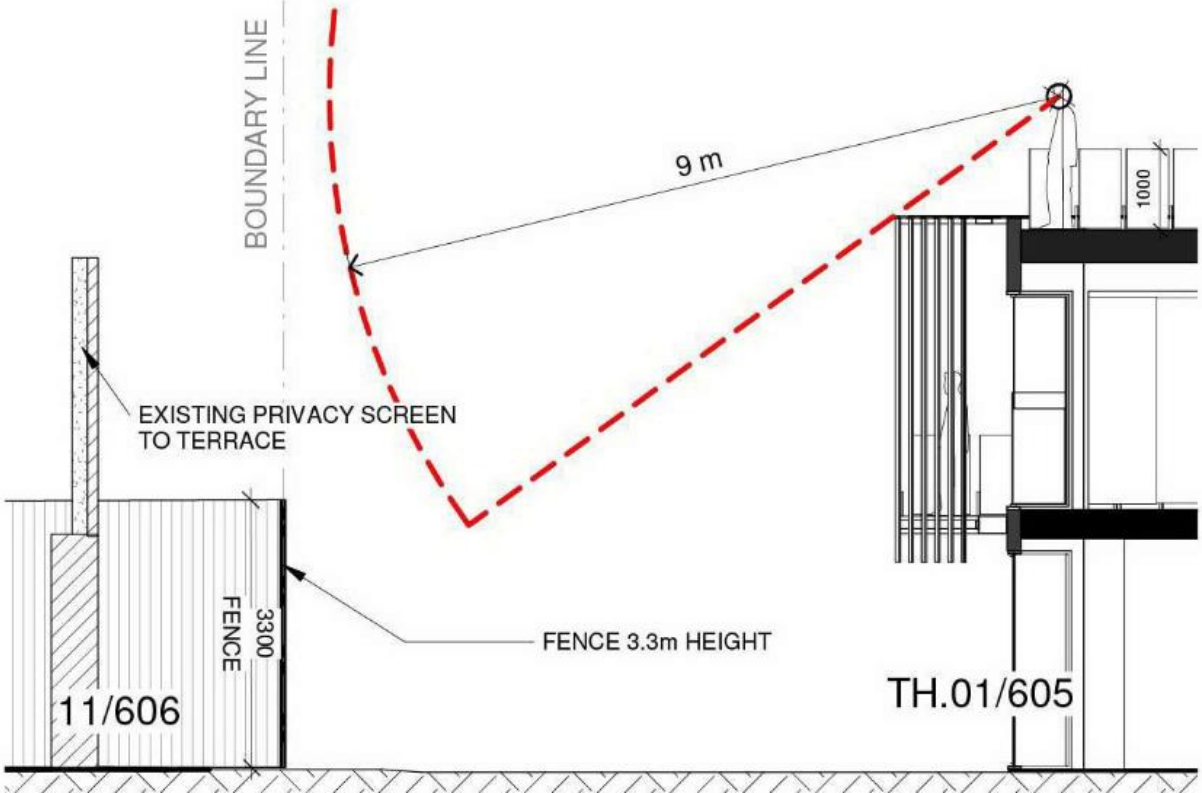


Figure 11: Overlooking cone from the rooftop deck

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
		
<p align="center"><i>Figure 12: Overlooking Section 1, rooftop.</i></p>		
<p>The objector included as part of the submission and refers to a set of plans and sketches indicating that the distance between the balcony and Unit 11 606 Nepean Highway windows is within 9 metres, however these plans do not align with the advertised or assessed plans , therefore the accuracy of such drawings cannot be verified. The sketches show overlooking extending through walls, through screening devices or beyond 9 metres.</p>		
<p>The overlooking assessment has been undertaken from the submitted and advertised plans and demonstrates that the proposed balcony / rooftop and adjoining windows are beyond 9 metres from Unit 11 606 Nepean Highway windows and POS.</p>		
<p>The objector also referred to the VCAT decision regarding the conditions stated in Section 5 of this report. These conditions however were not a result of non-compliance with the requirements of the Standard, refer to Section 5.4 and 5.5 of this report.</p>		
<p>It is further noted that the inclusion of planter boxes on the rooftop deck was a result of negotiation between the applicant and the various objecting parties and was not under the direction of VCAT. Therefore, the proposed alterations that form part of this application is not varying any of the conditions in Planning Permit KP-2015/152.</p>		
<p>It is considered there is no unreasonable overlooking achieved from the proposed balcony, or deletion of the planter boxes and inclusion of alternative balustrading on the rooftop deck.</p>		

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
Clause 54.05-1 Daylight to new windows objective <ul style="list-style-type: none"> To allow adequate daylight into new habitable room windows. 	Standard A16 HRW should be located to face: <ul style="list-style-type: none"> Outdoor space clear to the sky or a light court with a minimum area of 3m² and min. dimension of 1m clear to the sky or Verandah provided it is open for at least 1/3 of its perimeter, or A carport provided it has 2 or more open sides and is open for at least 1/3 of its perimeter. 	N/A
Assessment: There are no new windows as part of this proposal.		
Clause 54.05-2 Private open space objective <ul style="list-style-type: none"> To provide adequate private open space for the reasonable recreation and service needs of residents. 	Standard A17 GR22 - A dwelling or residential building should have POS consisting of: <ul style="list-style-type: none"> An area of 40m², with one part of the POS to consist of SPOS at the side or rear of the dwelling or residential building with a min. 25m², a min. dimension of 3m and convenient access from a living room, or A balcony of 8m² with a min. width of 1.6m and convenient access from a living room, or A roof-top area of 10m² with a min. width of 2m and convenient access from a living room. 	Complies with Standard & Objective
Assessment: The proposal will result in a POS of 253 m ² . This provides an adequate POS that exceeds the area dimension requirements specified above. The removal of the planter box will increase the usable POS and will service social, recreational, and passive needs of future residents.		
Clause 54.05-3 Solar Access to Open Space <ul style="list-style-type: none"> To allow solar access into the secluded private open space of new dwellings and residential buildings. 	Standard A18 The private open space should be located on the north side of the dwelling or residential building, if appropriate.	Complies with Standard & Objective
	The southern boundary of secluded private open space should be set back from any wall on the north of the space at least (2 + 0.9h) metres, where 'h' is the height of the wall.	N/A
Assessment: No south facing POS is proposed as part of this development. The proposed balcony is located on the north side of the dwelling allowing for solar access to this space.		

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE
Clause 54.06-1 Design Detail objective <ul style="list-style-type: none"> To encourage design detail that respects the existing or preferred neighbourhood character 	Standard A19 The design of buildings, including: <ul style="list-style-type: none"> Facade articulation and detailing Window and door proportions, Roof form, and Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character. Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.	Complies with Standard & Objective
Assessment: The proposal uses the material of glass balustrade for the balcony and rooftop deck, which is similar to the balcony glass balustrade of Unit 1 605 Nepean Highway. The proposal incorporates design details found in the immediate area.		
Clause 54.06-2 Front fences objective <ul style="list-style-type: none"> To encourage front fence design that respects the existing or preferred neighbourhood character. 	Standard A20 The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.	N/A
	Schedule to GRZ2: A front fence within 3m of a street should not exceed: 2m for streets in a RDZ1 or 1.2m for other streets	N/A
Assessment: No front fencing is proposed as part of this development application.		

13.0 RESPONSE TO GROUNDS OF OBJECTIONS

13.1 The objector concerns have largely been addressed in the body of this report.

13.2 The following table is a summary of objectors concerns. Many of the concerns raised are related to the original development for 12 dwellings and are not specific to the alterations proposed on the subject site, nor are relevant to the current application relating to works on a lot less than 300 square metres.

Ground(s)	Response
Overlooking	The objector showed concerns with the proposal overlooking onto adjoining properties. However, the proposal complies with the requirements of Standard A15. Refer to Section 12 of this report for the full overlooking assessment.
Site Coverage	The objector showed concerns that the proposal will exceed the specified site coverage. However, the proposal complies with the requirement of Standard A5. Refer to Section 11 of this report

Noise

The objector showed concerns with existing windows being altered to openable doors at the location of the proposed balcony, thus this will generate increased noise and impact to amenity.

It is considered the subject site has existing noise sources from the SPOS on the ground level and the rooftop deck, therefore the noise generated from the proposed balcony would not be any more than the standard residential noise.

The objector has also raised the concern of the dining room window adjacent to Unit 11 606 Nepean Highway being openable when it should have been fixed, window shown on *Image 8* below. The window does appear to be openable and is not in accordance with the endorsed plans. The plans for assessment do not notate these windows as operable and have included notations that these are fixed. This does not form part of the current planning application and will be required to be investigated by Council's Planning Compliance team for comparison against the endorsed plans of KP-2015/152.



Image 8: Highlight window opposite to Unit 11 606 Nepean Highway

In summary, it is considered any noise generated from the adjoining dwelling would be considered as residential noise and would not result in unreasonable amenity impacts that is within the scope of the planning scheme.

Building Height

The objector showed concerns that the proposal will exceed the specified building height. However, the proposal does not seek to increase the maximum building height. Refer to Section 11 of this report

Landscaping	The objector showed concerns that the subject site does not provide adequate landscaping. Any landscaping that has not been completed as part of the original application (KP-2015/152) is not relevant to this application and will be reviewed by the Vegetation Compliance Team.
Car Parking	The objector showed concerns that the proposal does not provide adequate car parking. The proposal will not alter the number of bedrooms or car park spaces associated with the dwelling. The dwelling has a double garage which meets the requirements specified in Clause 52.06.
Over-development	The objector showed concerns that the dwelling has become an over development. This concern however relates to the original development and not the proposed alternations. As discussed in Section 12 of this report, the proposal only seeks to increase the built form and site coverage by 12m ² and complies with Clause 54. Refer to Section 12 of this report.
Devaluation of Property	Pursuant to the <i>Planning and Environment Act 1987</i> and Kingston Planning Scheme, this concern falls outside of the scope of planning considerations.
Loss of views	Pursuant to the <i>Planning and Environment Act 1987</i> and Kingston Planning Scheme, this concern falls outside of the scope of planning considerations.

14.0 CONCLUSION:

- 14.1 On balance, the proposal is considered to substantially comply with the relevant planning policy and therefore should be supported.
- 14.2 As outlined above, it has been determined that prior to deciding on this application all factors pursuant to section 60(1) of the Act have been considered. Further to this, the proposal does not give rise to any significant social and economic effects.
- 14.3 The proposed development is considered appropriate for the Site, subject to conditions, as evidenced by:
- The compatibility of the design and siting with the surrounding area
 - The mitigation of off-site amenity impacts
 - A suitable level of compliance with all relevant policies, including **Clause 54** of the Kingston Planning Scheme

15.0 RECOMMENDATION

- 15.1 That Council determine to support the proposal and issue a **Notice of Decision** to Grant a Permit for **the development of land for alterations and additions to the existing dwelling on a lot less than 300 square metres** at Unit 12 605 Nepean Highway, Bonbeach, subject to the following conditions:

Amended Plans

1. Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the planning permit. The plans must be

drawn to scale with dimensions and an electronic copy must be provided. The plans must be substantially in accordance with the advertised plans prepared by BK World, sheets 1-5 and dated 09 October 2020, but modified to show:

- a) Detailed diagrams demonstrating the existing privacy screens (fixed louvres) are no greater than 25% transparent and meet the requirements of Standard A15,
or;

If compliance is not achieved, the screening devices are to be modified accordingly, with the plans amended to reflect the required alterations.

Endorsed Plans

2. The development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.

General amenity conditions

3. All screening devices must be installed and maintained to prevent overlooking into adjoining properties.

Time Limits

4. In accordance with section 68 of the *Planning and Environment Act 1987* (the Act), this permit will expire if one of the following circumstances applies:

- The development is not started within two (2) years from the date of permit issue.
- The development is not completed within four (4) years from the date of permit issue.


In accordance with Section 69 of the Planning and Environment Act 1987, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition.

Note: Prior to the commencement of the development you are required to obtain the necessary Building Permit.

Note: The applicant/owner must provide a copy of this planning permit to any appointed Building Surveyor. It is the responsibility of the applicant/owner and Building Surveyor to ensure that all building development works approved by any building permit is consistent with the planning permit.

Note: Environment Protection Authority (EPA) Victoria set out the requirements pertaining to site construction hours and permissible noise levels.

Appendices

Appendix 1 - KP-2021/179 - Unit 12 605 Nepean Highway, Bonbeach - Considered Plans (Ref 21/149811) 

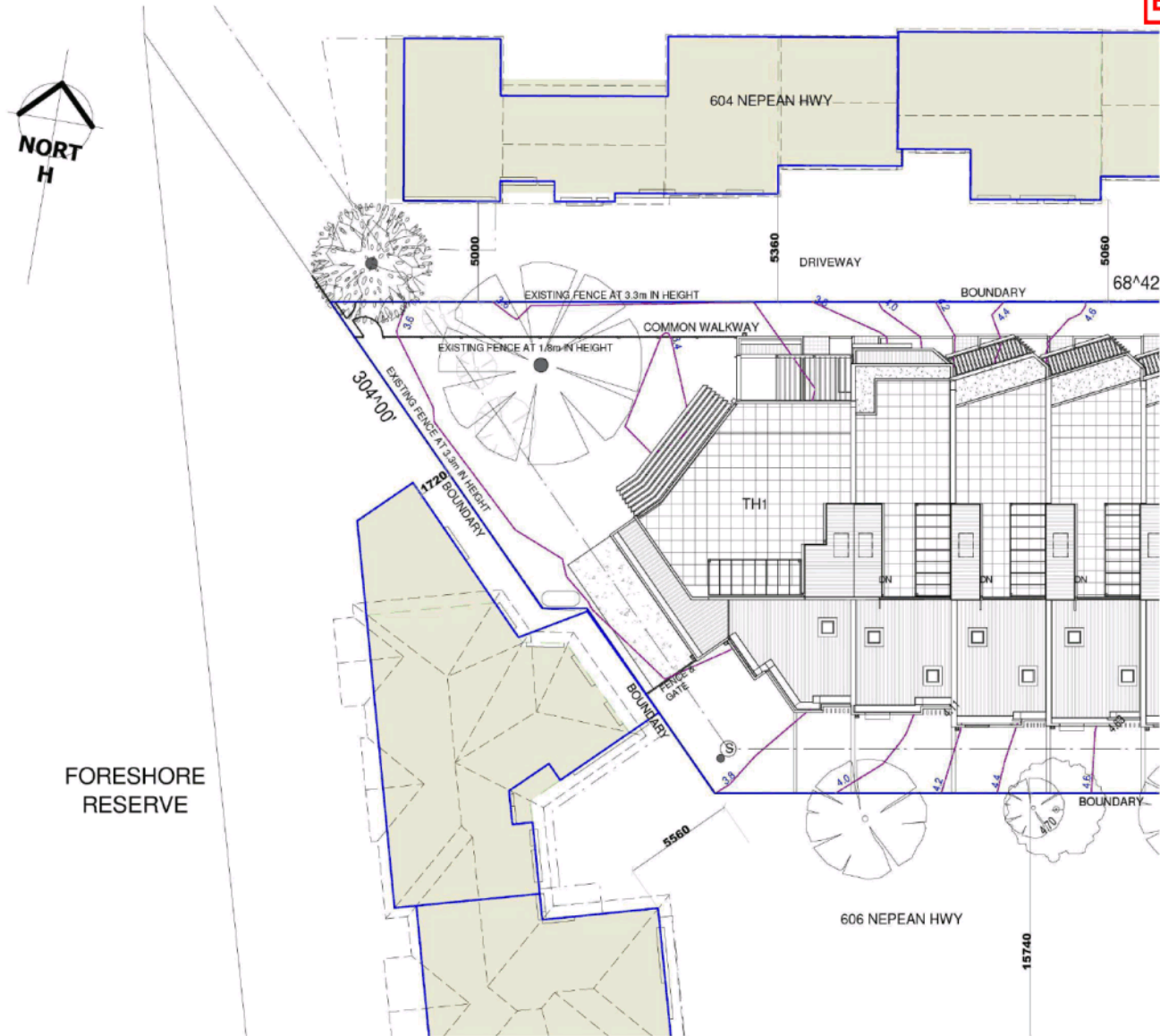
Author/s: Chelsea Campos, Statutory Planner
Reviewed and Approved By: James Leonard, Principal Planner
Alfred Carnovale, Manager City Development

8.3

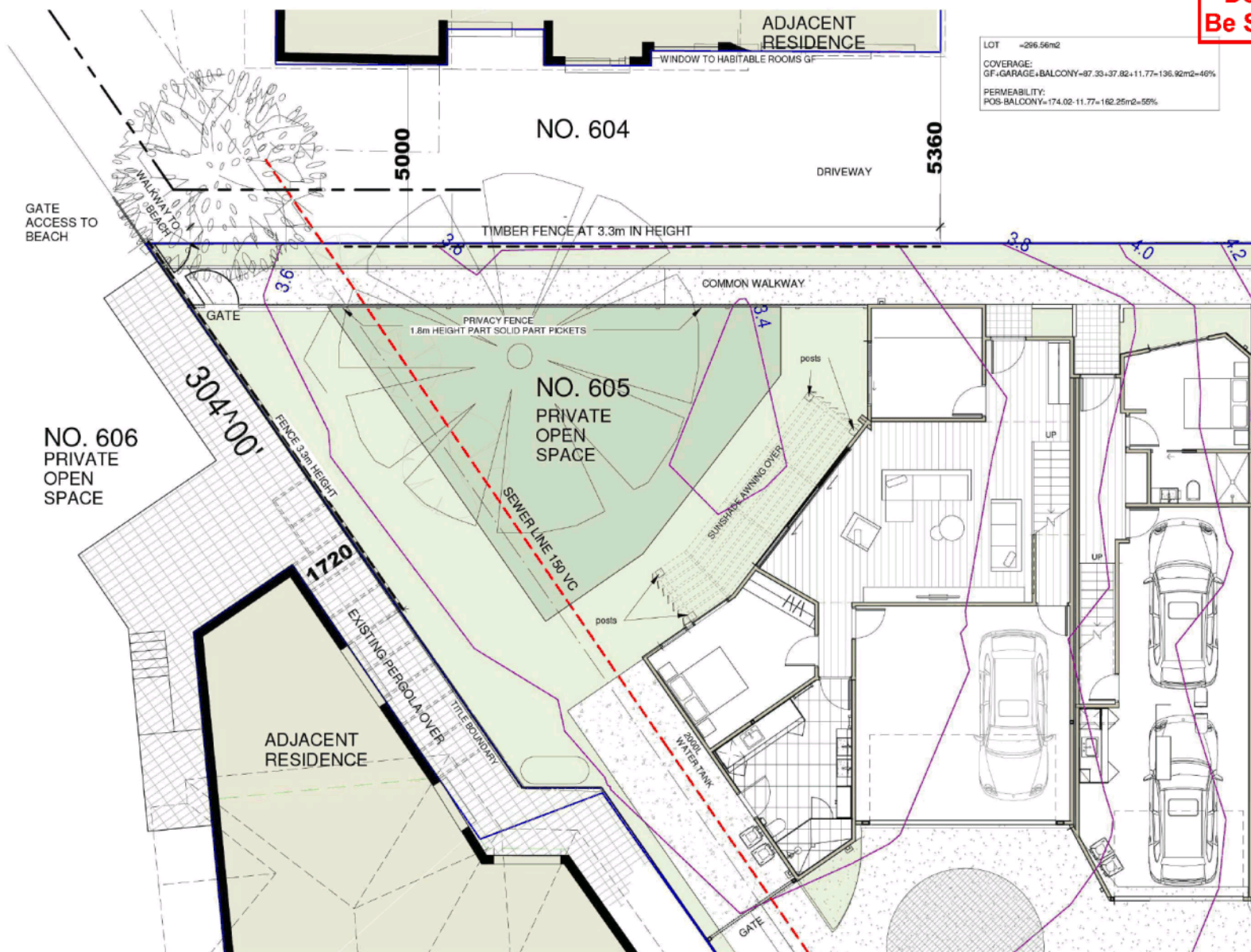
KP-2021/179 - UNIT 12 605 NEPEAN HIGHWAY, BONBEACH

1	KP-2021/179 - Unit 12 605 Nepean Highway, Bonbeach - Considered Plans	111
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Site Plan



ADVERTISED PLANS
Documents May
Be Subject to Copyright



NOTES
Figured dimensions take precedence over scaled dimensions. All dimensions and areas shown are approximate and subject to change. The contractor is to verify all dimensions on site prior to commencing work.
Drawings are to be read in conjunction with the technical specification.
The drawings have been prepared where plans and setbacks are bounded by the survey boundaries. Should any discrepancy arise due to the location of the boundary on the boundary, the owner shall relocate the fence on the boundary should any contractual breach arise.

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Address: 605 NEPEAN HIGHWAY
BONBEACH

Project: Balcony extension TH1

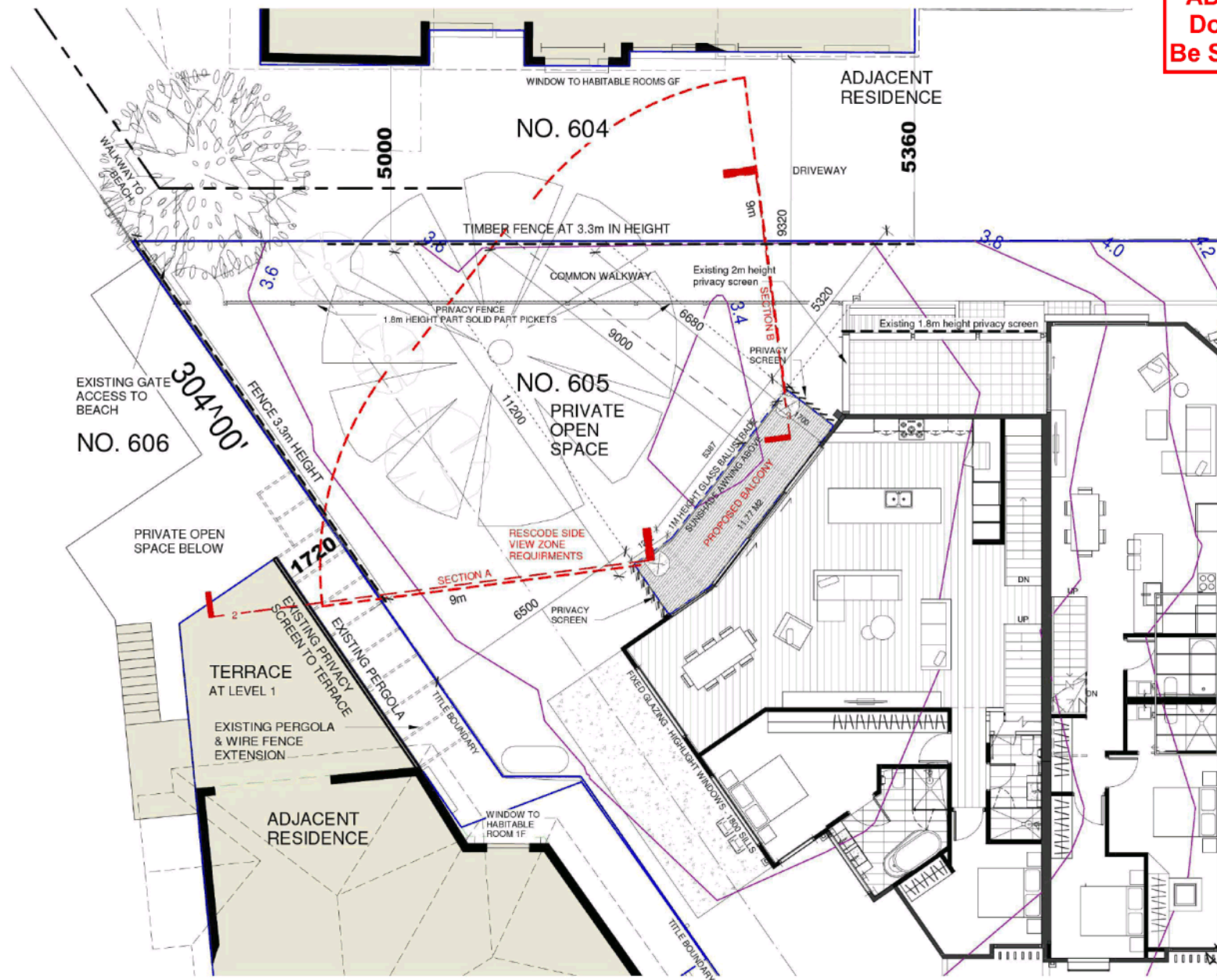
Drawn by	Author
Date	09/10/2020
Project number	
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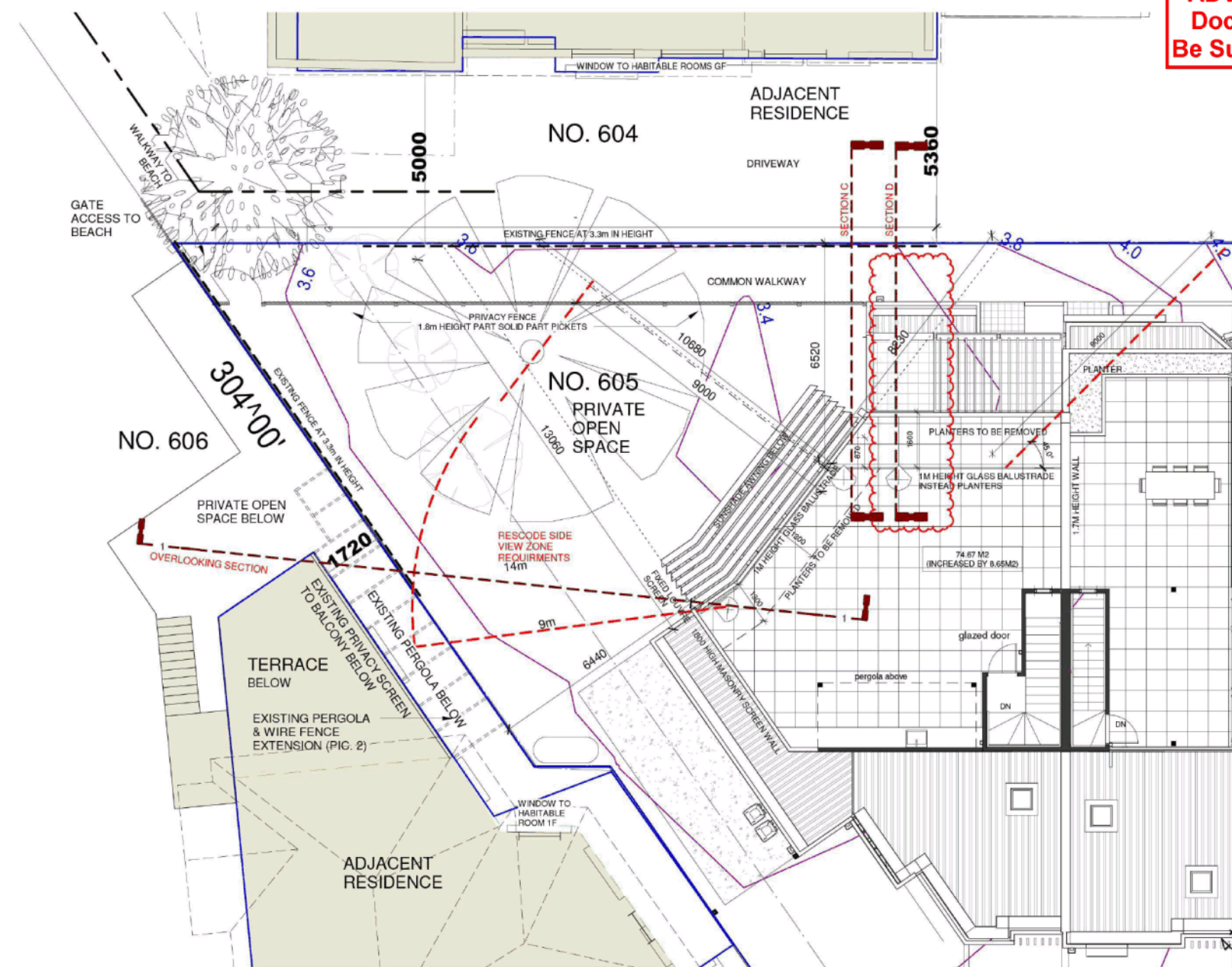
TOWN PLANNING

TP 02

Ground Floor Plan

First Floor Plan





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35-37 Genoa St.
Moorabbin VIC 3189
0412 336 411

NOTES

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Rev.	Description	Date
A	RFI letter dated 18/12/2020	23/12/2020
B	RFI dated 03/02/2021	24/02/2021

Address: 605 NEPEAN HIGHWAY
BONBEACH

Project: Balcony extension TH1

Drawn by	Author
Date	09/10/2020
Project number	
Scale	1 : 100 @A3

TOWN PLANNING

TP 04

Roof Top Plan

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Moorabbin VIC 3189
0412 336 411

NOTES

NOTES

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Address: 605 NEPEAN HIGHWAY
BONBEACH

Project: Balcony extension TH1

Drawn by	Author
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Date	09/10/2020
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Project number

Scale 1:100 @A3

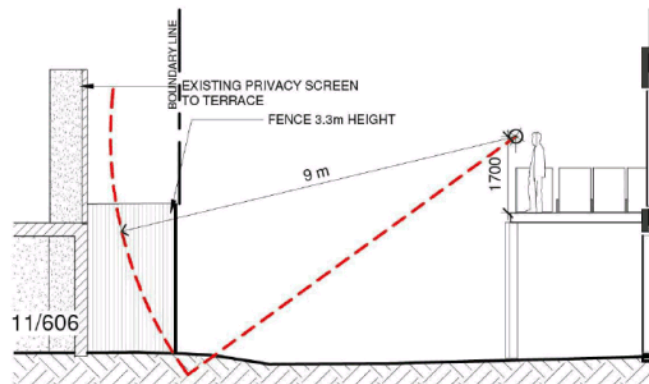
TOWN PLANNING

TP 05

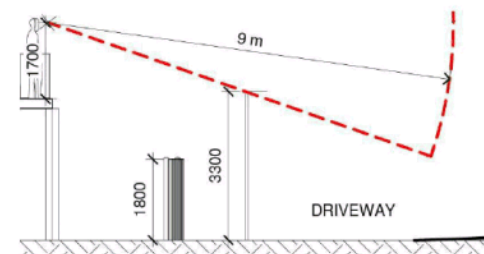
Elevations



① Elevation TH1
1 : 100



② Overlooking Section A, balcony
1 : 100



③ Overlooking Section B, balcony
1 : 100

ADVERTISED PLANS
Document 1111 May
Be Subject To Copyright

35-37 Genoa St.
Moorabbin VIC 3189
0412 336 411

NOTES
Figured dimensions take precedence over scaled dimensions. All dimensions and areas shown are approximate and subject to change. The contractor is to verify all dimensions on site prior to commencing work. Drawings are to be read in conjunction with the technical specification.
The drawings have been prepared where plans and setbacks are bounded by the survey boundaries. Should any discrepancy arise due to the location of fence on the boundary, the owner shall relocate the fence on the boundary should any contractual breach arise.

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[illegible]

Address: 605 NEPEAN HIGHWAY
BONBEACH

Project: Balcony extension TH1

Drawn by	Author
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Date	09/10/2020
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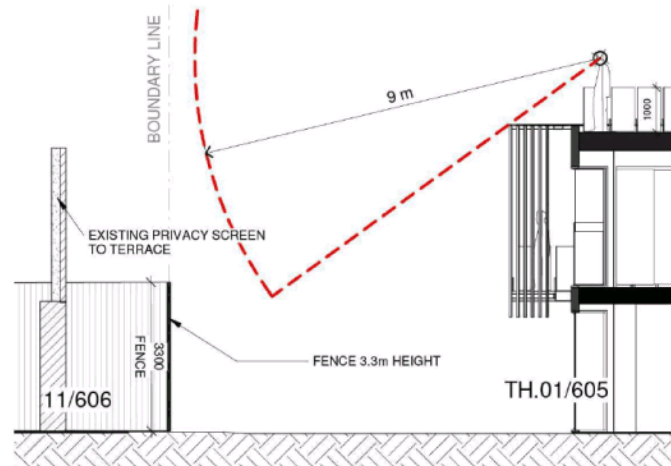
Project number

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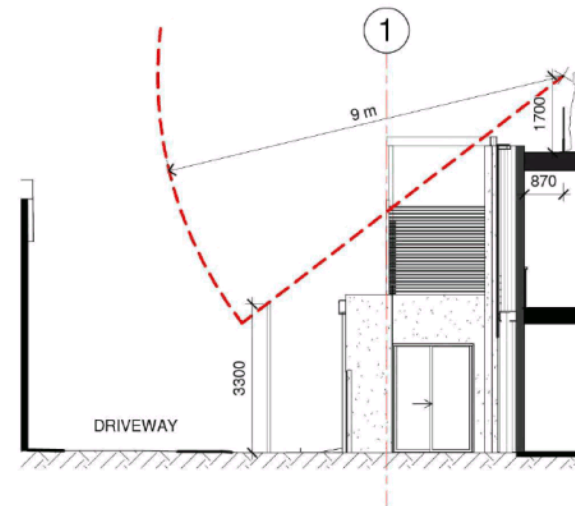
TOWN PLANNING

TP 06

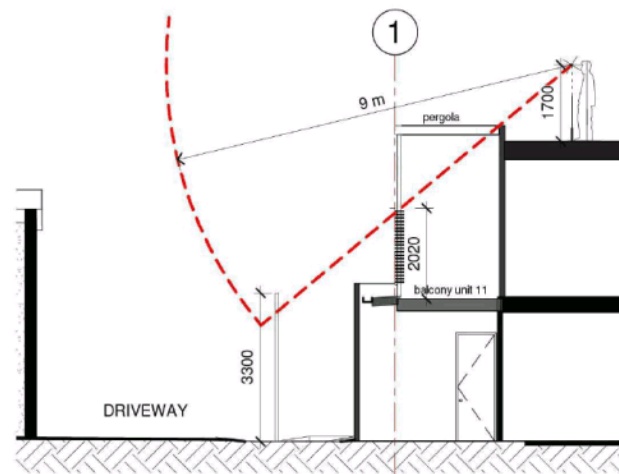
Sections



① Overlooking Section
1 : 100



② Overlooking Section C, rooftop
1 : 100



③ Overlooking Section D, rooftop
1 : 100

26 July 2021

Agenda Item No: 8.4

KP-2020/537 - 191-199 SPRING ROAD DINGLEY VILLAGE

Contact Officer: Todd Cracknell, Statutory Planner

Purpose of Report

This report is for Council to consider Planning Permit Application No. KP-2020/537 - 191-199 Spring Road Dingley Village.

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council determine to support the proposal and issue a Notice of Decision to grant a permit for the use of the land for a Plant Nursery and to develop the land for the construction of a shed associated with the use of the land generally in accordance with the submitted plans at 191-199 Spring Road Dingley Village, subject to the conditions contained within this report.

This application requires a decision by Council, as per the Council's Planning Delegation Policy:

- applications located in the Green Wedge and the cost of the development exceeds \$20,000 (development cost for application: \$70,000)

PLANNING OFFICER REPORT	
APPLICANT	Adex Design
ADDRESS OF LAND	191-199 Spring Road, Dingley Village (Lot 1 TP 751509G)
PLAN OF SUBDIVISION REFERENCE	Lot 1 on TP 751509G
PROPOSAL	Use of the land for a Plant Nursery and to develop the land for the construction of a shed associated with the use of the land generally in accordance with the submitted plans
PLANNING PERMIT REQUIREMENTS	Clause 35.04 – A permit is required for a Section 2 Use Clause 35.04 – A planning permit is required to construct a building or construct or carry out works
PLANNING OFFICER	Todd Cracknell
REFERENCE NO.	KP-2020/537
ZONE	Clause 35.04: Green Wedge Zone - Schedule 2
OVERLAYS	None
OBJECTIONS	Two (2)
CONSIDERED PLAN REFERENCES/DATE RECEIVED	Plans prepared by Adex Building, Proposed C/Bond Storage Shed, revision C, job no. 2110, sheet 1 to 2 inclusive, submitted to Council on 23 February 2021
ABORIGINAL CULTURAL HERITAGE SENSITIVITY	Yes, exempt from requiring a Cultural Heritage Management Plan (CHMP), see section 13 of this report

1.0 KEY ISSUES

The main issues arising from this proposal relate to:

- Built form of the proposed shed
- Proposed innominate use; and
- Vegetation / Landscaping considerations.

2.0 SITE & SURROUNDS

2.1. The subject site is located on the east side of Spring Road, Dingley Village. It is mostly rectangular in shape with an angled frontage width of 65 metres to Spring Road, a maximum side depth of 278.5 metres, and two angles at the rear of 64.6 metres resulting in an overall area of approximately 15,930m². The site has a fall of approximately 2 metres towards the rear of the site when measured from Spring Road. Vehicle access to the site is via a single / double width crossover located on the north-east side of the Governor Road property frontage.

The following map illustrates the subject site in its surrounding context.



Source: Nearmap 2021 [image taken on 29/04/2021] (boundaries are approximate as defined by the blue lines)

- 2.2. The site is currently occupied by several buildings, including shipping containers, site office buildings, vehicle tracks, a concrete cylinder pipe and multiple vehicles. The existing use, which is now seeking a planning permit (retrospective approval) to operate is a plant nursery.
- 2.3. Land to the north is part of Kingston's Green Wedge area and is currently occupied by buildings, equipment and vehicles. There are trees and shrubs that border each lot. Further north at 151-165 Spring Road is a single dwelling on the land with shipping containers and two crossovers providing vehicular access to Spring Road. Standard Melbourne residential subdivision lots (The Grange Estate) approx. 150 metres to the north face Spring Road and form a boundary to the Green Wedge.

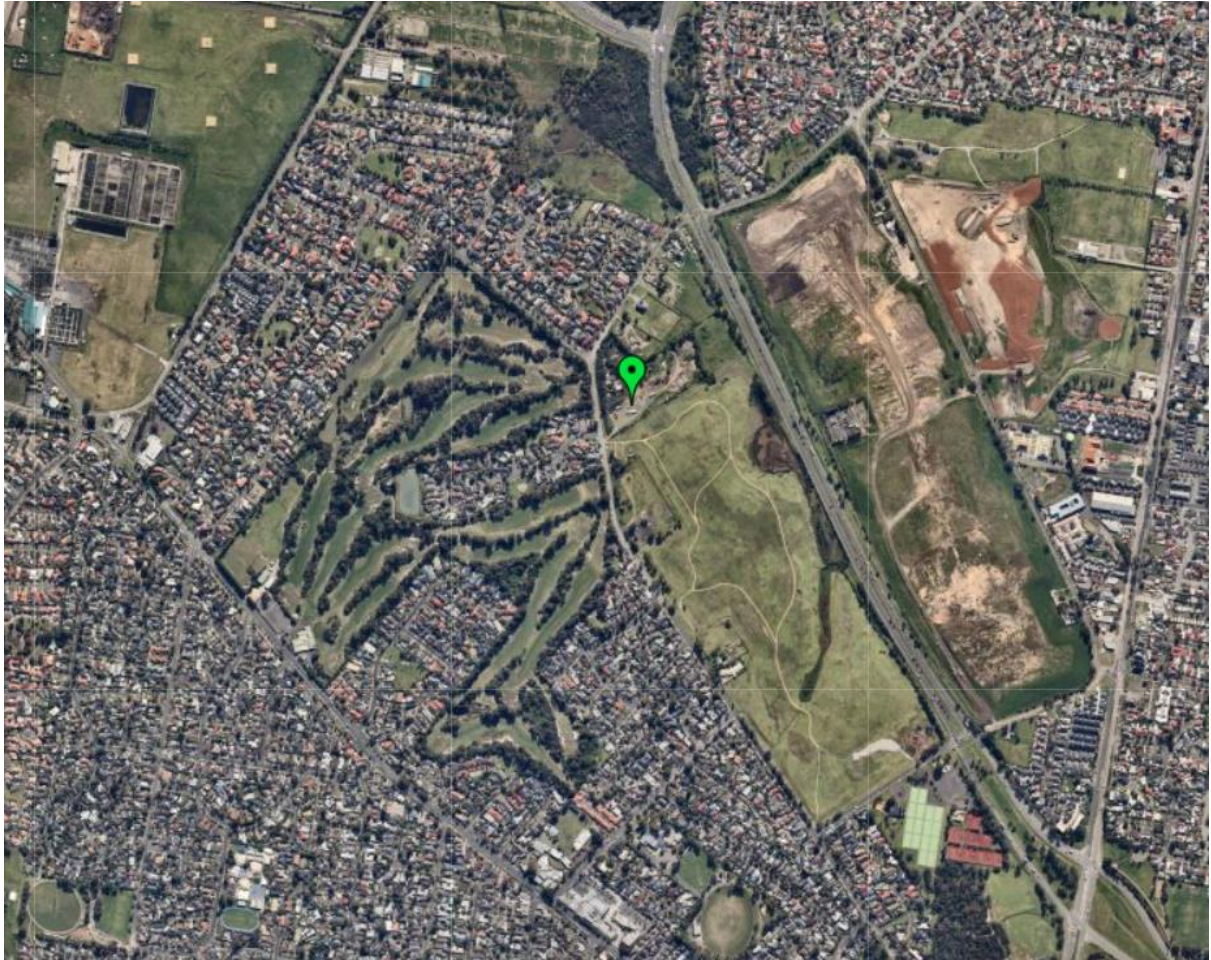
Across the road to the west is Kingswood Golf Course, which has indents of residential lots and dwellings into the course. Approximately 2km to the west is the Moorabbin (Harry Hawker) Airport.

Abutting the land to the south is Spring Road Reserve, which includes an off-leash dog park. Approximately 1km to the south is the commercial centre of Dingley Village, which includes a supermarket, library and convenience shopping as well as the local home ground of the Dingley Football Netball Club (Dingos).

Land abutting to the east has access to Spring Road to the north and is an irregular lot shape. Westall Road runs north-south approximately 150m east of the subject land. Greater

Dandenong Council is the responsible authority for the land on the eastern side of Westall Road.

The following map illustrates the subject site in its broader site context.



Source: Nearmap 2021 [image taken on 29/04/2021]

3.0 TITLE DETAILS

- 3.1. There is a restriction listed on the Certificate of Title (caveat, AQ805790T), however, the proposed development is not considered to result in any breach of this restriction as it does not restrict the use or development of land.
- 3.2. The land noted as 167-189 to 191-199 Spring Road relates to two separate addresses, see below: (blue lines [south] approx. outline what is known as No.191-199 Spring Road. The red lines [north] approx. outline what is known as No.167-189 Spring Road.



Source: Intramaps 2021, [image annotated by Todd Cracknell on 17/05/2021]

4.0 PROPOSAL

- 4.1. It is proposed, retrospectively, to Use of the land for an Arboricultural Business involving the Storage and Cultivation of Vegetation and Development of a Shed associated with the use of the land generally in accordance with the submitted plans.
- 4.2. Looking at the application and business model in greater detail, the following is proposed:
 - to construct a 495m² storage shed on the land. This new shed will replace all existing structures/buildings on the lot.

- The use of the land primarily involves transplanting trees from other sites to then be replanted within the site e.g. train station rebuilds
- Other components include, propagating and cultivating trees (approximately 200-300) for use by large scale landscapers and builders
- All sales are done online and only deliveries are made to the requested sites. As such, no pick-up or sales occur on site. Therefore, no customers are attracted to the site.
- The use is conducted by a sole trader
- The use does not involve the selling of mulch or other garden supplies. It is limited to plants only
- No public sales occur
- The use includes vehicles on the land such as bobcats, trucks and excavators to support the business. It is proposed that this machinery will be stored in the new shed, for safety and weatherproof reasons.
- There is no proposed signage on the land or that which forms part of this proposal
- There is an existing gate and fence along the perimeter
- Compost mulch is used on site to break down matter and mix with existing soil to prepare land for growing plants. High quality potting mix is also used for soil preparation.

5.0 PLANNING CONTROLS

- 5.1. The subject site is located within the Green Wedge Zone Schedule 2 [Clause 35.04].

6.0 PLANNING PERMIT REQUIREMENTS

- 6.1. Pursuant to Clause 35.04 – Green Wedge Zone Schedule 2, a Planning Permit is required to:
- Use the land for a plant nursery; and
 - Develop the land for the construction of a shed associated with the use of the land.
- 6.2. The proposed use 'Plant Nursery' is a Section 2 use within Clause 35.04-1 – permit required.
- 6.3. A thorough review of Clause 73.03 – Land Use Terms has been undertaken to best characterize the proposal. It has been concluded that the proposed use aligns with the definition of plant nursery, which is:
- 'Land used to propagate, grow and sell plants. It may include the sale of gardening equipment and horticultural products'.*
- 6.4. Plant nursery is applicable as the use involves propagating approx. 200 to 300 trees a year and growing these on the land. Further, the use involves transplanting and rescuing mature trees from other sites (150-200 at any one time) to grow them on the land for future sale. The use also involves selling plants by wholesale means to landscaping companies. There are no sales of gardening equipment or horticultural products. The use therefore fits comfortably within the definition of 'plant nursery', as set out in Clause 73.03.
- 6.5. Pursuant to Clause 35.04-5 – Green Wedge Zone (Schedule 2), a planning permit is required to construct a building or construct or carry out works. The proposed shed requires a planning permit. This is because, the proposal meets the following permit requirements:
- A building associated with a use in section 2 of Clause 35.04-1; and
 - A building which is within any of the following setbacks (100 metres from a dwelling not in the same ownership).
- 6.6 The proposed building does not meet the Vicsmart application class as the land is within 30 metres of a residential zone.

7.0 RELEVANT HISTORY

- 7.1. Council records indicate that no planning permits exist for the address No. 191-199 Spring Road, Dingley Village.
- 7.2. A planning permit was refused for No.167-199 Spring Road, Dingley, see KP-2001/856 for the construction of building and works on this site. However, further information was provided pursuant to Section 54 of the Act, so the matter was refused.
- 7.3. A planning permit issued for the address at No. 167-169 Spring Road, Dingley Village, see KP-2003/189. This relates to a tree nursery and was issued on 29 June 2005. This planning permit does not relate to the current proposal.
- 7.4. A VCAT order was made regarding No.167-199 Spring Road, Dingley Village (P2364/2008) relating to using the land for material recycling. As per this order, the use must cease as it contravened the Green Wedge Zone. The order was a result of a planning enforcement matter, which led to the proponent applying for planning permission. This application was later refused on 21st March 2007 as the requested information pursuant to Section 54 of the Act was not supplied in time.

8.0 AMENDMENT TO THE APPLICATION BEFORE NOTIFICATION

- 8.1. Amendments to the application were made by the applicant on 23rd February 2021, pursuant to Section 50 of the Act. The amendment was to include the use of the land within the application for a planning permit.
- 8.2. The amendments made to the application were considered satisfactory and Council, therefore, directed that the application proceed to advertising.
- 8.3. Following rigorous discussion with Council's planning officer regarding the best categorisation of the proposed use, the permit applicant formally amended the planning application form after notification to change the proposal description from an innominate use 'Arboricultural Business; to better align with the Planning Scheme land use term 'plant nursery'.

9.0 ADVERTISING

- 9.1. The proposal was advertised by sending notices to adjoining and opposite property owners and occupiers and by maintaining a notice on site for eighteen (18) days between 4th March and 22nd March. Two (2) objections to the proposal were received. The valid grounds of objection raised are summarised as follows:
 - Existing buildings on site
 - Lack of vegetation along the fence line abutting Spring Park Reserve
 - Neighbourhood character
 - Existing odour from the property during warmer months as a result of commercial bins and machinery
- 9.2. It was considered trivial and, therefore, unnecessary to re-advertise the application following the recent change to the application form to modify the proposal description from arboricultural business to plant nursery. This change occurred at the direction of Council's Planning Officer following careful consideration and review of the Planning Scheme Land Use definitions found at Clause 73.03. Both land use descriptions (i.e. innominate use and plant nursery) are Section 2, permit required. Further, it is acknowledged that all supporting material (i.e. plans and all other documentation) remain the same to that which was advertised. For these reasons, re-advertising was deemed a futile exercise.

10.0 PLANNING CONSULTATION MEETING

- 10.1. The objectors were contacted by the planning officer on 22 March and 8 April to discuss their concerns, with this information then being relayed to the applicant.
- 10.2. The objector concerns were unable to be resolved, and the objections still stand.

11.0 REFERRALS

- 11.1. An external referral was made to an external ecologist as per the Notice of Motion 52/2017 as the site is larger than 4000m², even though no vegetation is proposed to be removed. The response from the ecologist was that no vegetation is being impacted, Clause 52.17 (Native Vegetation Removal) is not a permit requirement for this proposal and therefore no further comments were required.
- 11.2. The application was referred to the following internal departments within Council (where appropriate amended applications have been re-referred):
- Council's Strategic Planning Department, who advised of no objection. Noting that the proposal was consistent with the Kingston Green Wedge Management Plan and Green Wedge Zone.
 - Council's Planning Compliance Department, who advised of no objection. However, noted that there are ongoing issues at the site which may be subject to further compliance action. The proposed shed is not a compliance issue and was not raised as a concern by the Planning Compliance Department.
 - Council's Vegetation Department was referred the application on 18 September 2020 but no response was provided. As the proposed shed does not result in the loss of any vegetation or is located within close proximity to existing vegetation, it is considered that no vegetation matters rest with this application.

12.0 RELEVANT POLICIES

12.1. State Planning Policy Framework (SPPF)

- Clause 11 Settlement
- Clause 12 Environmental and Landscape Values
- Clause 13 Environmental Risks and Amenity
- Clause 14 Natural Resource Management
- Clause 15 Built Environment and Heritage
- Clause 17 Economic Development

12.2. Local Planning Policy Framework (LPPF)

- Clause 21.01 Vision and Strategic Framework
- Clause 21.02 Settlement
- Clause 21.03 Environment and Landscape Values
- Clause 21.05 Natural Resource Management
- Clause 22.01 Sandbelt Open Space Project

12.3. Particular Provisions

- Clause 51.02 Metropolitan Green Wedge Land: Core Planning Provisions

12.4. Other

- Kingston Green Wedge Management Plan, 2012

12.5. **Zoning**

The site is located in the following Zone:

- Clause 35.04 – Green Wedge Zone Schedule 2

12.6. **General Provisions**

Clause 65: Decision Guidelines

13.0 PLANNING CONSIDERATIONS:

State Planning Policy Framework

- 13.1. The application has been assessed against the Planning Policy Framework and it is considered that the proposed use and development is consistent with relevant policies contained within this section of the Kingston Planning Scheme.
- 13.2. The Planning Policy Framework sets out the relevant state-wide policies for development at Clause 11 (Settlement), Clause 12 (Environmental and Landscape Values), Clause 13 (Environmental Risks and Amenity), Clause 14 (Natural Resource Management), Clause 15 (Built Environment and Heritage) and Clause 17 (Economic Development).
- 13.3. The settlement policies at Clause 11 (Settlement) seek to promote sustainable growth and development and deliver choice and opportunity through a network of settlements. Clause 11.01-1R (Green wedges – Metropolitan Melbourne) places emphasis on the protection of green wedges from inappropriate development and provides strategies to support this objective.
- 13.4. Clause 12 (Environmental and Landscape Values) directs planning to have consideration of environmental values of natural landscapes as well as the aesthetic qualities of landscape area to ensure their ongoing protection. Further, within these policies includes objectives seeking the protection of biodiversity and native vegetation.
- 13.5. Clause 13 (Environmental Risks and Amenity) seek to promote the awareness and management of use and development which has appropriate consideration for the environment. In particular Clause 13.07-1S (Land Use Compatibility) includes the objectives to ensure that use or development of land is compatible with adjoining and nearby land uses, and any approval will not have a detrimental impact to the surrounding area.
- 13.6. Clause 14 (Natural Resource Management) and Clause 14.01-1S (Protection of Agricultural Land – Metropolitan Melbourne) seeks to protect agricultural land in Metropolitan Melbourne's green wedges and peri-urban areas to avoid the permanent loss of agricultural land in those locations.
- 13.7. The built form response to landscape and cultural context is discussed at Clause 15 (Built Environment and Heritage). Urban Design principles at Clause 15.01-1-1S (Urban design) highlight the importance of new development is sensitively designed to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate.

Retention of vegetation, transport and access, and sustainable development are all areas within which urban design principles provide guidance for new development.

- 13.8. Clause 15.03-2S (Aboriginal Cultural Heritage) seeks to ensure the protection and conservation of places of Aboriginal cultural heritage significance.
- 13.9. The Subject Land is identified in an area of Aboriginal Cultural Heritage Sensitivity; however the proposed activity is exempt from requiring a Cultural Heritage Management Plan. This is because the Regulations note that the use and associated building and works are not considered to be high impact activities (Division 5 of the *Aboriginal Heritage Regulations 2018*). As per Regulation 16 of the *Aboriginal Heritage Regulations 2018*, the removal of buildings from the land is also an exempt activity.
- 13.10. Clause 17 (Economic Development) seeks to provide for a strong and innovative economy, where all sectors are critical to economic prosperity. This can be achieved by Planning assisting with the contribution to the economic wellbeing of the state and foster economic growth by providing land, facilitating decisions and resolving land use conflicts, so that each region may build on its strengths and achieve its economic potential.
- 13.11. The proposed use the land for a plant nursery and construction of a shed associated with the use of the land is considered to be sympathetic to the surrounding land uses whilst being supported by the key objectives of the Green Wedge Zone.
- 13.12. The proposal for a plant nursery which is heavily linked to the agricultural purposes of Green Wedge Land. The tree transplanting aspect of the business relies on large open areas which allows for the planting and ongoing maintenance for large trees. This activity could not occur within a commercial or industrial area and is considered to be sympathetic to the surrounding agricultural, residential and environmental uses.
- 13.13. The proposal has the ability to improve the current appearance of the site, with capacity to introduce a substantial amount of additional vegetation and landscaping on the site, particularly along the Spring Road Reserve. This vegetation to also be native or indigenous to Australia.
- 13.14. The proposed use of the site for a plant nursery is not an 'as of right' use in the Green Wedge Zone. Council's consideration of this use in this zone is contingent upon the proposal satisfying Council's objectives with regard to land use planning in this area.
- 13.15. It is submitted that the use and development of the site for a plant nursery satisfies the aforementioned State strategies and policy direction and is therefore deemed suitable.

Local Planning Policy Framework

- 13.16. Clause 21.01 (Vision and Strategic Framework) sets out the key issues and vision for Kingston.
- 13.17. Clause 21.02 (Settlement) picks up on the significant challenges faced in protecting the green wedge areas within a metropolitan municipality. The policy under Clause 21.02-2 (Green Wedge Management) identifies that Kingston's Green Wedges not only accommodate traditional land uses (agriculture, extraction and open space), however are also spaces that protect the flight paths of Moorabbin Airport and provide a location for a

range of urban related uses. Whilst also providing a 'hard' edge between urban and non-urban land. Objectives under this policy include:

- *Objective 1 - To ensure activities in the green wedge are consistent with, and contribute to, optimal long-term planning solutions for the whole of the south eastern regional green wedge.*
- *Objective 2 - To protect and enhance the scenic and landscape values of the green wedge area.*
- *Objective 3 – To create a predominantly non-urban, major regional north-south open space spine.*

A number of strategies align with each of the above objectives to ensure they are achieved.

- 13.18. The policy under Clause 21.03-1 (Biodiversity) seeks several outcomes related to biodiversity with the overarching objective *to maintain the diversity of flora and fauna habitats.*
- 13.19. The proposal primarily includes the transplanting of local trees on site to improve the diversity of flora and fauna habitats both within the site and broader Melbourne in achieving vegetation outcomes through the retention of existing trees on development sites.
- 13.20. Clause 21.05 (Natural Resource Management) includes policy at Clause 21.05-1 which addresses agricultural land within the municipality. The objective of this policy is to *protect the use of high-quality agricultural land for agricultural purposes.*
- 13.21. The proposed use does not have a detrimental impact to the long term or future agricultural use of the land as limited built form intervention in the site is proposed. Further to the above it could be argued the subject site is not be considered to be 'high-quality agricultural land' however, it is being re-used for a viable and long term semi-agricultural purpose, namely tree transplantation and activities as part of the plant nursery.
- 13.22. The policy under Clause 22.01 (Sandbelt Open Space Project Policy) is based on the principles of the Sandbelt Open Space Project Development Plan (May 1994). The project provides a regional strategy for the development of a series of linked parks extending across the Heatherton and Dingley areas.
- 13.23. Whilst this clause applies to all land within the local policy map, which includes the subject site, the policy relates to publicly accessible uses. As the proposed use is not going to be open to the public and cannot be made publicly accessible due to the nature of the business operating out of the site, this policy is not directly applicable to the proposal. Nonetheless planting proposed on site contributes to an improved landscaped character in the area in accordance with the policy direction for the area.
- 13.24. The extent of the south-east non-urban area is identified at Clause 22.02 (South East Non-Urban Area Policy) and included land within Casey, Frankston, Kingston and Greater Dandenong. These areas are recognised for the pressure placed on them by urban development and acknowledges that a regional approach is required to achieve sustainable land outcomes. Like the abovementioned Green Wedge policy, Clause 22.02 seeks to

promote a strategic approach to non-urban land use, with the protection of agricultural land and environmental values sought broadly across the municipalities.

13.25. Key objectives relating to the proposed development of the site included in Clause 22.02-2 are as follows;

- *To promote a strategic and structured planning approach.*
- *To encourage sustainable land use practices and provide optimal long term planning solutions for the use and development of land.*
- *To protect the economic and operational viability of key industries and infrastructure in the area including Moorabbin Airport, the Dandenong Offensive Industry Zone (DOIZ) and the Eastern Treatment Plant (ETP).*
- *To protect and enhance environmental values including wetlands, flora and fauna habitats and hydraulic functions.*
- *To ensure that use and development does not compromise metropolitan urban growth strategies.*
- *To manage the edge of urban areas in a manner which ensures that the non-urban area is both stable and enduring.*
- *To protect and further develop the scenic and landscape values of the non-urban area.*
- *To provide for open space links and opportunities for recreation.*

13.26. Furthermore, pursuant to Clause 22.02-3, it is policy that:

- *All proposals and planning outcomes:*
 - *Protect and create a high quality rural landscape.*
 - *Protect and create flora and fauna habitats and networks.*
 - *Create public open spaces and open space linkages.*
 - *Result in clear and sustainable urban boundaries.*
 - *Result in an urban form which is of a high design standard and low visual impact.*

13.27. It is policy that for non-urban land, this is to be protected for non-urban purposes and used for activities which are consistent with the function and character of the non-urban area.

The following uses are supported within the non-urban area:

- *Agriculture and horticulture.*
- *Creation and enhancement of environmental features, including wetland systems.*
- *Public open space facilities including parks, sports fields, bicycle networks, etc.*
- *Public utilities and major infrastructure facilities such as retarding basins and effluent treatment works.*
- *Low density institutional uses eg: schools, clubs, churches.*

13.28. The proposal aligns with the use of the site, with the shed being a minor component of the site allowing adequate room for trees as part of the plant nursery. Further, it is noted all hydraulic and drainage matters can be comfortably managed on site with all stormwater to be held on site.

13.29. The policy directs the development of a structure plan and, whilst primarily seeks to encourage non-urban / agricultural uses, entertains a range of planning opportunities within

the policy area, however only where it can be demonstrated that such activities are complementary and subservient to the achievement of the framework plan policies. The future strategic direction for the subject site and the appropriateness of what is proposed is discussed in later in the report where the *Kingston Green Wedge Management Plan (April 2012)* is discussed.

- 13.30. The application has been assessed against the Local Planning Policy Framework and it is considered that the proposed use and development is consistent with relevant policies contained within this section of the Kingston Planning Scheme.

Zoning Provisions

- 13.31. The purpose of the Green Wedge Zone (as relevant to the application) is:

- *To provide for the use of land for agriculture.*
- *To recognise, protect and conserve green wedge land for its agricultural, environmental, historic, landscape, recreational and tourism opportunities, and mineral and stone resources.*
- *To encourage use and development that is consistent with sustainable land management practices.*
- *To protect, conserve and enhance the cultural heritage significance and the character of open rural and scenic non-urban landscapes.*
- *To protect and enhance the biodiversity of the area.*

- 13.32. Under the decision guidelines of the Green Wedge Zone, a number of matters under the 'general issues'; 'rural issues'; 'environmental issues' and 'design and siting issues' are nominated as requiring consideration where appropriate in the assessment of the proposal. These are as follows:

General issues

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *Any Regional Catchment Strategy and associated plan applying to the land.*
- *The capability of the land to accommodate the proposed use or development.*
- *How the use or development relates to rural land use, rural diversification, natural resource management, natural or cultural heritage management, recreation or tourism.*
- *Whether the site is suitable for the use or development and the compatibility of the proposal with adjoining land uses.*
- *The need to minimise adverse impacts on the character and appearance of the area or features of architectural, scientific or cultural heritage significance, or of natural scenic beauty.*

- 13.33. The proposal will have no detrimental impact to the Port Phillip and Westernport Catchment Strategy. Water runoff will be limited, and the site will be ninety-five per cent (95%) permeable after the removal of buildings and construction of the proposed shed.

- 13.34. This is a large site which is mostly vacant. As such, it is considered to be ideally suited for the proposed use, which is evidenced by the minimal change to the on-site conditions as part of this proposal.
- 13.35. The proposed use is consistent with the green wedge area objectives which will be discussed below and will re-purpose land for similar purposes to that of an agricultural nature.
- 13.36. The proposed use is consistent with surrounding land uses which include former landfills, residential dwellings, a golf course and a public reserve. The use results in large amounts of planting, therefore integrating with the surrounding area.
- 13.37. The subject site is not part of an area of natural scenic beauty, nor is it in an area of particularly valued character or appearance. The proposed planting as part of the use will improve the appearance and character of the site.

Rural issues

- *The maintenance of agricultural production and the impact on the rural economy.*
 - *The environmental capacity of the site to sustain the rural enterprise.*
 - *The impact on the existing and proposed rural infrastructure.*
 - *The potential for the future expansion of the use or development and the impact of this on adjoining and nearby agriculture and other land uses.*
 - *The protection and retention of land for future sustainable agricultural activities.*
- 13.38. The site is constrained by its overall size, therefore is not considered to be viable for high intensity, or traditional agricultural uses. Further, the proximity to residential dwellings makes the off-site amenity impacts of typical agriculture such as noise and smell more conducive for a similar use as proposed. The proposed use and development will allow for improvements to the appearance of the site, ongoing maintenance of the land, and improved future agricultural use.
- 13.39. The proposed shed and removal of existing building will comfortably accommodate the proposed use and no additional infrastructure will be required.
- 13.40. The use will be wholly contained within the site and it is unlikely to further expand beyond the capacity of the land.

Environmental issues

- *The impact of the use or development on the flora and fauna on the site and its surrounds.*
- *The need to protect and enhance the biodiversity of the area, including the retention of vegetation and faunal habitat and the need to revegetate land including riparian buffers*

along waterways, gullies, ridgelines, property boundaries and saline discharge and recharge area.

- *How the use or development relates to sustainable land management and the need to prepare an integrated land management plan.*

- 13.41. The site is not adjacent to any waterways, nor is the existing biodiversity of the area significant given the range of surrounding uses.
- 13.42. The property boundary facing Spring Road Reserve, subject to conditions of any permit issued will be appropriately landscaped with plantings of native and indigenous species.
- 13.43. The proposed use will allow for a sustainable activity to be carried out on the site for the long term which will enable regular maintenance of the site which has not currently been undertaken. It is not considered a requirement to prepare an integrated land management plan for the proposed use.

Design and siting issues

- *The need to minimise any adverse impacts of siting, design, height, bulk, and colours and materials to be used, on landscape features, major roads and vistas.*
 - *The location and design of existing and proposed infrastructure services which minimises the visual impact on the landscape.*
 - *The need to minimise adverse impacts on the character and appearance of the area or features of archaeological, historic or scientific significance or of natural scenic beauty or importance.*
- 13.44. The proposed shed is well located and removes the necessity for the existing buildings/shipping container/s. The shed is set behind the existing vegetation along Spring Road and therefore mostly hidden from the nearby residential dwellings and street. A recommended condition of any permit issued is for vegetation to be planted along the Spring Road Reserve so as to obscure the shed further from the abutting parkland.
- 13.45. As noted above, the area is not one of scenic beauty or a specified character, but rather of mixed character including agricultural and residential uses. The proposed use will sit comfortably within this context.
- 13.46. The application has been assessed against the relevant zoning and it is considered that the proposed use and development is consistent with the purpose of the zoning controls contained within the Kingston Planning Scheme.

Particular Provisions

Clause 52.06 – Car Parking

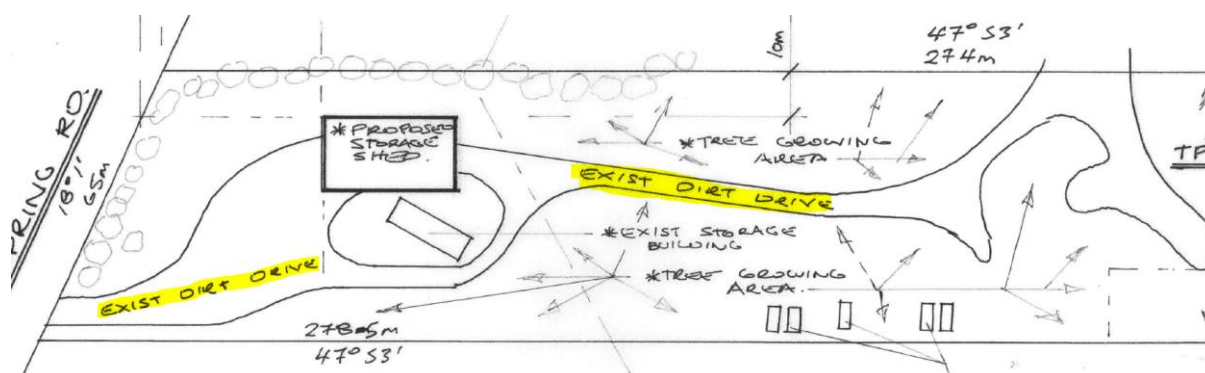
- 13.47. The relevant purposes of Clause 52.06 apart from the general purpose of implementing State and Local Planning Policy, the Municipal Strategic Statement and Local Planning Policies are as follows:
- *To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.*

- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

13.48. Clause 52.06-7 states that plans must be prepared to the satisfaction of the responsible authority before a new use commences and plans must be provided to the responsible authority under Clause 52.06-7 wherever Clause 52.06 applies, whether or not a permit application is being made under Clause 52.06-3 or any other provision of the planning scheme.

13.49. The proposed use is not defined within the table to Clause 52.06. Therefore, the provision of onsite spaces must be demonstrated as to the satisfaction of the Responsible Authority.

13.50. Given the overall size of the site and that only one person will be operating from the site, it is considered there is enough area set aside for car parking, available parking locations are generally shown below. It is noted that vehicles/machinery will be stored within the proposed shed which is adequate in providing for all the car parking requirements on site.



Highlighted by Todd Cracknell [Planner] for the purpose of this report

13.51. An assessment against the provisions of Clause 52.06-9 is below:

Design Standard 1 – Accessways

The crossover to Spring Road is existing and provides appropriate access for vehicles to and from the site as part of the proposed use.

Design Standard 2 – Car parking spaces

The car parking spaces will not be line-marked in this instance as the use itself and the availability of space for car parking exceeds the necessity for such formalisation of car parking on site.

Design Standard 3 – Gradients

N/A

Design Standard 4 – Mechanical parking

N/A

Design Standard 5 – Urban design

Car parking will not be visible outside the site due to the natural screening through vegetation and vehicles being largely stored within the shed.

Design Standard 6 – Safety

The open nature of the site allows for good natural surveillance. There will be limited vehicle movements on the site given the nature of the proposed use and that only one person will be on site at any one time.

Design Standard 7 – Landscaping

Significant landscaping exists around the site which will effectively screen any vehicle parking.

Clause 51.02 Metropolitan Green Wedge Land: Core Planning Provisions

13.52. The purpose of Clause 51.02 (Metropolitan Green Wedge Land: Core Planning Provisions) is to:

- *To protect metropolitan green wedge land from uses and development that would diminish its agricultural, environmental, cultural heritage, conservation, landscape natural resource or recreation values.*
- *To protect productive agricultural land from incompatible uses and development.*
- *To ensure that the scale of use is compatible with the non-urban character of metropolitan green wedge land.*
- *To encourage the location of urban activities in urban areas.*
- *To provide transitional arrangements for permit applications made to the responsible authority before 19 May 2004.*
- *To provide deeming provisions for metropolitan green wedge land.*

13.53. It is considered that the objectives of this Clause have been addressed through the Green Wedge Zoning of the subject site and have been discussed accordingly in this report.

13.54. The proposed use is a discretionary use under this Clause of the Scheme. The proposal is considered to be an appropriate land use outcome for the subject site given its location on the edge of the Urban Growth Boundary.

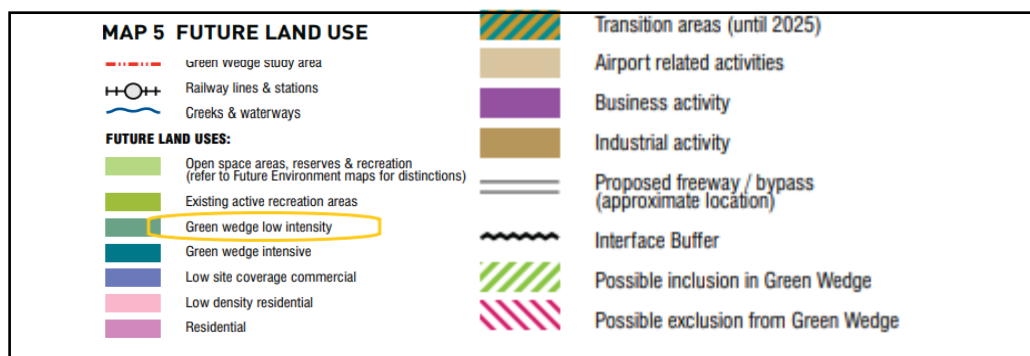
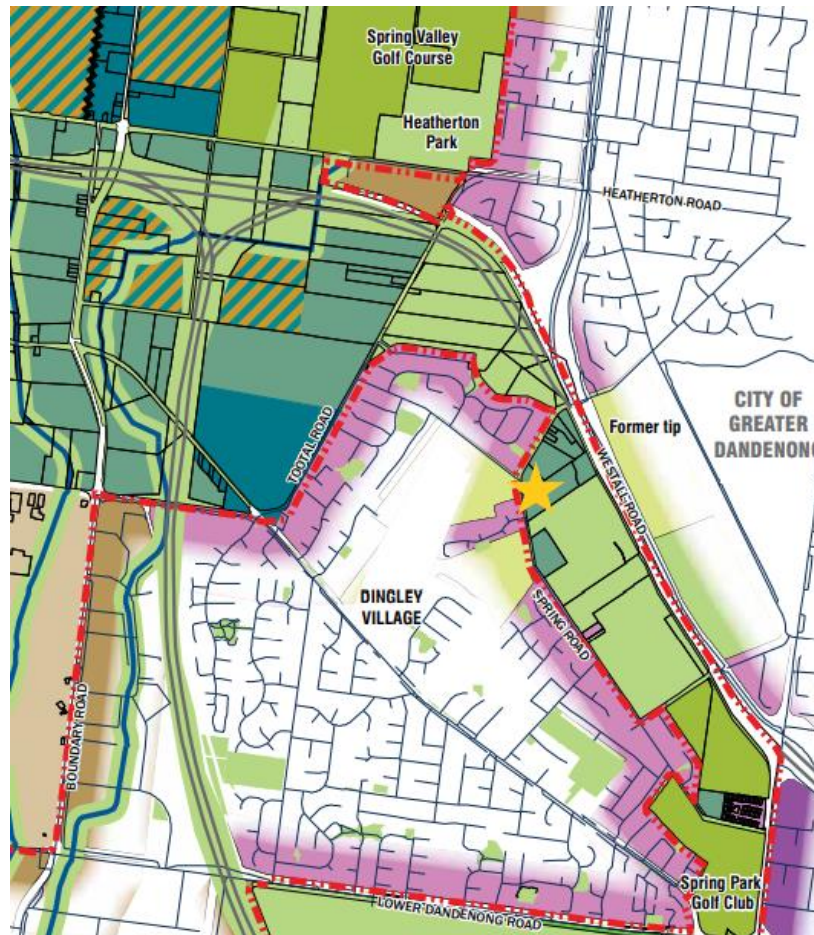
13.55. The application has been assessed against the relevant particular provisions and it is considered that the proposed use and development meets the requirements contained within this section of the Kingston Planning Scheme.

Other: Green Wedge Management Plan 2012 (the Plan)

13.56. The Kingston Green Wedge Plan is a land use and developed strategy, adopted by Kingston City Council in April 2012. The plan identifies the key features and values of the Kingston's Green Wedge land. The plan provides guidance on the preferred land uses within the Green Wedge and provides guidance on the environmental and natural resources that should be

protected. Particularly relevant to the assessment of this application is the building design guidelines.

- 13.57. The subject site is located within a 'Green Wedge Low Intensity' area as identified by the yellow star on the Plan below:




Source: Kingston Green Wedge Plan 2012, page 80 (Map 5)

- 13.58. Green Wedge Low Intensity areas are directed to accommodate agriculture, open space, recreational and sporting facilities, low site coverage community, commercial and education uses.

- 13.59. Section 4.1 of the plan identifies that the land available within the Kingston Green Wedge is generally unviable for large scale or intensive agricultural purposes, therefore there is an expectation that land uses are contributory to the Green Wedge, whilst also being responsive to a changing economy. Opportunity for business growth is limited by fragmented land, soil degradation and the lack of a high quality affordable water supply.
- 13.60. The proposed use and development is considered to respond to the prevailing issues identified within the plan.
- 13.61. Section 5.4 of the plan identifies the intention to transform the Green Wedge land into areas of open space, being passive and active areas for recreation, with open space linkages through a chain of parks and other open spaces. The subject site is identified as 'potential active or passive recreation areas'.
- 13.62. It is noted that the proposed shed and use are constrained to a portion of the area designated for active or passive recreation areas. With Spring Road Reserve abutting the land and the development and use of the land being constrained, the Green Wedge Plan is met in that the proposal enables possibilities for future open space planning in this area.
- 13.63. Section 5.5 addresses Streetscape Design and includes guidelines which seek to improve the appearance of roadsides, and in general green wedge land. Spring Road is a Secondary Road, providing a direct access into the subject site.
- 13.64. The proposed use and existing landscaping on the site are considered to be a positive attribute to the opportunities identified within the plan. The use will not have an adverse impact to the road network, and the proposed planting along property boundaries will assist in improving the appearance of the site.
- 13.65. The proposal has been assessed against the Building Design Guidelines for Typology 4 – Green Wedge Low Intensity under 7.5 of this Plan and found to be satisfactory given the following reasons:

Requirement	Assessment
<i>Buildings should be subordinate visually to the spacious, rural landscape.</i>	The proposed shed is setback more than 30m from Spring Road and is hidden behind the existing vegetation on site.
<i>Minimise building footprints and limit the overall presence of built form to enhance the rural character and maintain a sense of openness.</i>	The proposed shed is a minor component of the site and consolidates the existing buildings on site, resulting in more open, rural views across the site.
<i>Locate buildings and farming infrastructure such as sheds and machinery away from roads and where possible, within existing clusters of buildings/structures.</i>	The shed is well setback from Spring Road and is obscured from the street by existing vegetation.
<i>Locate horticultural structures so that they are not highly visible from roads or other public places, or screen with substantial vegetation.</i>	N/A – no horticultural structures proposed.
<i>Maintain wide spacing between groups/clusters of buildings.</i>	Only one building proposed resulting in wide spacing from any nearby buildings on other lots.
<i>Avoid development on any property boundary.</i>	N/A – No building on property boundary.

Requirement	Assessment
<i>Limit building heights to a maximum of 8 metres (2 storeys) above natural ground level.</i>	Complies – the proposal is a max 7.5m in height (single storey).
<i>Ensure development adopts best practice environmentally sustainable design and development principles.</i>	The proposed shed is of standard construction and does not affect any nearby vegetation with also no cuts/change in grades on site as a result. Therefore, the shed is making as little impact to the topography and existing conditions on the land.
<i>Ensure all buildings and structures are designed and oriented to utilise natural light and ensure optimal thermal performance.</i>	The shed has mostly undisturbed views to sunlight to all its sides. The shed is also well protected from weather with trees nearby sheltering wind and other thermal impacts.
<i>Avoid large areas of nonpermeable surfaces including yards, driveways and car parking areas.</i>	All car parking areas and access on site are permeable crushed rock.
<i>Utilise materials, colours and finishes that best immerse built form within the rural landscape (i.e. dark, natural colours, muted tones, matte finishes and nonreflective materials).</i>	The proposed shed opts for a 'Woodland Grey Colorbond Cladding' for its walls and roofs which is a muted dark colour befitting of the Green Wedge, see below for sample of the colour: 
<i>Bright, bold, extravagant colour schemes are to be avoided.</i>	As above.
<i>Use glazing and roofing materials of low reflectivity.</i>	The proposed shed roof is of low reflectivity.
<i>Minimise the size and extent of signage and advertising, particularly internally illuminated signs.</i>	N/A – No signage is proposed.
<i>Locate signage on the building where possible, so that it complements the architecture.</i>	N/A – No signage is proposed.
<i>Encourage the removal of environmental weeds and other exotic vegetation and their replacement with appropriate native vegetation.</i>	The existing vegetation on site is contributing to the area. There are no identified environmental weeds on site. The transplanting of trees will likely bring a range and diversity of species of trees on site.
<i>Minimise native vegetation removal in new development. Development which requires native vegetation removal should aim to replace or rehabilitate with an equivalent vegetation cover using locally appropriate species.</i>	No vegetation is proposed to be removed. Extensive transplanting is proposed.
<i>Avoid formal landscape design in the private realm (e.g. geometrically aligned/spaced tree avenues or garden beds) and hard surfaces in landscaping.</i>	Existing vegetation is predominantly along property boundaries, or clusters sporadically located on site. The planting is not considered to be geometrically aligned or uniform.

Requirement	Assessment
<i>Screen unsightly areas, large developments, or developments with an unavoidably urban character or large amounts of hard surface, with large scale native trees and vegetation.</i>	Existing vegetation, along with the existing structures will screen the onsite operations sufficiently.
<i>Avoid high/solid fencing, particularly along the road frontage.</i>	N/A – No alteration to existing fencing is proposed.
<i>Encourage the use of traditional fencing materials (e.g. timber, post and wire) or transparent materials that allow a view to the property frontage.</i>	N/A – No alteration to existing fencing is proposed.
<i>Discourage the use of cyclone wire fencing where practicable.</i>	N/A – No alteration to existing fencing is proposed. Existing fence is cyclone wire fencing.
<i>Prioritise interior lighting systems that emit minimal light on the outdoor environment.</i>	The plans include that any artificial lighting is not to exceed 3 watts per m ² . A condition will require existing and proposed lighting to be shown on the plans to the satisfaction of the Responsible Authority. That includes whether the location of the lighting is appropriate within the Green Wedge. As a general rule, lighting should be limited to around the proposed shed.

13.66. Overall, it is recognised that the proposal, subject to appropriate conditions, supports activities and the overall vision identified within the Kingston Green Wedge Plan. Namely to “provide all types of recreational areas and facilities... (and) provide some local employment opportunities”.

14.0 RESPONSE TO GROUNDS OF OBJECTIONS

14.1. The objector’s concerns have largely been addressed within section 13 of this report. The following objector concerns remain outstanding:

- Removal of existing buildings
- Planting of 3 metre high shrubs along the Spring Road Reserve
- Ongoing amenity issues

14.2. **Removal of existing buildings:** The applicant has confirmed they are willing to remove all buildings on the land as the shed is to consolidate all the building needs on site. A condition of any permit issued should include that the removal of the existing buildings needs to occur within one (1) month after the completion of the new shed.

14.3. **Planting of 3 metre high shrubs along the Spring Road Reserve:** The proposal does not include a landscape plan. As such it is recommended as per a condition of any permit issued that a landscape plan is to be undertaken by a landscape professional to the satisfaction of the Responsible Authority and including new planting along the Spring Road Reserve abuttal

of minimum 3 metre high shrubs at maturity, planted at least 1 metre high. This will therefore totally obscure the site from the public parkland nearby.

- 14.4. **Ongoing amenity concerns:** The objections raised concerns regarding bins and odour from the land. These are ongoing matters that will be resolved separately from this planning application.

15.0 CONCLUSION:

- 15.1. On balance, the proposal is considered to substantially comply with the relevant planning policy and therefore should be supported.
- 15.2. As outlined above, it has been determined that prior to deciding on this application all factors pursuant to section 60(1) of The Act have been considered. Further to this, the proposal does not give rise to any significant social and economic effects.
- 15.3. The proposed use and development are considered appropriate for the site as evidenced by:
- The design and siting of the proposed development to be compatible with the surrounding area;
 - The proposal should not have a detrimental impact on surrounding properties (subject to appropriate conditions); and,
 - The proposal satisfies the requirements of the Kingston Planning Scheme, including the SPPF, MSS, Zoning controls and Particular Provisions.
 - An appropriate response to the Green Wedge Management Plan.

17.0 RECOMMENDATION

17.1 That Planning Committee determine to support the proposal and issue a Notice of Decision to Grant a Permit to **Use of the land for a Plant Nursery and to develop the land for the construction of a shed associated with the use of the land generally in accordance with the submitted plans** at 191-199 Spring Road, Dingley Village VIC 3172 (Lot 1 on TP-751509G), subject to the following conditions:

1. Before the development starts amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions. The plans must be substantially in accordance with the plans submitted to Council on 23 February 2021, but modified to show:
 - a) the provision of a landscape plan and associated planting schedule for the site showing the proposed location, species type, mature height and width, pot sizes and number of species be planted on the site, with such plans to be prepared by a suitably qualified landscape professional and incorporating:
 - i) minimum 3 metre high at maturity native or indigenous shrubs creating a landscaped screen along the entire southern boundary, with shrubs planted at minimum 1 metre high.
 - b) the location of existing and proposed artificial lighting on site.
2. The development and use as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.

3. Before completion of the development hereby permitted, landscaping works as shown on the endorsed plans must be completed to the satisfaction of the Responsible Authority. The landscaping must then be maintained to the satisfaction of the Responsible Authority.

Use

4. The use must operate only between the hours of:

Monday to Sunday: 6.00am to 6.00pm

Or otherwise as approved by the Responsible Authority in writing.
5. No clients or customers are permitted on site.
6. The deliveries of any plant stock must occur through online wholesale only.
7. The use of the site shall not cause nuisance or be detrimental to the amenity of the neighbourhood by the emission of noise. In this regard any nuisance shall be assessed in accordance with the Australian Standards AS1055 and AS2107 relating to the measurement of Environmental Noise and recommended sound levels.
8. The permit holder must ensure that trucks do not deposit mud onto the road network adjacent to the site. Should this become an issue, then at the direction of the Responsible Authority, the operator must arrange for a contractor to clean the road at no cost to Council.
9. The amenity of the area must not be detrimentally affected by the development and use, through the:
 - a. Transport of materials, goods or commodities to or from the land.
 - b. Appearance of any building, works or materials.
 - c. Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil.
 - d. Presence of vermin.
 - e. Any other way.
10. All external surfaces of the building elevations must be finished in accordance with the schedule on the endorsed plans and maintained in good condition to the Responsible Authority's satisfaction.
11. Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.
12. The removal of the existing buildings needs to occur within one (1) month after the completion of the new shed.
13. In accordance with Section 68 of the Planning and Environment Act 1987 (The Act), this permit will expire if one of the following circumstances applies:
 - The use and development is not started before two (2) years from date of this permit.

- The development is not completed before four (4) years from the date of permit issue.
- The use is discontinued for a period of two (2) years.

In accordance with Section 69 of the Planning and Environment Act 1987, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition.

Note: Prior to the commencement of the development or use you are required to obtain the necessary Building Permit.

Author/s: Todd Cracknell, Statutory Planner
Reviewed and Approved By: Nicole Bartley, Team Leader Statutory Planning
Alfred Carnovale, Manager City Development

26 July 2021

Agenda Item No: 8.5

FREE PLANT VOUCHER SCHEME

Contact Officer: Jimena Acevedo, Gardens for Wildlife Officer

Purpose of Report

The purpose of this report is to provide Council with an update on the Free Plant Voucher scheme and changes proposed to the program for 2022.

Disclosure of Officer / Contractor Conflict of Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council:

1. Note the success of the changed online registration process for the Free Plant Voucher scheme undertaken during Autumn 2021 in response to COVID restrictions.
2. Revise program delivery to permanently utilise online registrations and an electronic voucher system in an annual Autumn plant giveaway.
3. Continue to promote the Free Plant Voucher program and online registration process through Council's rates notice, website and social media channels.

1. Executive Summary

Due to COVID-19 restrictions, it was not possible to deliver the Free Plant Voucher scheme via the rates notices in Spring 2020. Instead, free plants were distributed to Kingston residents via an electronic voucher system in April/May 2021.

Lessons learnt through 2020 and the success of the 2021 electronic voucher, Autumn plant giveaway has compelled Officers to propose a change to the delivery format for the Free Plant Voucher scheme.

Through the 2021 giveaway 5,000 plants were made available to Kingston residents via online registration, with each electronic voucher redeemable for five native tube stock plants. All registrations sold out and approximately 70% of residents redeemed their vouchers with the collection of approximately 3,500 plants. The surplus plants were returned to the Kingston Depot and were allocated to the National Tree Day (both schools and community planting events) and Gardens for Wildlife participants.

It is proposed that Council moves permanently from a paper based system to an electronic voucher process which allows greater control of numbers, an ability to promote the program more broadly and at different times of year, enhanced tracking and publicity including collection reminders sent directly to residents. Registration for the program would still be promoted via rates notices, Council's website and social media channels.

Officers also propose promotion of the program in the 2021 rates notices advising residents that the free plant voucher scheme has been moved to a yearly autumn plant giveaway via electronic voucher (refer Appendix 1 for a draft of the proposed communication).

Given the success of the delivery model through 2021 officers also propose that the yearly plant giveaway be permanently moved to Autumn. This aligns better with optimal planting seasons to maximise plant survival rates and allows any excess stock to be re-allocated to other programs. This approach also ensures that any unforeseen delays with distribution, as per 2020 events, means that plants are more likely to survive in tube stock for longer during the autumn/winter period compared to the Spring/Summer season.

2. Background

At its Ordinary Council Meeting on 23 September 2019 Council resolved to trial the provision of a 'Free Tree Voucher' with rates notices in 2019, to be delivered in collaboration with four local indigenous plant nurseries. A total of 2,500 native trees were made available and approximately 2,200 were collected by residents.

At its Ordinary Council Meeting on 23 March 2020 Council resolved to continue the 'Free Plant Voucher' program with an increase to 5,000 plants (including trees, shrubs, grasses and groundcovers) and distribution from two local indigenous nurseries.

At its Ordinary Council Meeting on 27 July 2020, Council resolved that due to COVID-19 restrictions, the scheme was not able to be delivered with residents advised with their 2020 rates notices to register their interest for a possible Autumn 2021 plant giveaway.

In Autumn 2021, 5,000 plants were made available to Kingston residents, with residents required to register to receive one of a thousand Free Plant Vouchers; each voucher was redeemable for five native tube stock plants. Collections points were from Carrum Indigenous Nursery or from Kingston Heath Reserve on one of five nominated dates in April/May.

All registrations sold out and approximately 70% of residents redeemed their vouchers with the collection of approximately 3,500 plants. The surplus plants were returned to the Kingston Depot and were allocated to the National Tree Day (both schools and community planting events) and Gardens for Wildlife participants.

3. Discussion

3.1 Council Plan Alignment

Goal 2 - Our sustainable green environment with accessible open spaces
Direction 2.2 - Greening Kingston and place making

The Free Plant Voucher directly supports Council Objective 2.4.4 *Expand the urban forest by increasing the tree canopy cover in Kingston.*

3.2 Consultation/Internal Review

Consultation with local nurseries indicated that having nominated collection dates and times was more manageable than having residents collecting plants over a longer window throughout Spring. Set collection dates also allowed Kingston staff to support the volunteers at Carrum Indigenous Nursery. Other nurseries previously involved in the program are no longer willing to be involved in plant distribution.

Resident feedback at the Autumn 2021 plant collection days was very positive. The process of registering for a voucher, checking-in on site and collecting plants on specific collection dates, was robust and well executed.

Following the successful Autumn 2021 plant giveaway, an internal review meeting was held with Manager Open Space, Parks Team Leader, NRA Supervisor and Gardens for Wildlife Officer which led to the recommendation in this report.

3.3 Operation and Strategic Issues

3.3.1 Access to the Free Plant Vouchers

Distributing the free plant vouchers through rates notices limits access to ratepayers only, however the promotion of the initiative through the rates notice has proven successful. By modifying the scheme to also offering all Kingston residents, the opportunity to register for a voucher makes the scheme more accessible to the wider community.

Having residents register for their voucher also provides an avenue for direct communication, and when collecting plants, to monitor check-ins using a QR code.

This also allows for follow up communication with participants, checking on plant health and viability, and connection into other Council programs such as Friends of Groups and Gardens for Wildlife.

3.3.2 Autumn Distribution of plants

Moving the plant giveaway event to Autumn means that plants are distributed during the optimal planting season. Any unforeseen delays with distribution, as per 2020 events, means that plants are more likely to survive in tube stock for longer during the autumn/winter period compared to the Spring/Summer season. This gives Council greater opportunities for plant reallocation or re-distribution.

3.3.3 Advising residents of changes to the Free Plant Voucher scheme


Residents who missed out on the 2020 rates notice vouchers were given priority registration to receive their free plant vouchers in Autumn 2021.

Officers propose a message in the 2021 rates notices advising residents that the free plant voucher scheme has been moved to a yearly autumn plant giveaway via electronic voucher. See Appendix 1 for a draft of the proposed communication.

4. Conclusion

Officers recommend an annual Autumn plant giveaway event, over a set number of dates, for a more robust delivery of the Free Plant Voucher scheme. Inviting residents to register electronically for a voucher allows greater communication options and allows Council to better monitor the effectiveness of the program. Distribution will be from Carrum Indigenous Nursery and a pop-up distribution location will also be considered.

Appendices

Appendix 1 - Rates vouchers 2021 Draft (Ref 21/152530)  [Download](#)

Author/s: Jimena Acevedo, Gardens for Wildlife Officer
Reviewed and Approved By: Helen F Scott, Team Leader Environmental Planning
Paul Marsden, Manager City Strategy
Jonathan Guttmann, General Manager Planning and Development

8.5

FREE PLANT VOUCHER SCHEME

1	Rates vouchers 2021 Draft.....	147
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Property information

PROPERTY ID

<<Property ID Data>>

ADDRESS

<<Address Data>>

NAME

<<Name Data>>

Go in the draw to win a \$100 Voucher!

Kingston Arts offers exciting theatre, comedy and live music events at their two locations - Shirley Burke Theatre, Parkdale and Kingston City Hall, Moorabbin.

City of Kingston residents are invited to join the Kingston Arts mailing list and receive their monthly What's On newsletter, keeping locals in the know of upcoming events and performances.

One lucky entry will win a \$100 voucher to use on any 2022 performance (subject to availability). Visit kingstonarts.com.au/join before 12pm, 31 December to join and go into the draw.

Win a \$100 voucher competition is open from 1 August to 31 December 2021. The winner will be notified by email in mid-January 2022. *Competition open for new subscribers only.

kingston**arts**

Kingston City Hall Box Office - 985 Nepean Highway, Moorabbin | (03) 9556 4440

Property information

PROPERTY ID

<<Property ID Data>>

ADDRESS

<<Address Data>>

NAME

<<Name Data>>

1 FREE FAMILY SWIM ENTRY

Kingston Active is offering a free family swim. To claim your offer, bookings must be made by calling (03) 9559 7111.

Voucher is subject to the following conditions:

- Valid for a free family swim (max 2 adults + 3 children) at Waves Leisure Centre
- Valid until 31 December 2021
- Maximum of one free family swim per rates notice
- Cannot be exchanged for cash
- Not transferable for any other service/program
- Bookings are subject to any restrictions on max number of persons allowed inside Centre.

Visit kingstonactive.com.au for more information on Waves programming and entry fees.

WAVES LEISURE CENTRE

111 Chesterville Rd Highett | t 9559 7111 | e active@kingston.vic.gov.au
**KINGSTON
ACTIVE**

Kingston's Free Plant Giveaway

Kingston's 'free tree voucher' for residents has been replaced with an annual plant giveaway in Autumn! Collecting your free plants in Autumn will ensure you receive them at the optimal timing for planting.

We've doubled the number of plants available and you'll now be able to choose from native trees, shrubs, grasses and groundcovers.

Registrations will open in March so look out for announcements on social media or subscribe to Kingston's 'Our Place' eNews to be notified.

Kingston offers a series of free community workshops and events which include:

- sustainable gardening
- waste reduction and composting
- energy efficiency and low carbon living
- movie screenings
- PLUS community events to improve our local natural environment and biodiversity

Subscribe to Kingston's 'Our Place' eNews to be notified, kingston.vic.gov.au/sustainabilityworkshops

Agenda Item No: 8.6

FIRE PITS CONSULTATION RESULTS

Contact Officer: Neil Sheppard, Team Leader Local Laws

Purpose of Report

The purpose of this report is to provide information from the consultation undertaken with the community to determine if repealing the current restriction on the use of fire pits is supported.

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council:

1. Note the feedback received through the community consultation period.
2. Note the survey result that overwhelmingly supports repealing the current fire pits restriction.
3. Review "Part 9 – Fire" of the Community Local Law in its entirety in accordance and subject to the Local Law Amendment Procedure, with the intent of including the ability of a person to light a fire on private property in the open air in a purpose built, constructed, or manufactured fireplace or allow a fire to be lit or remain alight on private property in the open air in a purpose built, constructed or manufactured fireplace for the purpose of heating. And clarity be provided to:
 - 3.1. Clear differentiation of materials, design and gas/electric type of incinerator, purpose built or constructed barbeque, grill, oven, chiminea, brazier, and manufactured fireplace
 - 3.2. Retaining the ban on incinerator
 - 3.3. Retaining the ban on burning off offensive or dangerous materials
 - 3.4. Retaining the permission of fire burning for the purpose of cooking for cultural activities or religious observance
 - 3.5. Outlining a safe distance requirement from other property
 - 3.6. Instances where a total fire or other restrictions are in place
 - 3.7. Situations where the permission would cease immediately if offensive material is burnt or if offensive smoke, smell, or odour or a smoke hazard, dust, grit, ashes is caused.
 - 3.8. Retaining the current directive powers by authorised officers to direct immediate extinguishing of the fire
 - 3.9. Ensuring consistency with all relevant laws

4. Commit to undertaking further community education in relation to the negative health, amenity and environmental impacts of wood smoke through implementation of the communication and engagement program as outlined in Appendix 3.

1. Executive Summary

At the Ordinary Council meeting held on 21 September 2020 a petition from Change.org was tabled requesting that the current restriction of the use of fire pits in back yards be lifted. The petition was signed by 2,776 respondents in the period between 4 August 2020 to 8 September 2020.

Notice of Motion (NOM) No 36/2020 - Remove Current Ban on Fire Pits in the City of Kingston required that Council undertake a review of the Community Local Law and conduct community consultation with a view to repealing the ban on fire pits.

The Community consultation was undertaken between 22 November 2020 and 21 December 2020 through the Your Kingston Your Say survey.

The online survey shows a majority preference to repeal the prohibition with many citing social benefits and enjoyment of family's gatherings. Council also received a number of comprehensive email submissions which provide scientific and medical research substantiating the serious health and environmental problems associated with wood smoke, particularly in an urbanised environment such as Kingston.

Council is mindful of the number of submissions received in support of amending the Local Law. Notwithstanding the significant public health and environmental considerations associated with allowing outdoor fire pits, but acknowledging the survey results, it is recommended that Council reviews Part 9 – Fire of the Community Local Law in its entirety.

The review will seek to retain some of the existing bans and conditions on the use of open fires on private property, but it will attempt to facilitate some outdoor heating options as a permitted purpose in certain circumstances. If this recommendation is supported, it is also recommended that Council undertakes a media campaign to assist it in reinforcing to the community that the public health and environmental considerations are a significant factor underpinning the Community Local Law as it relates to the use of wood fires for the purpose of heating.

2. Background

The City of Bayside recently considered a ban on the burning of solid fuel outdoors for cooking outdoor heating under their Local Law No. 2. This prompted many media enquiries and received a considerable amount of publicity. As a result of the publicity surrounding this decision the City of Kingston received a petition requesting that the current prohibition on fire pits be removed.

Currently the City of Kingston's Community Local Law Part 9 – Fire includes clauses 204 to 222. **Clause 204** that prohibits fires to be lit in the open air without a permit. Permits can be granted within designated rural, industrial or commercial areas for the purpose of fuel reduction, regeneration of indigenous plants and for eradicating weeds or diseased plants. These permits are mainly issued to large golf courses and to Council for regeneration purposes in bushland reserves.

Clause 204 does not apply to a barbecue while being used for the purpose of cooking food outdoors – meaning residents can have a barbeque on their property without the need for a permit. The use of pizza ovens is also allowed as the main intent of using a pizza oven is to cook food and not to create outdoor heat.

Clause 207 also allows permits to be issued for cooking for cultural activities or enabling religious observance. For example, this means that a traditional Maori hangi can be allowed with a permit.

However, **Clause 208** states that any fire may not cause a nuisance by odour, smell or smoke. The Local Law also controls the placement of brick built outdoor structures such as barbeques so that they minimise any smoke/smells produced from affecting neighbouring properties.

Clause 210 restricts the use of fires in incinerators or other structures (which includes chimeneas/firepits) for the purpose of burning solid fuel to create heat outdoors. This was originally included in the Community Local Law to prevent smoke causing health problems. It was believed that gas fired or electric options for creating outdoor heating are environmentally friendlier than burning solid fuel in open fires.

Benchmarking was undertaken with 6 surrounding Councils to see if fire pits were permitted within their municipality. Bayside Council are the only Council in the South East region that permits fire pits for both cooking and heating:

Council	Fire Pits YES/NO	Comments	Incinerators YES/NO	Comments
Bayside	YES	For the purpose of cooking and heating	NO	
Glen Eira	NO	Fire allowed* for the purpose of cooking, no fire pits for heating purposes	NO	Fire pits can be used for cooking; after cooking, fire needs to be put out*
Casey	NO	Fire must be contained in a barbeque for the purpose of cooking only	NO	
Monash	NO	No fires to be lit in the open air	NO	
Dandenong	NO	No fires to be lit in the open air	NO	
Frankston	NO	Fire allowed* for the purpose of cooking, no fire pits for heating purpose	NO	Fire pits can be used for cooking; after cooking, fire needs to be put out*

*Local law states no fire pits, although Officers can be lenient if the fire pits are being used for cooking purposes only

3. Discussion

3.1 Community Consultation Outcome

Consultation was undertaken with the community via electronic survey on the Your Kingston Your Say website and further email submissions were received directly by the Officers or through info@kingston.vic.gov.au.

The consultation was open from 22 November 2020 to 21 December 2020.

3.1.1 Online Survey

During this period the survey site received 3,300 visits with 724 survey responses received, 3 respondents are from QLD.

The survey asked the following question:

Do you support allowing fire pits in back yards? YES/NO

A summary of the survey results based on 724 responses is provided below:

- **89%** (641) of the responses received were in favour of allowing fire pits.
- **11%** (83) of the responses were against allowing fire pits.
- 345 respondents from VIC and 2 respondents from QLD have identified themselves as ratepayers
- 72 respondents have identified themselves as business owners
- 581 respondents from VIC and 2 respondents from QLD have identified themselves as owner occupiers
- 60% respondents are female
- 36% respondents are male
- 4% respondents are "Other" or I'd rather not say"

90% of respondents in favour of allowing fire pits are in the 26 – 55 age group:

- 245 VIC respondents (1 QLD respondent) identify as 36 – 45 age group
- 201 VIC respondents identify as 46 – 55 age group
- 103 VIC respondents (1 QLD respondent) identify as 26 – 35 age group

Several of the online survey submissions provided brief comments suggesting that permitting fire pits will provide an avenue for residents to gather socially and/or cook food outdoors. A detailed summary of the comments is provided in Appendix 1.

3.1.2 Email Submissions

A further **11** responses were received by email.

9 of these responses were against allowing fire pits.

2 of these responses were in favour of allowing fire pits.

A summary of all responses received, with personal details omitted, is attached as Appendix 2.

The email submissions that were against allowing the use of fire pits were extensive with many citing scientific and medical research to support their arguments to maintain the current bans predominantly due to health and environmental concerns.

Some submissions have commented on the inconsistency of this consultation with Council's recent smoking bans and ongoing commitment to advocating environmental issues.

Concerns have also been raised in the submissions that the repeal of the local law would represent a disregard for the medical and scientific data that is readily available in relation the health and environmental impacts of wood smoke.

3.2 Community Local Law Objectives

A selective repeal of clauses in Part 9 does not address some of the potential inconsistencies that may arise with new definitions and the like. It is also considered ineffective and inconsistent with two objectives of the Community (Amendment) Local Law No.4 Adopted 25 August 2020 as listed below:

- 2.3 *promote a physical and social environment free from hazards to health, in which the residents of the municipal district can enjoy a quality of life that meets the general expectations of the community; and*
- 2.4 *prevent and suppress nuisances which may adversely affect the enjoyment of life within the municipal district or the health, safety and welfare of persons within the municipal district; and*

Extensive evidence exists, provided by reputable research bodies and State Government agencies, that wood smoke produces hazards to human health, the environment and nuisances inconsistent to the '*...enjoyment of life within the municipal district*'.

Officers have reviewed research undertaken by a range of agencies and professional bodies including Asthma Australia, the Environment Protection Authority and the Federal Department Agriculture, Water and the Environment providing evidence that:

- Wood smoke comprises particles so fine (PM2.5) that they cause many environmental and health problems. Wood smoke is associated with serious illness including lung cancer, heart disease, stroke, emphysema, asthma, bronchitis and dementia.
- The Victorian Environment Protection Authority (EPA) website highlights the health risk presented by air pollution associated with wood smoke. The EPA suggests that some people are more vulnerable to the impact of wood smoke including those with heart or lung conditions, pregnant women, young children and the elderly.
- Asthma Australia has released numerous statements warning of the health dangers of wood smoke. A recent article produced by Asthma Australia titled [Don't underestimate the health dangers of wood smoke - Asthma Australia](#) suggests that individuals with respiratory conditions like asthma should '*...not to be complacent about the impacts of smoke produced by domestic wood heaters, on their ability to breathe*'.
-
- The article produced by Asthma Australia continues stating that: "*As the size of particulate matter generated by wood heaters is very fine, measures to reduce the infiltration of wood smoke into homes, such as closing door or windows, is not expected to have a significant impact.*"

- Further information has been prepared by the Federal Department of Agriculture, Water and Environment titled [Wood heaters and woodsmoke | Department of Agriculture, Water and the Environment](#) indicating that when wood heats to a high enough temperature it breaks down into a complex mixture of gases. These gases burn in the presence of oxygen to give off heat. If there is not enough oxygen or heat, the gases only partially burn. This creates smoke made of chemical components (fine particles and associated gases) such as nitrogen oxides, carbon monoxide, volatile organic compounds (VOCs), polycyclic aromatic hydrocarbons (PAHs).

Officers engaged Executive Manager Legal to assist with researching similar provisions of other Victorian Municipal Councils, as well as considering the Fire Rescue Victoria Act 1958, the Country Fire Authority Act 1958, the Summary Offences Act 1966, the Public Health and Wellbeing Act 2008 and with considerations given to the new local law provisions of the Local Government Act 2020 with the view of amending Part 9 Community Local Law by:

1. Clear differentiation of materials, design and gas/electric type of incinerator, purpose built or constructed barbeque, grill, oven, chiminea, brazier, and manufactured fireplace
2. Retaining the ban on incinerator
3. Retaining the ban on burning off offensive or dangerous materials
4. Retaining the permission of fire burning for the purpose of cooking for cultural activities or religious observance
5. Outlining a safe distance requirement from other property
6. Instances where a total fire or other restrictions are in place
7. Situations where the permission would cease immediately if offensive material is burnt or if offensive smoke, smell, or odour or a smoke hazard, dust, grit, ashes is caused.
8. Retaining the current directive powers by authorised officers to direct immediate extinguishing of the fire
9. Ensuring consistency with all relevant laws

3.3 Operation and Strategic Issues

A blanket approach to the use of fire pits is not recommended as this could be inconsistent with other laws and the objectives of the Community Local Laws. Officers believe that the number of complaints received relating to burning off will increase particularly on weekends and at night time. It may also generate an increase in disputes between neighbours particularly when tension exists around their use or any additional noise created in outdoor environments during night-time periods.

This is considered likely to lead to an increased community expectation for Council officers to attend complaints of backyard burning on weekends and evenings where unless events are identified 'emergencies' Officers are not generally available to attend. The lack of clear definition will make the enforcement harder on Officers in addition to issues identified.

Noting the number of submissions received regarding the adverse health impacts from woodsmoke, should Council resolve to review its Community Local Law, it would be appropriate as well to use this opportunity to play a proactive role in educating our community of the harmful effects of the woodsmoke from outdoor fire pits. Officers have requested assistance from the Communication Department to prepare a communications plan comprising a series of social media, printed and online articles (Appendix 3). The plan hopes to provide a direct response to the community members advocating to repeal the prohibition whilst seeking to educate in relation the importance of the local law and the harms associated with wood smoke from fire pits.

3.4 Options

3.4.1 Review the local law (Recommended)

Council could resolve to review Part 9 – Fire of the Community Local Law with the view of providing heating as permitted purpose for fire pits but with added controls and clearer definitions. The review will be conducted in line with Council's Amendment Local Law procedure that may take place in the first quarter of this financial year. As part of the process, a further community consultation will be conducted with a draft amendment that achieves the following outcomes:

1. Clear differentiation of materials, design and gas/electric type of incinerator, purpose built or constructed barbeque, grill, oven, chiminea, brazier, and manufactured fireplace
2. Retaining the ban on incinerator
3. Retaining the ban on burning off offensive or dangerous materials
4. Retaining the permission of fire burning for the purpose of cooking for cultural activities or religious observance
5. Outlining a safe distance requirement from other property
6. Instances where a total fire or other restrictions are in place
7. Situations where the permission would cease immediately if offensive material is burnt or if offensive smoke, smell, or odour or a smoke hazard, dust, grit, ashes is caused.
8. Retaining the current directive powers by authorised officers to direct immediate extinguishing of the fire
9. Ensuring consistency with all relevant laws

3.4.2 Not amend the local law (Not Recommended)

Council could resolve not to amend the local law and retain the existing ban on fire pits for heating. Noting the significant public health and environmental considerations which are associated with allowing outdoor fire pits and the intent of Council's community local law this option could also be justified. Mindful the number of submissions received in support of repealing the law, if this option is supported it is recommended that Council undertake a media campaign to assist in reinforcing to the community that the public health and environmental considerations were a significant factor in influencing the Council decision.

3.4.3 Amend the local law (**Not Recommended** - *but would likely occur if option 3.4.1 were pursued*)

Council could resolve to Amend the Community Local Law to permit the use of fire pits in backyards. Although this option may receive initial public support it is likely that modifications to the Local Law will bring about increased complaints and neighbourly disputes that will at times be very difficult for Officers to enforce due to existing drafting. Such a decision would also be at odds with the scientific and medical evidence in relation the impact of wood smoke in an urbanised context suggesting that this approach will lead to a range of negative health and environmental outcomes that need to be properly considered and supported through a community awareness and education program.

4. Conclusion


Council has responded to the petition to change the current restriction on fire pits by conducting a community consultation process. The online survey shows a majority preference to repeal the prohibition with many citing social benefits and enjoyment of family's gatherings. Council also received a number of comprehensive email submissions which provide scientific and medical research substantiating the serious health and environmental problems associated with wood smoke, particularly in an urbanised environment such as Kingston.


The community local law has clear objectives of promoting an environment free of hazards to health and preventing nuisances which may adversely affect the enjoyment of life within the municipality.

The restriction was originally included to achieve such objectives, by preventing smoke causing health problems. Council has in recent times, introduced smoking bans in beaches, foreshore and shopping precincts to achieve exactly the outcome of minimizing health problems, whilst simultaneously increasing its commitments to advocate for environmental issues.

Council has a role to play to promote and educate the community of issues affecting the quality of life of our community, to which a campaign of the harm of wood smoke would be delivered.

Appendices

Appendix 1 - Backyard Fire Pits survey comments (Ref 21/46027) 

Appendix 2 - email submissions for fire pit consultation (Ref 21/36277) 

Appendix 3 - Communications and Engagement Plan (Ref 21/113642) 

Author/s: Neil Sheppard, Team Leader Local Laws
Reviewed and Approved By: Yenni Lim, Manager Compliance and Amenity
Jonathan Guttman, General Manager Planning and Development

8.6

FIRE PITS CONSULTATION RESULTS

1	Backyard Fire Pits survey comments.....	159
2	email submissions for fire pit consultation.....	187
3	Comunications and Engagement Plan	207

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
1	SPRINGVALE SOUTH, VIC	Yes	sitting around an open fire is part of the Australian culture.
2	CHELtenham, VIC	Yes	A fire pit restricted to a certain size or enclosed to prevent the escape of fire/smoke to help control the nuisance to neighbours should be allowed within the backyard for warmth or cooking within the Kingston council. I believe allowing fire pits with certain conditions on size or chiminea shape etc will keep them safe and less harmful/annoyance to neighbours but also allow the enjoyment of a backyard fire setting for those wishing to enjoy their own backyard.
3	OAKLEIGH SOUTH, VIC	Yes	having a small fire in a backyard is a quintessential Australian pastime. It's crazy that rules against. Plus it's very common for people to have small fires for BBQing, smoking food and having spit roasts, are these also illegal?
4	CARRUM, VIC	Yes	Because if people can do it save it is a nice thing to do with the family
5	ASPENDALE, VIC	Yes	Creates a great atmosphere for relaxing and socialising as well as being practical in creating warmth on cold nights when sitting outside.
6	CHELtenham, VIC	Yes	Even though I don't have an area to have one I have no issue with my neighbours having one.
7	CHELSEA, VIC	Yes	It's an enjoyable family or friends event to get us outside, especially in autumn and spring.
8	DINGLEY VILLAGE, VIC	Yes	It's part of the Australian culture
9	ASPENDALE, VIC	Yes	It's a great relaxing family activity
10	ASPENDALE, VIC	Yes	Backyard fire pits can be used for cooking and are an excellent controlled location to teach your kids about the dangers of fire.
11	CHELtenham, VIC	Yes	Short occasional use for events, not burning of rubbish.
12	DINGLEY VILLAGE, VIC	Yes	Because it allows us to cook and be outside with each other. It also allows us as a family to sit around later and relax, talk and toast so marshmallows but all within the comfort of our yard when not able to go elsewhere to do it. This brings our family together but outside in a totally relaxing way and away from devices. It would be amazing if we were allowed to do this in OUR OWN BACKYARDS
13	CHELtenham, VIC	Yes	Social family fun.
14	CHELtenham, VIC	Yes	Why shouldn't you be allowed to have a small fire on your own premises? It causes little to no harm, creates a great family environment, keeps you warm and can keep you outside rather than cooped up.
15	BONBEACH, VIC	Yes	It's an enjoyable way to spend time together outside as a family. It would only be used occasionally
16	ASPENDALE, VIC	Yes	If they are in a contained unit and safe there is no issue
17	EDITHVALE, VIC	Yes	Because it's within your home and a safe activity
18	CHELSEA, VIC	Yes	Fire pits provide an opportunity to enhance both entertaining and personal relaxation options within private residential boundaries. Usage by most residents is likely to be limited to once/week or less for short periods of the year. Smoke from fire pits does not pose the same hazard as that from incinerators where a variety of materials are typically burnt.
19	CHELSEA HEIGHTS, VIC	Yes	For heat, also burning garden waste reduces bin waste. It's enjoyable to have a backyard fire and also handy to cook on
20	CHELtenham, QLD	Yes	It is a lovely way to get people together in the colder months.
21	BONBEACH, VIC	Yes	Fire pits are fun - I think sizing should be regulated, but they're a great addition to a backyard provided it's a safe environment with no overhanging fire hazards etc
22	PARKDALE, VIC	Yes	There are many benefits such as community engagement, mental health and well being, source of enjoyment etc.
23	HIGHETT, VIC	Yes	My family love sitting around a fire roasting marshmallows
24	ASPENDALE GARDENS, VIC	Yes	It's completely unaustralian not to allow a reasonable fire pit for cooking and warmth... cannot believe banning this is a rule
25	ASPENDALE, VIC	Yes	It is a good social activity.
26	CARRUM, VIC	Yes	Social, outdoor environment, encouraging people outdoors, perfectly safe, as long as the materials are safe to burn
27	CHELSEA, VIC	Yes	Because fire is relaxing and it brings people together which is good for mental health
28	MORDIALLOC, VIC	Yes	People should be allowed free use of their yards. So long as it doesn't smoke out their neighbours!
29	MENTONE, VIC	Yes	Well a fire pit is no different to a fire place, and BBQS honestly the only council I have ever lived in that has had an issue with this! How about worrying about cleaning up the rubbish on the beach that has more of an ecological effect.
30	PARKDALE, VIC	Yes	Used responsibly, a fire gives comfort, warmth and ambience to a family backyard.
31	CHELSEA, VIC	Yes	Lifestyle, backyard ambience, plus raises thin edge of the wedge with regulating what people can/cannot do in back yards & how it would be monitored/enforced.
32	ASPENDALE, VIC	Yes	Great to have a safe fire pit to enjoy in your backyard. A lot of camping grounds no longer allow. It's important to teach kids how to safely be around fire & the correct way to have a safe fire pit.
33	DINGLEY VILLAGE, VIC	Yes	It's a good way to get the family together, good for mental health and great for socialising

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
34	CHELSEA HEIGHTS, VIC	Yes	appropriately used, they are good for social gatherings. I would not want them to be used inappropriately or cause problems for neighbours etc
35	CHELSEA HEIGHTS, VIC	Yes	There is no logical reason to have this illegal. If it's in the open, no problem. If it's along the fence line then it should have a chimney (or something similar)
36	CHELSEA, VIC	Yes	Fire pits are a part of the Aussie backyard culture.
37	ASPENDALE, VIC	Yes	They are wonderful for families to gather and connect. I think the community would definitely appreciate this bylaw being abolished.
38	EDITHVALE, VIC	Yes	There is nothing better on a winter night than sitting round a controlled fire and roasting marshmallows with the family.
39	ASPENDALE, VIC	Yes	Many people enjoy spending family time together relaxing, entertaining, telling stories etc around a fireplace. I enjoy doing this with my children and we often cook damper or roast potatoes on it. I would like to continue to do this. I don't have a fireplace. I do not want to have to go camping just to sit around a fire. As long as you are not burning off dangerous or toxic materials and its contained in a suitable hearth I dont see the issue.
40	PARKDALE, VIC	Yes	I think they are a relatively benign activity and can give a great source of enjoyment in colder months.
41	MORDIALLOC, VIC	Yes	The provide substantial amenity, while managed by the no nuisance policy that exists (section No08).
42	CHELSEA, VIC	Yes	We have a copper fire pit in our back yard and use to to bake potatoes and roast marshmallows with the children. We never use it when there is a fire ban or during the day when people make have washing out etc.
43	CHELSEA HEIGHTS, VIC	Yes	Nothing wrong with having a fire in the backyard
44	CHELSEA HEIGHTS, VIC	Yes	As long as they are done safely i believe fire pits should be allowed as it's apart of the Aussie way hanging around a fire pit in the backyard with family & friends
45	HIGHETT, VIC	Yes	They provide a place for family to gather and take the kids off screens. I was not aware of this by-law and will say that during the covid time our fire pit provided a place of escape for the family. I was surprised that each week the kids wanted a fire to stare into. Please repeal what is a very disappointing by-law that in the scheme of things does not provide any real value to the community as a whole. I accept that some see a problem in this, however please ensure that the concerns a few do not impact the joys of the majority. I love what our "fire time" brings to our family, precious memories !
46	HEATHERTON, VIC	Yes	No one should tell people what to do and not to do in their backyards unless it's a public health issue , some people with allergies cannot dictate the rest. What if I have allergy to a meat smell, would you prohibit bbqs at all? No! Let's ban cats and dogs as they bark and smell, the list can go on and on. Makes no sense when while Australia is enjoying pit fires to prohibit it in Kingston. In the winter it's the only fun on the backyard.
47	PARKDALE, VIC	Yes	Why not it brings people together
48	CHELSEA, VIC	Yes	Many people have woodburning fires in their homes in winter, the addition of outdoor fire pits seems like it would add negligible additional air pollution. It appears from reading the regulations that air pollution is the only reason they're not allowed.
49	PATTERSON LAKES, VIC	Yes	1. A back garden fire pit is a source of social interaction for a family and friends. 2. During lockdowns it provides a welcome relief from the everyday, especially if you can't get away camping. 3. It provides an opportunity to teach children fire safety and cooking techniques.
50	CHELSEA, VIC	Yes	because not supporting them is bad
51	ASPENDALE, VIC	Yes	Backyard fire pits are such a great option for families to sit around and enjoy the amazing atmosphere and warmth. We love teaching our kid's about them (my husband is a fire fighter so it is set up very safely) and giving them experiences we had growing up in the country and having outdoor fires.
52	MORDIALLOC, VIC	Yes	Residents should be allowed to used their private space as they wish. Fire pits are contained and small.
53	HIGHETT, VIC	Yes	As long as it's not a nuisance to neighbours, I think they add ambience to a celebration or gathering.
54	CHELSEA, VIC	Yes	They are fun and add great atmosphere.
55	EDITHVALE, VIC	Yes	Great social thing and for cooking
56	MORDIALLOC, VIC	Yes	It's an Aussie tradition
57	PARKDALE, VIC	Yes	See below
58	DINGLEY VILLAGE, VIC	Yes	They provide enjoyment, heart and a place to gather for family and friends
59	DINGLEY VILLAGE, VIC	Yes	Its a controlled environment and honestly the kids love toasting marshmallows at home. Been good for their mental health especially this year
60	CHELSEA, VIC	Yes	Having a open fire pit on your own property should be every residents right of choosing. People abide by fire ban rules mandated by emergency services on fire danger days. The council should have no say in how someone chooses to entertain themselves on their own property.
61	ASPENDALE, VIC	Yes	Because they provide: warmth, a way to cook, and contribute to social interaction, good mental health, and connectedness

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
62	ASPENDALE GARDENS, VIC	Yes	A backyard fire pit is a great family bonding centerpiece that is relaxing and primal at heart. It provides warmth and creates a great atmosphere that allows us to gather outdoors all year round!
63	EDITHVALE, VIC	Yes	It a great part of being outside the house enjoying the outdoors
64	HIGHETT, VIC	Yes	No real reason to not
65	HEATHERTON, VIC	Yes	Sitting around a fire with friends and family is a simple pleasure of life that doesn't hurt anyone. This is an activity done all around the world. It shouldn't even be up for debate, this is a very logical change to make. People will continue to do it even if you don't make the change, simply because you are being unreasonable to expect this not to happen.
66	EDITHVALE, VIC	Yes	Because it's a nice thing to do with our kids . Too many idiots out these days , safer being at home in our pine backyard
67	CHELTENHAM, VIC	Yes	As long as it's not a huge one and people are not burning things like rubbish/plastic etc I don't see what the problem is.
68	HEATHERTON, VIC	Yes	Provided they are managed properly and for the right reasons it can be quiet relaxing sitting around a fire pit and a great way for friends and family to socialise.
69	CARRUM, VIC	Yes	They are a part of Australian life! I have no problem with outdoor fire pits as long as they are done in a way that is considerate of others.
70	BONBEACH, VIC	Yes	Enjoy a cozy fire, great if you have friends over to keep warm.
71	EDITHVALE, VIC	Yes	Its Aussie tradition. As long as people still respect total fire ban days, we should have the freedom to have some mates over for a few beers around the fire.
72	EDITHVALE, VIC	Yes	Because my family and I would enjoy spending time outside in front of a fire pit
73	DINGLEY VILLAGE, VIC	Yes	We love our pit, it's our opportunity to relax
74	PARKDALE, VIC	Yes	because it should be our civil right to have one if we choose Home owners are responsible and will watch them and not use them on fire ban days. nice for us a family to use them.
75	CHELSEA, VIC	Yes	It's silly to have them just for cooking. They are a great feature for having guests over.
76	EDITHVALE, VIC	Yes	na
77	ASPENDALE GARDENS, VIC	Yes	Because it's a contained fire located on owned land. Fire responsibility falls upon the owner, not the council.
78	CHELSEA, VIC	Yes	Australian tradition Family bonding time away from technology
79	MORDIALLOC, VIC	Yes	Minimal impact when considering all the other enormous changes required. More people hear their homes with open fires; we have poor bus systems meaning people are driving, poor bike lanes, high use electricity. This is poor ROI if it's about climate and environment impact.
80	HEATHERTON, VIC	Yes	Good sense of bonding with family and friends and supporting good mental health.
81	CHELSEA, VIC	Yes	As long as people are burning for the purpose of heat, we should be allowed to enjoy being around an opened fire with our family
82	BONBEACH, VIC	Yes	I really don't think that a few small fire pits are going to cause health issues. People have open fires in their house and that's not an issue. When we have bush fires that is what causes problems, mass amounts of smoke. My partner suffers from bad asthma and she isn't affected by a small fire pit.
83	EDITHVALE, VIC	Yes	Is lovely to sit around on a cold winter night with kids and families.
84	MENTONE, VIC	Yes	They are a nice family activity
85	CHELSEA, VIC	Yes	As long as they are done safely there is no reason why they shouldn't be allowed.
86	HEATHERTON, VIC	Yes	It allows people to socialize in a environment at home, also should have a grill for cooking as this is a good option
87	BONBEACH, VIC	Yes	I don't see a problem having a small fire pit in the backyard
88	HEATHERTON, VIC	Yes	Following fire restrictions a fire pit is a great way to bring family and friends together any night of the year.
89	BONBEACH, VIC	Yes	Firepits are a part of family and friends getting together. They allow cooking of food and are a low cost option to provide outdoor heating and/or cooking.
90	PARKDALE, VIC	Yes	They are a fantastic way to stay warm and provide ambience In the privacy of one's backyard.
91	PARKDALE, VIC	Yes	It's not hurting anyone. And they are beautiful to look at and bring people together
92	DINGLEY VILLAGE, VIC	Yes	A fire pit brings a family together and outside, it is a also a good social outlet for people to gather around. As long as people understand not to have them on total fire bans
93	EDITHVALE, VIC	Yes	I understand there is always a risk, and we need to look at responsible fire pits vs irresponsible use. I and my husband are very responsible around fire, we have a coonara for heat all winter, and we probably wouldn't have a fire at our house due to space, but there is nothing better than sitting around a fire with friends.
94	MENTONE, VIC	Yes	Firepits are a fun way to socialise.
95	HEATHERTON, VIC	Yes	I enjoy having mates around and having a good time around the fire pit. Its also great during winter when the evenings get cold

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
96	ASPENDALE GARDENS, VIC	Yes	Yes because it is a great addition when having people over for a bbq or drinks etc. along with it creating warmth and a great atmosphere it fills the air with a great smell
97	HEATHERTON, VIC	Yes	Fire pits should be allowed, they are a social event or soul time to gather your thoughts and relax.
98	BONBEACH, VIC	Yes	They enable more use of your backyard during colder days/nights, and it's a joyful event to gather around a fire pit.
99	HEATHERTON, VIC	Yes	Is a great activity to do with the kids and friends. Sitting around a fire having a glass of wine and a chat is very much a part of Australian outdoor living.
100	HIGHETT, VIC	Yes	They allow a welcome distraction in Covid lockdown for starters. I also had one on ANZAC morning for the driveway service - not knowing they were illegal!! Fire pits are small and therefore shouldn't disturb neighbours anymore that indoor open fires
101	EDITHVALE, VIC	Yes	Provided it's done safely I see little harm
102	EDITHVALE, VIC	Yes	Provides a warm space in cooler weather for social activities. It seems ridiculous that you can have a fire pit to cook on but not to keep warm when socialising outdoors in the colder weather.
103	ASPENDALE, VIC	Yes	It's an opportunity to be outdoors in the winter with friends and family. Given the presence of covid in our lives, outdoors is better than indoors.
104	BRIGHTON EAST, VIC	Yes	Fire pits are social they bring people together after these tough times I think we should be embracing the Australian cultural traditions.
105	CARRUM, VIC	Yes	It should be allowed on personal property
106	CHELSEA, VIC	Yes	It brings the neighborhood together for cooking sausages, stick bread and marshmallows and kids love it. Should be allowed No to 3 times a months for cooking only to give those not liking it also a good break from the smoke/ smell. Our body Corp neighborhood is great and we always organize on gas BBQ a Christmas get the together. A fire pit would give in winter for Christmas in July a really good vibe.
107	CHELTENHAM, VIC	Yes	Having an occasional fire in the backyard, toasting marshmallows and enjoying a drink are a great way to relax and enjoy time with family and friends.
108	PARKDALE, VIC	Yes	I agree with not allowing burning off... eg bon fires, leaf fires, incinerator and the like but fire pits and outdoor fire places should be allowed.
109	MORDIALLOC, VIC	Yes	It is social and the best television invented
110	CHELTENHAM, VIC	Yes	They are a part of the Australian way of life to have a wood fire barbeque for cooking and warmth and socialising.
111	MORDIALLOC, VIC	Yes	Why not. It is a human tradition to make a fire in the comfort of one's home. Are you going to ban motor vehicles, trucks, etc. and smoking anywhere as well? I realise that common sense isn't common but to impose such a law lacks common sense.
112	MENTONE, VIC	Yes	i absolutley support allowing firepits in backyards, as long as it is supervised and extinguished when needed
113	PARKDALE, VIC	Yes	Under the right safety settings, fire pits provide ambience to family gatherings on cold days/nights and education opportunities for children as well as creating an opportunity for family bonding which has become more important in recent times
114	MENTONE, VIC	Yes	I think this is a great way to spend time with you family and friends. For small kids it can be a whole adventure.
115	CHELSEA HEIGHTS, VIC	Yes	Outdoor entertaining is a part of our lifestyle and wood heating is an economical and environmental conscious choice.
116	ASPENDALE, VIC	Yes	I dont see the inherent issue with it as long as it is in a proper contained firepit and not posing risk to your or others property.
117	MOORABBIN, VIC	Yes	I only support the use of small portable ones, not permanent ones as I think smaller ones won't create a smoke smell that permeates as much as a large one.
118	ASPENDALE GARDENS, VIC	Yes	I believe fire pits are a safe & controlled way to have an open fire.
119	PARKDALE, VIC	Yes	They are small and controlled and would ensure safest practices
120	MENTONE, VIC	Yes	Yes.It's lovely to enjoy the heat of an outdoor fire on a cool evening. No. Banning outdoor fires is far too much regulation
121	CHELSEA, VIC	Yes	Important part of outdoor life & socialising
122	MOORABBIN, VIC	Yes	Sense of family
123	ASPENDALE, VIC	Yes	Fire pits are part of outside entertaining and as long as they are positioned in a safe place there should be no issues. So many people have them and should be able to enjoy them without the fear of getting fined because of a very unpopular council law
124	DINGLEY VILLAGE, VIC	Yes	We have a right as to how we choose to utilise our space.
125	MORDIALLOC, VIC	Yes	It is a great social and family experience sitting around a fire.
126	MOORABBIN, VIC	Yes	Adds to family enjoyment of backyard
127	ASPENDALE, VIC	Yes	Relaxing

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
128	CHELSEA, VIC	Yes	Why not?
129	CARRUM, VIC	Yes	If only using clean fuel and not causing excessive smoke etc, I see no problem with allowing fire pits on days when there is no total fire ban.
130	BONBEACH, VIC	Yes	Whilst aware of the impact some may have on neighbours, I feel its an issue for neighbours to mediate and not the Council to control. Out door fires are one of life's little pleasures and in all reality given you are permitted to cook on a wood fire it would be near impossible to police.
131	CHELtenham, VIC	Yes	This bill restricts residents right for quiet enjoyment on their own property, something I thought we had the right to do. Banning fire pits and open fires in backyards is banning, - Aussie traditions of roasting marshmallows over a fire before camping out in the backyard with young kids. - Its banning peoples ability to enjoy their backyards - its banning peoples ability to cook over an open flame. Please do not ban open fires and fire pits.
132	ASPENDALE GARDENS, VIC	Yes	A backyard fire pit is a part of life that should not be restricted when fire conditions/ratings are safe. All local retailers sell fire pits so its a bit confusing to not allow them but allow the sale of them for retailers within Kingston. Allowing Fire Pit sales and use make sense and are in line with most jurisdictions in Australia.
133	PARKDALE, VIC	Yes	Family friendly atmosphere
134	CHELtenham, VIC	Yes	As long as they are safe, they do not bother me
135	CHELSEA HEIGHTS, VIC	Yes	Because it's completely unreasonable to not be allowed to. If I can burn one inside my house, then I should be allowed outside.
136	HIGHETT, VIC	Yes	If they are done so in a responsible manner and you aren't smoking out your neighbours I see no issue. It's not like people light them every day.
137	CHELSEA, VIC	Yes	Because we pay enough in rates and everything else if we want to have a safe fire pit to sit around we should be able to.
138	CHELSEA HEIGHTS, VIC	Yes	Fire pits can be used for multi uses including cooking
139	EDITHVALE, VIC	Yes	I believe people should be allowed to use them on their property
140	CHELtenham, VIC	Yes	It's social, brings people together and is the most ridiculous ban.
141	MORDIALLOC, VIC	Yes	Fire pits, if installed correctly, should be allowed. My kids miss making smores on Christmas eve like we could do in the country. We are in a built up area and fire ban days are in place to account for the days when it's not safe to operate them.
142	CHELSEA HEIGHTS, VIC	Yes	- being able to light a fire is a valuable skill (this rule is taking away children's ability to learn from family but also from Scouts/Guides/etc) - we should encourage people to spend more time outdoors not less - indoor fires send smoke out chimney but are allowed - the rules state "barbecue" but what about cooking food on a campfire? If you have the rule it should just state the fire is to be used for cooking
143	MENTONE, VIC	Yes	Something different to enjoy and an experience for kids and grandkids.
144	PARKDALE, VIC	Yes	Not incinerators but small firepits and chimineas used appropriately for social gathering rather than burning off should not be banned.
145	CHELtenham, VIC	Yes	They are social/good for mental health/can teach kids about fire safety within confines of home
146	CHELSEA HEIGHTS, VIC	Yes	It's more about what type of wood you are allowed to burn. Also maybe if someone near you has a health issue we the fire pit user can be notified at the start of each year.
147	MENTONE, VIC	Yes	It's a great family activity, particularly during the cooler evenings. It causes no harm to anyone, the logs we buy from Bunnings are not smokey or smelly.
148	ASPENDALE GARDENS, VIC	Yes	If done in a safe manner, why shouldn't I be allowed to? My property, my right!
149	PATTERSON LAKES, VIC	Yes	They bring people together, provide warmth and calmness in a private setting and are aesthetically pleasing. And you can toast marshmallows.
150	MORDIALLOC, VIC	Yes	Love ambience with family and friends
151	PARKDALE, VIC	Yes	Great way to spend time at home with family or friends. I assume this isnt a well known local law as fire pits are readily available to purchase locally and every second household currently utilises them! In my opinion, in the right weather conditions, smoke shouldn't be an issue - its a fire pit or the like, not a bonfire
152	MORDIALLOC, VIC	Yes	I believe fire pits when used sensibly allow families to come together for quality time, they are also good for mental health. My husband spent most of this past winter outside due to space constraints inside and needing to working from home. The fire pit was invaluable for him to maintain his sanity whilst staying warm whilst working. As long as toxic materials are not burnt and it's not causing a nuisance, I think it should be allowed.
153	PARKDALE, VIC	Yes	It is a great family activity to sit around a fire pit. Also nice to do with friends too.
154	MORDIALLOC, VIC	Yes	It is a nice thing to do, sit around a fire.



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	What suburb do you live in?	Yes / No	Why, or Why Not
155	EDITHVALE, VIC	Yes	It is just a simple pleasure to sit around a fire - it time council's concentrated on the bigger issues
156	MENTONE, VIC	Yes	Because homeowners should have the right to use them unless it's a total fire ban day
157	ASPENDALE GARDENS, VIC	Yes	They are an Aussie tradition, bring together young and old around a fire to share stories and experiences. Nothing else has the capacity to facilitate the same level of connectedness and engagement as a fire and in an era where we are rapidly losing our cultural and family traditions to screens and electronics, I think that we need to preserve these traditions more than ever. Most people who own a firepit would only use it a few times a year and I think most people are very sensitive to their neighbors needs.
158	MENTONE, VIC	Yes	Allows people to spend time outside around a fire making s'mores or toasting marshmallows etc
159	ASPENDALE GARDENS, VIC	Yes	Excellent opportunity for quality family time
160	ASPENDALE, VIC	Yes	I feel they are no significant impact on the environment and are a wonderful great for family get togethers at night, particularly during the winter.
161	MOORABBIN, VIC	Yes	It's a fun thing to do at home with a family which frankly we all need more of at this difficult time.
162	MENTONE, VIC	Yes	Ideal central focal point for a social gathering for neighbours/friends with the added bonus of providing a place to cook food and share a meal.
163	EDITHVALE, VIC	Yes	Allows people to enjoy outside living
164	BONBEACH, VIC	Yes	It's private properly, encourages clearing properties of debris and allows people an ambient night outside
165	HEATHERTON, VIC	Yes	During the cooler months it could be an enjoyable social activity with family and friends.
166	CHELLENHAM, VIC	Yes	People should be able to use their outdoor space as they wish. Fire pits promote togetherness and can be therapeutic.
167	CHELLENHAM, VIC	Yes	They are no different to a BBQ
168	BONBEACH, VIC	Yes	They are good for gatherings with family and friends, keeping warm on chilly nights, toasting marshmallows. The faint smell in the year brings joy.
169	CLAYTON SOUTH, VIC	Yes	Under controlled circumstances they can be enjoyable to watch and make s'mores with family.
170	CHELSEA, VIC	Yes	Because it should be on the onus of the operator to ensure it's safe and not blanket rules applied all the time.
171	MENTONE, VIC	Yes	Ratepayers should have the freedom to have a fire pit in their back yard
172	CHELLENHAM, VIC	Yes	I'm stunned that they're actually banned. Great fun with all your family and friends.
173	DINGLEY VILLAGE, VIC	Yes	It's a wonderful way to socialise and get the kids outdoors.
174	CHELLENHAM, VIC	Yes	I am sure people are adult and mature enough to understand if safe to do so let them decide what they should do in their private property.
175	MOORABBIN, VIC	Yes	Usually they are used during winter time when most people are indoors.
176	DINGLEY VILLAGE, VIC	Yes	Because they are a wonderful asset to a family and a home. It's relaxing and comforting to sit around a fire pit in winter and summer. There is no more smoke produced by a fire pit than from a chimney. Obviously they shouldn't be able to be used on total fire ban days.
177	DINGLEY VILLAGE, VIC	Yes	If people can have a fire pit run safely, then there is no reason it should not be allowed
178	ASPENDALE, VIC	Yes	Absolutely it should be allowed. There will always be the minority who cannot follow the rules yet to have this banned across Kingston is a little crazy. We have a beautiful paved rear courtyard (like many Kingston's) and during the cooler nights, a fire pit would go down a treat yet, it's illegal. No difference between a fireplace, outdoor BBQ and a fire-pit. All to be used sensibly and safely but to be enjoyed. Lift the restrictions.
179	PARKDALE, VIC	Yes	It's an enjoyable thing to do with friends And family.
180	MOORABBIN EAST, VIC	Yes	It brings family and friends together in a safe environment. It costs very little, and is a healthy way to entertain.
181	HEATHERTON, VIC	Yes	Fire pits aren't the problem. Rather control/restrict the materials you're allowed to burn.
182	MOORABBIN, VIC	Yes	They form a nice family focal point and encourage people to be outdoors in winter, instead of watching tv.
183	HEATHERTON, VIC	Yes	Provides a source of heat outside and discourages mosquitoes.
184	MORDIALLOC, VIC	Yes	I didn't know it was illegal in the first place, and I think if done responsibly and not to burn rubbish it is a lovely family activity
185	HIGHETT, VIC	Yes	It's a wonderful activity for families to enjoy during the cooler months.
186	CHELSEA HEIGHTS, VIC	Yes	We are adults who do not like over governance.
187	ASPENDALE GARDENS, VIC	Yes	To teach kids to be fire-aware and to provide a safe space for teens to get together within our properties. To help build family and friends' relationships as this is a perfect way to 'unplug' and connect. Great mental health benefits for minimal harm. (I'm a Girl Guide)
188	PARKDALE, VIC	Yes	It allows for a tighter family community.

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
189	MOORABBIN, VIC	Yes	People have been lighting fires since caveman times. They are generally harmless. People have then anyway. I would not be surprised that council gets very few complaints about them now anyway? Other councils allow it.
190	MORDIALLOC, VIC	Yes	Nothing wrong with having a clean burning fire, to be social, warmth. After all the council is to represent the owners, not their own opinions
191	BONBEACH, VIC	Yes	Let's you enjoy a warm outdoor experience without the hassle lighting gas heaters and filling gas bottles to keep you warm.
192	ASPENDALE GARDENS, VIC	Yes	Because its part of a cheap family experience to enjoy back yard fires within a firepit.
193	HEATHERTON, VIC	Yes	It adds to the amenity and use of the back yard
194	BONBEACH, VIC	Yes	Love sitting outside around a flame, gets you outside talking instead of sitting around staring at the tv every night. It's a beautiful thing.
195	PARKDALE, VIC	Yes	Because it is a way for people to be able to enjoy their backyards and for families to gather together.
196	CHELLENHAM, VIC	Yes	I would like to use one
197	EDITHVALE, VIC	Yes	Cooking, heat, family entertainment.
198	CHELSEA HEIGHTS, VIC	Yes	As a form or heat
199	HEATHERTON, VIC	Yes	Because an open fire or open BBQ emits the same amount of smoke. Banning fire pits is one step closer to banning open/wood/coal BBQs, which I disagree with.
200	CHELSEA HEIGHTS, VIC	Yes	We would love to occasionally have them in our backyard during the colder months (not excessively). It encourages the children to spend time outside in nature and is a good excuse to get them off technology in the fresh air while keeping physically active. It is good for theirs and our health and well-being, both physical and mental.
201	BONBEACH, VIC	Yes	As long as they pose no fire risk and are conducted safely they don't impose on the neighbourhood
202	ASPENDALE, VIC	Yes	It has to be one of the best Aussie ways to reconnect with friends and family. There is nothing better than sitting outside in fresh air (up wind obviously) on a perfectly still night with a fire to roast marshmallows or chestnuts. When the fire is lite and going correctly there is little to no smoke. Not even the people entertaining what smoke in their homes.
203	ASPENDALE, VIC	Yes	They are a nice addition to a backyard and it's nice to relax around a fire
204	ASPENDALE, VIC	Yes	Fire pits bring people together, and allow for entertainment. Most fire pits are both heating and cooking
205	DINGLEY VILLAGE, VIC	Yes	It's a simple pleasure. Family's bond over them and they support mental health and a feeling of community. My teenager and his friends engage more freely when relaxed and sitting in front of a fire with adults. That doesn't happen naturally inside a house. Fire risk in winter / autumn is minimal if not zero.
206	CHELLENHAM, VIC	Yes	I consider it a basic right and important for my mental health
207	CHELLENHAM, VIC	Yes	Fire pits are a great way for people to get outside, enjoy their back-yard, and are great for socialising with others.
208	PARKDALE, VIC	Yes	It a cheaper option for heating in cold winter days and nights, while still able to enjoy nature. It's makes an amazing family experience and makes memories.
209	PATTERSON LAKES, VIC	Yes	Most people just have a low fire used for heat and cooking. It brings people together and outdoors and is a fun low cost activity
210	ASPENDALE GARDENS, VIC	Yes	Very few (? no) other local government areas in Melbourne have this law. It is part of outdoor entertaining 'culture' at certain times of the year that a fire pit be used.
211	PARKDALE, VIC	Yes	I think they are a part of our lifestyle. I think they are less offensive than other things allowed e.g. smokey bbqs
212	EDITHVALE, VIC	Yes	It promotes healthy time outdoors. With our local beaches becoming so dangerous in recent years this provides a great focal point for social interaction with family and friends from the safety of the backyard.
213	CHELLENHAM, VIC	Yes	There is nothing better than sitting around an open fire with family and friends
214	MORDIALLOC, VIC	Yes	I believe fly pet should be allowed with the right regulations and guidelines to be followed properly, to make sure a fire extinguisher is in arms reach of the Firepit, the Firepit should be kept on something like stone pebbles or concrete floor not on something like wood decking and also make sure that the garden is trimmed back for less of a risk of ambers reaching the tree line. I believe if you follow the rules and regulations correctly there should be no issue in having a fire pit in the back garden. it also allows families to spend extra form of quality time together they might not be able to get in the day today life
215	CHELLENHAM EAST, VIC	Yes	One of my children is disabled and getting out to public spaces is a nightmare. Having a fire would allow us to have a social life and keep my children safe.
216	PATTERSON LAKES, VIC	Yes	The majority of residents are sensible. It is a great social thing to do at home.
217	ASPENDALE, VIC	Yes	It's has been a ritual for Yes00s of years to gather your friends and family around a fire pit and celebrate, tell stories, and play music. It is not a council role to determine the passing on of knowledge and how different people enjoy the privacy of ones backyard.
218	CHELLENHAM, VIC	Yes	It our right to do as we wish in our own back yard as long it adheres to fire regulations

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
219	EDITHVALE, VIC	Yes	Even living in townhouse with neighbors in close proximity we all have them and causes no issues between one another.
220	BONBEACH, VIC	Yes	Done safely i think has good benefits
221	WATERWAYS, VIC	Yes	We are responsible enough to manage a small camp fire at our back yard and all safety measure in place.
222	CHELtenham, VIC	Yes	We should be able to have a backyard fire. People are respectful of neighbours when having fires.
223	ASPENDALE, VIC	Yes	Creates warmth in winter months and encourages outdoor activities during this time, also adds atmosphere and ambience
224	CHELtenham EAST, VIC	Yes	Melbourne winters are so cold that heat is required to enjoy ones back yard and the ambience of a fire pit with friends is very enjoyable
225	CHELtenham, VIC	Yes	Because it is a fun family thing to do.
226	CHELtenham, VIC	Yes	Great for friends and community, love the ability to be warm in winter. People are sensible.
227	CHELSEA, VIC	Yes	Why not?  
228	CHELtenham, VIC	Yes	It's a nice way to keep warm on cold nights, it's relaxing.
229	PATTERSON LAKES, VIC	Yes	I would love to have people over to sit and chat around a small campfire every now and again. It's a great social outlet for my family and friends but we are limited to doing it at their homes. We love to cook up some food and stay warm and have a good chin wag a couple of times a year.
230	MOORABBIN, VIC	Yes	They are managed safely as they are in a persons own home and are a great way to bring family and friends together.
231	ASPENDALE GARDENS, VIC	Yes	Theres really no good reason they should not be allowed, they really do not cause harm and are a great way for familys to come together and all
232	CHELSEA HEIGHTS, VIC	Yes	It's a no brainer. Social gatherings on a cold night, what makes the atmosphere? Obviously not on fire ban days during summer. We should not deprive children of toasted marshmallows.
233	MENTONE, VIC	Yes	An appropriate activity as long as it complies with fire warnings. A blanket ban doesn't allow for the variance in settings and constructions.
234	PATTERSON LAKES, VIC	Yes	Because I believe I am a responsible ratepayer who can look after a fire and am extremely disappointed in Kingston's stance on fire pits. As a community we should not be disadvantaged from other communities and councils who allow fire pits I find it extremely disappointing that Kingston council do not care about a ratepayers quiet enjoyment of their own property
235	MORDIALLOC, VIC	Yes	Fire pits are the same as fireplaces and can cause the same amount of damage. Fire pits also encourage a great social atmosphere
236	MORDIALLOC, VIC	Yes	It is an enjoyable thing to do in the privacy of your own property.
237	MENTONE, VIC	Yes	Where is the evidence to show that it is health issue. Smoking is more of a health issue and that is not banned and the Council is not doing anything about that.
238	MORDIALLOC, VIC	Yes	Having the freedom to enjoy a small, controlled fire is a wonderful experience for my children and friends... the experience is intimate, friendly, learning and just part of being Australian
239	OAKLEIGH SOUTH, VIC	Yes	It creates memories for my kids that will last forever.
240	CHELtenham EAST, VIC	Yes	Opportunity to use outdoor space
241	CHELtenham EAST, VIC	Yes	Fantastic family time sitting around a fire.
242	HEATHERTON, VIC	Yes	It is uniting, reduces anxiety and works as great antistress after a long week. Safe to use under special recommendations and supervision.
243	ASPENDALE GARDENS, VIC	Yes	Family time, entertainment with friends and family, warmth
244	MENTONE, VIC	Yes	Low risk, encourage families outdoors, and kids off devices
245	KINGSTON, VIC	Yes	For safe enjoyment purposes on private property
246	HIGHETT, VIC	Yes	I love to sit with the family around a fire in my own yard in the evening
247	HIGHETT, VIC	Yes	Encourages community socialisation and when used responsibly doesn't cause harm
248	HIGHETT, VIC	Yes	It's a ridiculous overreach to ban them.
249	CHELONA, QLD	Yes	They are a great way to relax and enjoy a night.
250	PATTERSON LAKES, VIC	Yes	In a controlled environment it is a safe and beautiful opportunity for families to connect with nature and more organic cooking methods as well as creating a bonding atmosphere where families who may not be able to go camping due to accessibility issues can sit around a simulated camp fire experience.
251	HEATHERTON, VIC	Yes	Family can enjoy more days socialising outside in Melbourne weather and it is nice an cozy bringing family and friends sharing great stories.
252	CHELtenham, VIC	Yes	Burning solid wood is a very sustainable way to create heat. Good atmosphere and an enjoyable way to spend an evening, especially if a lockdown were to occur again.
253	CHELtenham, VIC	Yes	We have a big backyard and it would be nice to use it in cooler weather
254	CHELSEA HEIGHTS, VIC	Yes	They are not used to burn rubbish so should burn cleanly.
255	CHELtenham, VIC	Yes	Fun for family. Great for parties. Home camping during Covid.

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
256	EDITHVALE, VIC	Yes	By allowing fire pits in backyards you allow a new social outlet for friends, families and neighbours.
257	CHELTHENHAM, VIC	Yes	I think it should be allowed if it is done so safely.
258	CHELTHENHAM, VIC	Yes	It is a beautiful thing to sit around a fire at home with family
259	PARKDALE, VIC	Yes	I can see why incinerators are not permitted, but chimineas and fire pits add a beautiful ambience and entertainment/design focal point.
260	MORDIALLOC, VIC	Yes	You can buy firewood and fire pits, so it is unbelievable that burning in fire pits is banned. I have asthma, I understand that is a consideration, however gave guidelines around safe and legal use, not a ban! If we live in kingston at a house with a yard, we pay a lot of money for that space and rates associated. We should be allowed to enjoy a social and safe fire on our property from time to time to enjoy some heat while enjoying our yard without buying expensive and costly outdoor heaters of the gas or electric variety.
261	PARKDALE, VIC	Yes	It is very social, allowing a different way for family and friends to share time together at home in their own environment
262	MENTONE, VIC	Yes	Freedom of use of your own private space.
263	EDITHVALE, VIC	Yes	It is too difficult to enforce a law where the exceptions eg. Food prep, bbq, pizza ovens, mean that the rules are are unclear and inconsistent. Also it is enjoyable.
264	CHELSEA HEIGHTS, VIC	Yes	Ambiance and freedom of rights. Always controlled and contained in a fire proof pit
265	MENTONE, VIC	Yes	A nice way to cook dinner or sit and enjoy a beautiful evening.
266	PARKDALE, VIC	Yes	Because it's something that brings family and friends together, is often only used for a few hours and doesn't impact others
267	HIGHETT, VIC	Yes	It's harmless and fun
268	CHELTHENHAM, VIC	Yes	As long as the right wood is burnt they are a great social thing to have in your backyard
269	CHELTHENHAM, VIC	Yes	Because it is part of our culture and brings family and friends together
270	CHELTHENHAM, VIC	Yes	How ridiculous that council can tell you what you can and can't do inside the four walls of your property
271	PATTERSON LAKES, VIC	Yes	A small, well contained fire allows for lots of socialising, as we can come around the fire to chat and relax.
272	PARKDALE, VIC	Yes	Great way to connect with friends and family outdoors with lovely warmth and ambience.
273	MORDIALLOC, VIC	Yes	Because having a fire pit is safe.
274	CHELTHENHAM, VIC	Yes	Fire pits now provide the opportunity for families to gather together outside, to create special memories & relax.
275	PATTERSON LAKES, VIC	Yes	Private residence should be allowed to make own decisions. Sure, keep track of nuisance smoke but don't outlaw them altogether. Takes away from home enjoyment
276	CHELSEA HEIGHTS, VIC	Yes	I think there is noting more relaxing for your mental health is to look into a fire I believe deep down this is better then any medication
277	MORDIALLOC, VIC	Yes	Because it's a good outdoor activity for bringing family and friends together, keeps you warm, keeps mozzies away, and is a part of family tradition and culture.
278	MOORABBIN, VIC	Yes	As a local firefighter of 12 years I feel strongly about this issue. Lighting an outdoor fire is one of the most basic human instincts. It's good for family connection, For culture and for mental health. If the concern against fires is people's health, then the existing law is contradictory. I've seen all sorts of permitted fires used for cooking food and for religious ceremony. They all emit the same smoke which in general is no bother to anyone. They are all good for family connection and culture. The clause that if the fire is causing a nuisance is fair enough. But the blanket ban as it is is ridiculous. In general, people only call the fire brigade because they know a law is being broken, not because of any danger or nuisance. People are flabbergasted when we have to put their fire out, and we in turn are embarrassed at the petty nature of it. Please show yourselves to Bea progressive council and undo this law. Regards Steve Wilson
279	CHELTHENHAM, VIC	Yes	They creat a sense of wonder, provide opportunities for family to live away from screens and spend time together and are a chance to teach children about fire safety.
280	HIGHETT, VIC	Yes	It encourages families to spend time outside together instead of indoors on tech. I think everyone should have the choice whether to light a fire safely when restrictions allow.
281	BONBEACH, VIC	Yes	It's an enjoyable way to spend time with people outside. It has a large social component of bringing people together.
282	PARKDALE, VIC	Yes	They are not used every day by all residents, occasional use to further enjoy our back yards with friends and family should be allowed
283	PATTERSON LAKES, VIC	Yes	It is a great family activity, and opportunity to teach children fire safety in a controlled environment.
284	HIGHETT, VIC	Yes	It contributes to our lifestyle here in Melbourne. Many have yards set up for outdoor entertaining and a fire pit forms part of the ambience, as well as (obviously) warmth.
285	CHELTHENHAM, VIC	Yes	It is a form of innocent family entertainment. So long as appropriate fire safe measures are put in place they should be allowed.
286	MORDIALLOC, VIC	Yes	Fire pits are part of our outdoor lives. They extend outdoor dining/ entertaining during cooler months. They are an additional cooking source iconic to Australia.
287	MORDIALLOC, VIC	Yes	Its beings families together, it also teaches my kids how to respect fire and what to do when you leave it and make sure its completely out.
288	DINGLEY VILLAGE, VIC	Yes	Stupid law that isn't enforced and should not even be a law

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
289	HIGHETT, VIC	Yes	With the year we have all just endured, people have turned to their homes for sanctuary, comfort and socialising. Backyard fire pits, and bbqs in general, offer the opportunity to have outdoor pleasures at home. This is something we should all be able to enjoy in our own backyards and amongst our community.
290	CHELSEA HEIGHTS, VIC	Yes	I love a firepit. Nothing like a quiet night with friends around a fire
291	MORDIALLOC, VIC	Yes	Encourages families to enjoy the outdoors. It's a great mindfulness activity to talk with friends and family around the fire. It is relaxing and cathartic. Very needed in this day and age.
292	CHELTHENHAM, VIC	Yes	They can be managed safely and respectfully. They are good fun for families and lend a great atmosphere to parties. Wood can be used from your own garden or collected from nature strips and the pot ash returned to the garden as fertiliser.
293	CHELTHENHAM, VIC	Yes	It brings our family together, a thing that brings teenagers close to family is invaluable
294	MORDIALLOC, VIC	Yes	Because its our right to have a fire outside - absolutely ridiculous that its currently illegal due to health reasons! What a joke.
295	ASPENDALE, VIC	Yes	If outside of any fire danger period and a suitable size I see no reason for there use.
296	OAKLEIGH SOUTH, VIC	Yes	It's a great way for families to relax and connect. You can't beat sitting around a fire chatting, it keeps the teenagers engaged at home.
297	ASPENDALE, VIC	Yes	It's a great way to have an adventure in your own backyard. Keeps everyone entertained and the family can talk around the fire and connect. Not many houses have the space to have a fireplace inside.
298	PARKDALE, VIC	Yes	As long as safe to do so - in a contained unit and not in a fire ban, there should be no reason why we can't have fires in our backyards.
299	BONBEACH, VIC	Yes	The ability to use natural fuel and take stress off electricity and gas infrastructure
300	CHELSEA, VIC	Yes	Surely it would be a self limiting activity. If people used fire pits and they got smokey, they'd be the first to be affected and would increase the burn temp or put them out. Don't wear have enough arbitrary rules? Do we really want to become a nanny state, being told what we can and can't do?
301	CHELSEA HEIGHTS, VIC	Yes	As we live in a country where having a fire in a backyard with friends with a bbq is a normal thing to do and anything else is just unaustralian
302	CHELTHENHAM, VIC	Yes	My neighbours have a Fire pit and I don't mind as I live in a community and everyone has a right to enjoy them selves especially in there own yard. You can't just ban things because someone complained there will always be people that complain and if they are the only people that I heard everything will be banned.
303	CHELTHENHAM, VIC	Yes	It's a beautiful family winter outdoors activity.
304	CHELSEA HEIGHTS, VIC	Yes	Quality family time is spent by fire pits. Better than in front of a tv.
305	PATTERSON LAKES, VIC	Yes	I believe that it is an enjoyable thing to do with family & friends & that it safe to do with very little risk in a dedicated fire pit.
306	CARRUM, VIC	Yes	As long as contained poses no issues to residents
307	HIGHETT, VIC	Yes	If used correctly they should not upset residents and have been a feature of Australian backyards and entertainment for decades!
308	CHELSEA HEIGHTS, VIC	Yes	Sitting outside around a fire in the backyard is a great way to spend with family & friends. There us something about it that takes you to a simpler time. It's relaxing, social & peaceful. Not everyone can go camping to experience this . A technology free timeout for all to enjoy.
309	CHELTHENHAM, VIC	Yes	They provide a great atmosphere
310	CHELTHENHAM, VIC	Yes	1. Many other areas do allow fire pits. 2. We believe that a fire pit is a wonderful place for a family to come together, whether it is to roast a damper or marshmallows etc. 3. Spending time with family and friends outdoors is very much the Australian way, and a fire pit ads certain magic to it.
311	BENTLEIGH EAST, VIC	Yes	There is minimal risk in fire pit use. It's a social thing that extends the use of our garden on cool nights.
312	DINGLEY VILLAGE, VIC	Yes	They're family friendly and encourage community connectedness. They provide memories with families roasting marshmallows, usually unavailable to those who do not camp.
313	MENTONE, VIC	Yes	Safe and can't see a reason why not. Brings out family together.
314	CHELSEA HEIGHTS, VIC	Yes	We are a child free home and use our chiminea for cooking and leisure.
315	HIGHETT, VIC	Yes	Because responsible residents should be trusted to make good decisions, limit smoke, not light on fire risk days, having extinguisher or water nearby and using occasionally for social adult gatherings. Someone with a larger space should be allowed quiet enjoyment of that space
316	ASPENDALE, VIC	Yes	Part of our culture
317	CHELTHENHAM, VIC	Yes	Used sensibly they can create a welcoming environment
318	MOORABBIN, VIC	Yes	I believe they are a great family social activity. We would only do at night in cooler months when there is little washing out (so people don't complain about their clothes) or people outside due to the cold weather (so they don't have to worry about asthma or allergies).
319	PARKDALE, VIC	Yes	It's a great way to have friends around to chat around a fire.

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
320	ASPENDALE, VIC	Yes	Other council areas have proven that this can be done responsibly. The reasons [perceived health benefits] for this law make no logical sense, given the allowance for indoor wood-burners and fireplaces, throwing a grate on a burner and calling it a BBQ or a Pizza oven to remain within the law. Just define clearly what constitutes a fire pit (i.e. it is not in the ground or at risk of igniting the ground) and that it has clear space from any foliage (150-200cm) and get on with it.
321	PARKDALE, VIC	Yes	They are often used primarily for social activities and clearly well managed
322	BENTLEIGH, VIC	Yes	It is a relaxing pleasure that many of us have been doing for many years and our parents before us have been doing for may yrs. At the moment I feel extremely lost not being able to go out in my own back yard and light a fire and sit there enjoying the warmth and being memorized by watching the flames. And maki g memories with family and friends , I just think it's plain ridiculous not being able to light a fire in a contained pit or outdoor fireplace
323	CHELTENHAM, VIC	Yes	Responsibly used and maintained fire pits and chimineas can be a great addition to a backyard
324	MENTONE, VIC	Yes	They can be a nice family event, especially for toasting marshmallows with the kids.
325	CHELTENHAM, VIC	Yes	In winter they are a great communal activity for friends and family to gather outdoors. Our kids love roasting marshmallows over an open fire pit. Plus the charcoal created also helps to turbo charge my compost.
326	MORDIALLOC, VIC	Yes	Use is typically very infrequent and in conjunction with outdoor el fresco eating is of insignificant impact on community health.
327	MORDIALLOC, VIC	Yes	If you have the space and are doing in a safe structure e.g a fire pit purchased and during the time of the year when it's not a fire ban / windy then it should be okay. It's nice on a cold winter day to roast marshmallows.
328	CHELTENHAM, VIC	Yes	I feel if you have enough space and you are on your own property where it is not going to affect others it should be allowed.
329	MORDIALLOC, VIC	Yes	Great community building activity
330	CHELTENHAM, VIC	Yes	It's good to be outdoors
331	BENTLEIGH EAST, VIC	Yes	They create such a good social atmosphere for friends and family
332	HIGHETT, VIC	Yes	I think people should be able to enjoy leisure activities in their own backyard - a small amount of smoke generated by the occasional use of a firepit or bbq isn't an issue. If people have issues with their neighbours occasionally doing this, they should consider moving to somewhere with a greater distance between residences.
333	BENTLEIGH EAST, VIC	Yes	Because its a social activity and doesnt affect people
334	ASPENDALE, VIC	Yes	It is a great way to have a family gathering, once-twice a week.
335	MORDIALLOC, VIC	Yes	Fire pits used considerably, is just Australian culture
336	CHELTENHAM NORTH, VIC	Yes	its nice to sit around a fire especially in winter months
337	CHELTENHAM, VIC	Yes	Having the ability to enjoy fellowship, family and commaraderie around a fire is an integral part of humanity !
338	ASPENDALE GARDENS, VIC	Yes	Great for socialising and as long as they're away from fence etc. there should be no issue!
339	MOORABBIN, VIC	Yes	Provided people burn aged wood I don't see any issue with it. Many neighbours near me have open fires in their houses which produce much more pollution over longer periods of time than a fire pit that may be burned for an hour or two !. Also one neighbour creates more rancid pollution from their pizza oven and bbq than most fire pits would - doesn't make sense to me. Allowing a fire pit to be used creates valuable and meaningful family time and connections.
340	CHELTENHAM, VIC	Yes	Forms part of our social and entertaining lifestyle. Any neighbours affected by the smoke should simply try resolve the matter with the neighbour or address it with the neighbours.
341	ASPENDALE, VIC	Yes	Proper fire pits gives people a calmness , good feeling , also cooking , cheap heat , being outdoors 😊😊
342	DINGLEY VILLAGE, VIC	Yes	Family lifestyle. Private and quite enjoyment on our Own land. It's also occasional use, not every day like indoor fires. Minimal inconvenience to Anybody.
343	OAKLEIGH SOUTH, VIC	Yes	They are enjoyable.
344	CHELTENHAM, VIC	Yes	Because it is a safe and harmless enjoyment when handled responsibly. A fire pit is not an incinerator (as the law appears to be currently defining them). Incinerators were intended to burn refuse that are recycled and composted these days, such as paper and leaves. I remember the days of incinerators and a fire pit and an incinerator is not the same thing. An atmospheric fire to keep warm outside of an evening is much more sustainable and less polluting in general, than a gas powered outdoor heater. With covid, outdoor gatherings are preferred and fire pits will enhance and enable people staying outdoors.
345	BENTLEIGH EAST, VIC	Yes	As long as they are used appropriately and safely they don't cause harm and bring a lot of joy and comfort to an outdoor setting that all can enjoy
346	OAKLEIGH SOUTH, VIC	Yes	They are great for social occasions
347	DINGLEY VILLAGE, VIC	Yes	Because this is a democratic country and it's part of our culture, we are talking about a safe fire pit, not a bonfire or burning off rubbish
348	CHELTENHAM, VIC	Yes	A nice pastime to do with family, visitors, especially in Winter.

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
349	MORDIALLOC, VIC	Yes	We enjoy our BBQ. Over covid we used our BBQ spit to cook our family meals more, it brought our family together and we formed a strong bond as we spent many hours together than we normally would, cooking together and getting through this hard year. Its social, provides warmth, and memories.
350	CHELtenham, VIC	Yes	Providing the are used with respect being given to neighbours.
351	MENTONE, VIC	Yes	Issues can be managed through the nuisance provision of the PH &W Act, there is no need fo a blanket ban.
352	CHELtenham, VIC	Yes	As a rate payer I would expect to be able to enjoy my property how I see fit including having an outdoor fire pit
353	MENTONE, VIC	Yes	I source of family entertainment especially at a time during a pandemic. In general they are safe and fun. Banning them would be unfair and extremely difficult to police.
354	CHELSEA, VIC	Yes	They are wonderful
355	BENTLEIGH EAST, VIC	Yes	Great social tool, excellent bbq too.
356	CHELtenham, VIC	Yes	I actually didn't know it was illegal in Kingston! How is it different to smoke from chimneys or wood fire pizza ovens ? Plus an enjoyable activity with family and friends - gives like a camping feel to an evening event
357	MENTONE, VIC	Yes	They are a lovely way to relax & enjoy with family & friends
358	MENTONE, VIC	Yes	Yes, you should be able to enjoy a fire pit in your own backyard.
359	CHELtenham, VIC	Yes	I think a common sense approach is needed to an issue like this. The tiny number of complaints does not warrant a blanket ban on fire pits.
360	MORDIALLOC, VIC	Yes	They are a time for getting together, relaxing in our yards, chatting- engaging with friends and family.
361	HAMPTON, VIC	Yes	They are a great way to have the family around, especially the kids toasting marshmallows. There's a special magic to a warm fire on a cold night you can't replace.
362	CHELtenham EAST, VIC	Yes	I have a fire pit and I love it. It creates warmth and is a joy to use.
363	MORDIALLOC, VIC	Yes	For family get together on nights and to keep warm on winter night gatherings. Nothing beats a cosy fire.
364	CHELSEA HEIGHTS, VIC	Yes	It brings families together outside without devices. Not quite the same as burning off.
365	WATERWAYS, VIC	Yes	We loveb to be outdoors and entertain and itbis often lovely to have a fire to keep our guests warm
366	CHELSEA HEIGHTS, VIC	Yes	Backyard fire pits are a part of our culture where friends and family gather for good times.
367	MORDIALLOC, VIC	Yes	Because there is no reason not to - unless your role in life is to prevent enjoyment!
368	HIGHETT, VIC	Yes	It is stupid that a law banning them exists
369	CHELSEA, VIC	Yes	Fire pits should be classified the same as a bbq as families gather around to talk. Gets people outside. Social. Fire pits are not used to burn rubbish. Most fire pits have safety screens. Would need safety regulations to ensure fire pits are used correctly & for social gatherings only
370	DINGLEY VILLAGE, VIC	Yes	As long as it is a controlled environment for the fire, I cannot see any reason why it should be banned.
371	CHELtenham, VIC	Yes	They allow important social interaction
372	CHELSEA, VIC	Yes	I don't think there is a problem. Other councils don't seem to have a problem with it. Living bayside it goes hand in hand with going to the beach and coming home with friends and gathering around a Fire.
373	ASPENDALE, VIC	Yes	Aussie tradition Good for mental health to relax outside
374	BONBEACH, VIC	Yes	For heat outdoors
375	PARKDALE, VIC	Yes	Because I feel it very calming and relaxing with family and friends and encourage conversion.
376	BENTLEIGH EAST, VIC	Yes	People enjoy fire pits at gatherings and are usually very careful with them. It's an Aussie part of life.
377	OAKLEIGH SOUTH, VIC	Yes	It's democracy. Let people enjoy their private back yard. Fire is amazing to watch, we should be allowed to have a small pit fire in the back yard
378	PATTERSON LAKES, VIC	Yes	Its a great source of warmth, entertainment and method for cooking/smoking.
379	CARRUM, VIC	Yes	Yes, with the exception of total fire ban days of course. Small backyard firepits are an enjoyable amenity that cause little inconvenience to anyone. If people are using them in a way that causes a nuisance (eg burning rubbish) perhaps consider taking action against them, but otherwise residents should be free to use them.
380	PATTERSON LAKES, VIC	Yes	I think its a great thing to have in Winter, it gives for a great night with the family and could help teach the younger generations important lessons on fire.
381	ASPENDALE, VIC	Yes	It brings families together. It creates quality family time.

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
382	CARRUM, VIC	Yes	In an appropriate fire pit, for the purpose of heat, whilst entertaining is a great feature to have in our yards.
383	MORDIALLOC, VIC	Yes	It's temporary, let the people enjoy their own backyards if they wish
384	ASPENDALE, VIC	Yes	A small fire in a pit is a very sociable activity to sit with family and friends near the fire. After the year we have had with lockdowns we really need to support social activities amongst friends to help each other so mental health.
385	MORDIALLOC, VIC	Yes	Such a nice way to spend time outside with family and friends
386	CARRUM, VIC	Yes	Because they are a safe place to have a fire with little danger to things around them (when used correctly). People already use fire to cook food so how is this different
387	PATTERSON LAKES, VIC	Yes	If it's for warmth and not for brining rubbish I can't see an issue
388	CHELSEA HEIGHTS, VIC	Yes	Not being allowed to have a contained fire on your own property is just another example of being over governed
389	PATTERSON LAKES, VIC	Yes	It's great spot to gather around, family friends etc.
390	CARRUM, VIC	Yes	I support have a fire put to allow people to relax in their own backyard
391	PATTERSON LAKES, VIC	Yes	Fire pits are great for social gathering. It encourages people to be outside rather than inside. After No0No0 no Melbournean wants to be inside any longer than they have to.
392	MORDIALLOC, VIC	Yes	Great to have another reason to get the kids outdoors. Very emotionally therapeutic. How else do I roast marshmallows? :) Risk vs reward is worth it for the benefit it brings.
393	EDITHVALE, VIC	Yes	Why not
394	CHELSEA, VIC	Yes	I like to watch an open fire
395	DINGLEY VILLAGE, VIC	Yes	They provide a pleasant family activity that gets kids outside and encourages time spent together.
396	CHELtenham, VIC	Yes	Safe responsible use of one in a private backyard should be allowed provided it doesn't cause a nuisance to neighbours.
397	SEAFORD, VIC	Yes	I believe it's a good social activity with friends and family as long as the conditions are right to do so. Low winds, water supplies, clearances and burning solid dry fuels.
398	CHELtenham, VIC	Yes	Minimal impact
399	PATTERSON LAKES, VIC	Yes	They add a social element to our home. Especially on a cold winters night, sitting out with family and therefore using our backyard all year round.
400	CHELtenham EAST, VIC	Yes	Particularly now when we need to encourage people to stay home when they can
401	MENTONE, VIC	Yes	Relaxing by a natural fire pit in the backyard is one of the most relaxing past times to be had with family members and friends - especially during the colder months. For retailers such as Bunnings to sell this without a disclaimer around council regulations many didn't even know existed, (to even have these regulations in place to begin with) is ludicrous. There's plenty of other ways to address those in the community with health problems associated with smoke rather than completely restricting the use of fire pits - which can only be regarded as fundamentally lazy from the council. For spitballing sake, i.e. only allowing them for certain time periods depending on the time of the year, obtaining verbal consent from your direct neighbours etc. Come on Kingston, we're better than this!
402	MORDIALLOC, VIC	Yes	It's a way to enjoy and appreciate the outdoors, brings families together and has a sense of social being which people need. If unable to get away it's a chance to sit around in your backyard with family and/or friends, to talk, no phones or tv needed. And for the kids and adults to roast marshmallows!
403	MENTONE, VIC	Yes	We as a family have particularly enjoyed sitting around our fire this year during lockdown, and to be honest, had no idea that it was not allowed! Our next door neighbour have an indoor open fire that produces the same amount of smoke for longer etc on a daily basis, as opposed to us maybe lighting ours once a week. Also our local Bunnings in Kingston sell open fire pits, with no information that they are actually not allowed!
404	CHELtenham, VIC	Yes	I think we have the right to burn off fallen wood material in our own backyards, especially when it costs money these days to take garden waste to the transfer stations.
405	MORDIALLOC, VIC	Yes	They give a good atmosphere and enhance our enjoyment of the property.
406	CARRUM, VIC	Yes	Personal freedom and enhances atmosphere to winter barbeques
407	CARRUM, VIC	Yes	There are a VERY small number of people that have complaints. We are restricting our own freedoms too much for the minority of people. Open things up and stop pandering to the few.
408	PARKDALE, VIC	Yes	Part of the fabric of life. Having a family gathering is so important now. And a safe fire pit is fantastic for the family
409	PATTERSON LAKES, VIC	Yes	It's an absurd law and should never have been made a local council bylaw!
410	PARKDALE, VIC	Yes	Fire pits have become a family oriented activity that mimics the feeling of camping. The pits are generally small and the fires only run for a short time. They encourage family members to get away from screens and talk to each other outside.
411	CHELtenham, VIC	Yes	Keep warm on cold nights

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
412	CHELSEA, VIC	Yes	What a stupid rule it's part of our culture
413	CHELtenham, VIC	Yes	I believe that people, in the privacy of their own yard should be able to relax around an open fire, while being safe
414	ASPENDALE, VIC	Yes	I believe this is a safe area and firepits are required to meet safety standards. They create wonderful atmosphere and family connection experiences.
415	CARRUM, VIC	Yes	It's a simple social thing family and friends can do to escape the stresses of life. Staring into the flames is therapeutic.
416	PATTERSON LAKES, VIC	Yes	Relaxation and socialising
417	EDITHVALE, VIC	Yes	My backyard! We like to cook on our fire pit.
418	DINGLEY VILLAGE, VIC	Yes	If used as heat source and safely used I wish to use for social occasion and heating in backyard big enough
419	CHELtenham, VIC	Yes	Allows people enjoy outdoors at night
420	PATTERSON LAKES, VIC	Yes	Because it's no different to having a bbq.
421	MORDIALLOC, VIC	Yes	For many this is a family tradition to sit outside around a fire pit or chimenea toasting marshmallows on a cooler evening. It fosters family togetherness, gets kids off electronic devices and allows people to use their outdoor areas even when it's cold. Many families may not be able to afford to go away on holidays, so this is their 'simulated' camping trip and the only option for them. Why would the City of Kingston want to take this away from us? Other councils do not interfere with such trivial issues, so why do you?
422	PATTERSON LAKES, VIC	Yes	If people are safe they should be allowed to enjoy the use of a fire pit on their property. As rate payers we should be able to use whatever we like on our own property (that is legal) and not be inhibited by council.
423	ASPENDALE, VIC	Yes	For entertaining, getting in touch with nature, and putting the ash into my garden
424	BONBEACH, VIC	Yes	Fits with beachside lifestyle
425	MORDIALLOC, VIC	Yes	Having a fire pit when you have friends and family gathering makes for point of interest and there is nothing like standing around a fire and sharing time with friends and family. I do not see how having the occasion fire in the backyard in a controlled and sensible fashion can be considered not within the law. Disallowing fire pits is going too far and entirely unnecessary.
426	CHELSEA HEIGHTS, VIC	Yes	Refer to the COK Facebook post from Yes December No0No0 and read the responses to this question. That explains it well.
427	CHELtenham, VIC	Yes	It's a nice way to spend time at home when there are limited options.
428	PATTERSON LAKES, VIC	Yes	It encourages community and family enriching activities like outdoor gatherings, bbq, socializing etc. It's harmless and even minimizes green waste where untreated wood is sourced as fuel.
429	CARRUM, VIC	Yes	Because it brings a joyful atmosphere. I don't believe that we should be told that we can't do certain things on properties we own and pay rates on. Also as long as it's not a bonfire It should be allowed.
430	CLARINDA, VIC	Yes	Because its contained in a pit and can be a nice way to come together as a family and enjoy toasting marshmallows. Can also be used to cook on
431	CHELSEA HEIGHTS, VIC	Yes	Family and friend activity. Done safely.
432	CHELSEA HEIGHTS, VIC	Yes	Because I should be able to do what I want in my own backyard.
433	CHELSEA, VIC	Yes	For social purposes
434	DINGLEY VILLAGE, VIC	Yes	Because they're good for family and friend gatherings
435	CARRUM, VIC	Yes	A small fire to sit around can be a wonderful way for family and friends to gather - to sit sometimes to cook - away from screens and other distractions. The fire is symbolic of being away and resting. This has been esp important during the lockdown.

Fire Pit Consultation Submissions

	What suburb do you live in?	Yes / No	Why, or Why Not
436	CHELSEA HEIGHTS, VIC	Yes	<p>As a resident of Aspendale/Chelsea/Chelsea Heights for over 60 years I was not aware of this law which raises a concern as to its effectiveness. Judging by the number of local residents that collect our naturally fallen timber for their own fires I was not alone in this ignorance.</p> <p>Our very small fire pit has provided us with amazing mental health benefits during the lockdown. Nothing is more soothing than watching safe, natural, random flames giving off enough warmth to allow one to sit outdoors in mid winter. Having this bylaw drawn to my attention has stopped that effect.</p> <p>A fire can be managed without impinging on neighbours rights or enjoyment. There are other bylaws that address nuisance issues.</p> <p>The ability to light a fire with no accelerant along with safe management of fires are essential outdoor life skills long taught by scouts etc and requires easy uncomplicated permission to practise. It is a skill I passed on to my children and grandchildren, no longer possible in Kingston with this bylaw.</p> <p>I have a degree of difficulty accepting the claims equating the clear adverse health effects of bushfire, chemical and coalmine fires with the simple smell of a wood fire. Billowing smoke is a problem but I find the odour from open fires as I walk around the neighbourhood much more pleasant than the odour from the freeway, South Eastern Sewage Plant or the dairy.</p> <p>The environmentally friendly justification base of this bylaw is just plain wrong. Any student of Climate change should understand the difference between the natural carbon cycle and the much smaller but totally significant contribution increasing atmospheric carbon dioxide. The problem comes from deforestation and the extraction and burning of fossilised carbon. Fire pits only possibly make a minuscule contribution if they are using plantation or naturally fallen timber as they are not part of the long term carbon dioxide increase. Equivalent heating from Victorian Electricity or natural gas by contrast will make a much greater impact to atmospheric carbon dioxide problem.</p>

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	What suburb do you live in?	Yes / No	Why, or Why Not
437	HIGHETT, VIC	Yes	<p>This might seem like just a bit of fun, but as an anthropologist who has studied the impacts of both activities on the human brain, I can attest that it's true. Gathering around a large-screen TV with family, friends, and food to watch the Super Bowl has, indeed, been predisposed by human evolution.</p> <p>People have sat around campfires relaxing and telling stories for hundreds of thousands of years. A strong case can be made that this has created a selective evolutionary pressure for people who can chill out by a fire, which puts them in the mood and position to learn from storytelling, and to act cooperatively rather than independently.</p> <p>Today's media devices, from television to smartphones, have harnessed some of the same qualities of campfire experiences that make us feel good, such as the multisensory stimulation and narrative storytelling, thereby concentrating and focusing them into a potentially harmful overdose. With increasing concern about the addictive nature of social media and screen time, it is important to consider just why and how these media are so compelling.</p> <p>Fire is one of the cornerstones of humanity's long history. Anthropologist Richard Wrangham has suggested that the invention of cooking over a fire led to a step change in our intellectual abilities: Cooking enhanced the amount of energy we could get from food, allowing our ancestors' brains to become larger. The development of the hearth had social impacts too. Someone had to tend the fires and coordinate the cooking. Wrangham, along with archaeologist John Gowlett and psychologist Matt Rossano, suggests that tending fires and performing rituals around them forced humans to figure out how to plan, cooperate, and possibly even to speak. E.O. Wilson, emeritus professor and museum curator of entomology, compared early human campfires to the nests of ant colonies: a nurturing spot that helped to develop the important social interdependence of human groups.</p> <p>There is limited evidence that early humans came together around fires to process tools and cook, but as cognitive archaeologist Steven Mithen points out, more recent Homo sapiens certainly did. Fireside activities may have provided the spark for many human innovations. There is no direct evidence of humans kindling new fires (creating one from scratch as opposed to tending one), but the oldest technology to make bow drills for starting fire appeared around YesNo5,000 years ago. The social context of modern fire behavior was evident by the Upper Paleolithic, approximately 40,000 years ago, which is also when art, needlepoint, fishing hooks, clothes, and other incontrovertible signs of cultural behavior appear in abundance in the archaeological record.</p> <p>Gathering around an evening fire is also an important opportunity for calm information exchange. During the day, biological rhythms produced by elevated cortisol and other stress hormones keep humans awake and provide the pre-coffee bump needed to be motivated and get things done—like finding and preparing food, and cleaning up around the house and yard. But as cortisol levels drop in the evening, we're able to sit and relax. We're in a mood to tell and listen to stories. Anthropologist Polly Wiessner has found evidence for this among contemporary hunter-gatherers: Their daytime conversations are mostly functional, but at night people tend to gather around fires and chat. This is the core venue for retelling a society's great stories—and passing along information that is central to a group's future survival.</p>
438	PATTERSON LAKES, VIC	Yes	Because they are an integral part of our social life. Mankind has used fire since the beginning of time. Banning them on environmental grounds is clearly ridiculous timber is the ultimate renewable resource.
439	CARRUM, VIC	Yes	Fires are part of the Australian way of life. A backyard fire pit provides warmth and is visually appealing but is also a social and family connection point.
440	EDITHVALE, VIC	Yes	I didn't know it wasn't allowed. It should be allowed - with the exception of total fire ban days, obviously.
441	PATTERSON LAKES, VIC	Yes	Because it is a enjoyable comfortable way to enjoy the outdoors . Using a renewable resource for heat.
442	CARRUM, VIC	Yes	I believe they pose little risk
443	ASPENDALE GARDENS, VIC	Yes	So that people can relax around a fire in their own yard. Watching the flames is very soothing to the soul. A fire pit emits roughly the same as a fire place inside, or a wood fired pizza oven, or a BBQ, so I don't see the need to single these out.
444	CHELSEA HEIGHTS, VIC	Yes	It's my backyard and I should be able to use it responsibly.. also is a family thing to do
445	PATTERSON LAKES, VIC	Yes	A fire pit helps me relax and takes away stress
446	PATTERSON LAKES, VIC	Yes	Fire pits have been around for many years. Council have to put their energy into more pressing matters
447	PATTERSON LAKES, VIC	Yes	As a way to enjoy the outdoors privately by yourself or with family/friends and could include a couple of drinks without getting into trouble or being in a Public Place.
448	PARKDALE, VIC	Yes	We have large yard and it's great for relaxing with the kids. It brings great joy for us.
449	DINGLEY VILLAGE, VIC	Yes	Great relaxing family time in the outdoors.
450	PATTERSON LAKES, VIC	Yes	So long as people are responsible with their fire pits I don't see why we can't have them.
451	MENTONE EAST, VIC	Yes	I think we need to be able to enjoy our outdoor space in private. Fire pits provide warmth and an ambience of calm. If used correctly and safely they are no problem.

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	What suburb do you live in?	Yes / No	Why, or Why Not
452	ASPENDALE, VIC	Yes	Residents should be able to cook food with fire.
453	PATTERSON LAKES, VIC	Yes	it is all about lifestyle, our family love having a fire to get together with friends and family
454	PATTERSON LAKES, VIC	Yes	We love to gather around a fire pit and share stories
455	EDITHVALE, VIC	Yes	Fire pits are a wonderful way to enjoy the backyard with family and friends
456	ASPENDALE GARDENS, VIC	Yes	99% of the public enjoy the use of fire pits for entertaining and relaxing in their own space. This should not be stopped due to a minority who disagree with their use. Great for mental health.
457	PATTERSON LAKES, VIC	Yes	Because if done right, there's no difference to an open fire in a house. But you can sit around with friends and family and enjoy the outdoors
458	PATTERSON LAKES, VIC	Yes	We enjoy it
459	CHELSEA, VIC	Yes	These are not used a lot, and if there is a fire ban day, or extreme hot weather warnings, then they should not be used.
460	MENTONE, VIC	Yes	Firepits for occasional outdoor use should be allowed. Also wood fired cooking should be allowed (pizza ovens/bbq).
461	ASPENDALE GARDENS, VIC	Yes	Outdoor fires are permitted (apart from fire ban days) when out camping and in many other councils. The occasion of gathering around a fire pit has a great impact on social mental well being, more so given this last year where it would give a sense of freedom/normality when we couldn't leave home. The use of an outdoor fire pit has no more a risk of uncontrolled substance burning than that of what is put on indoor fires. Given fires are permitted for the use of cooking it is not understood why this can't be extended to for use of warmth. A yarn around a camp fire is what makes Aussies special!! From the limited information available it would seem there is more support for fire pits than objections/reasons provided against people using them.
462	CHELtenham EAST, VIC	Yes	Create a lovely ambience
463	EDITHVALE, VIC	Yes	Fire pits are good for mental health for many people and many families have fun times around the fire pits, the amount of fuel burnt is very small and using the argument that it affects climate change does not stack up. Do we ban air conditioners that are mainly running on electricity produced by burning coal at the moment or cars?
464	PATTERSON LAKES, VIC	Yes	Sitting around a fire pit brings family and friends together in a relaxing atmosphere! Nothing better than chatting around a fire solving all the world's problems especially after the shocking tear that had been We call it the bush television!
465	PATTERSON LAKES, VIC	Yes	If it is a proper fire pit it should be allowed. Most people that want a fire pit will be responsible and not cause problems.
466	ASPENDALE, VIC	Yes	For warmth on a cold night
467	PATTERSON LAKES, VIC	Yes	Sitting around the fire is a great social gathering for family and friends.
468	CARRUM, VIC	Yes	It is part of who we are Aussie's
469	ASPENDALE, VIC	Yes	They are rarely used and we are over governed already
470	PATTERSON LAKES, VIC	Yes	Because it's a great way to provide heat when socialising outdoors
471	CLAYTON SOUTH, VIC	Yes	As long as correct pits are used
472	PATTERSON LAKES, VIC	Yes	It's Australian culture
473	PATTERSON LAKES, VIC	Yes	It's a perfect social situation to relax as long as it's done sensibly
474	MORDIALLOC, VIC	Yes	They are a gathering place for family and friends. Something different for kids to be outside at home and safe with their friends
475	HEATHERTON, VIC	Yes	They provide warmth plus ambience allowing us to enjoy more time outdoors.
476	CHELSEA, VIC	Yes	Because it's very rare they ever get out of control
477	MORDIALLOC, VIC	Yes	Encourages outdoor family and friend time that we cherish even more. Gets kids off social media, encourages conversation and family bonding.
478	PATTERSON LAKES, VIC	Yes	Properly used, they should cause no interference to neighbours. We have smoke enter our premises from neighbour's internal wood burning fire which is legal so I don't understand the restriction
479	ASPENDALE, VIC	Yes	Because it's a big part of the culture and community of the area.
480	MORDIALLOC, VIC	Yes	I have no greater joy in life than sitting around a fire enjoying conversation and strengthening relationships.
481	PATTERSON LAKES, VIC	Yes	I love having a fire in my back yard.
482	CHELtenham, VIC	Yes	I support fire pits so long as it's in a safe and sound structure (rather than a hole in ground, unless for cultural or other reasons with valid permit) - fire pits have gained popularity and there are many 'off the shelf' fire pits available. They prove to help facilitate outdoor connection with family and friends in a healthy social setting.
483	PATTERSON LAKES, VIC	Yes	I think it's an important part of life in Australia especially Melbourne there is nothing more relaxing than sitting outside by the fire. In today's modern world it's important to be able to have ways to relax and enjoy the outdoors
484	ASPENDALE, VIC	Yes	Reasonable use shouldn't bother neighbours.

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	What suburb do you live in?	Yes / No	Why, or Why Not
485	ASPENDALE, VIC	Yes	It is a key part of outdoor socializing and it is ridiculous to not allow it considering you can have an indoor fire for warmth - which we have. Controlled fire pits don't emit enough smoke to cause an issue.
486	CHELTHENHAM, VIC	Yes	Can't understand why banned, small contained fire, should be size restrictions
487	BONBEACH, VIC	Yes	Outdoor heat is often required in our climate. Fires provide a good focal point to any outdoor area and give a connection to the roots of our earliest ancestors. Sometimes it is just nice to sit and watch the flames released by the chemical reaction.
488	BENTLEIGH EAST, VIC	Yes	So many people use them already and don't even know they are illegal. Most people using them are doing so in a safe, non offensive manner. Fire pits are a lovely thing for people to be able to enjoy in their own backyards.
489	PARKDALE, VIC	Yes	Because I think a fire pit in the backyard where families can sit around is hardly an issue
490	EDITHVALE, VIC	Yes	Provides heat / warmth / cooking facility Family love connection around the fire
491	CARRUM, VIC	Yes	As long as the fires are safely used and monitored closely by a responsible adult, then I would agree to allowing this freedom for the community.
492	ASPENDALE, VIC	Yes	I like the ambience of an outdoor fire.
493	MOORABBIN, VIC	Yes	We are in a colder climate here in Melb and it is not only a source of heat in winter but also used to cook without having to use gas, electricity etc... It is only used mainly at night and we have never had complaints from our neighbours.
494	CARRUM, VIC	Yes	They should be allowed.
495	CARRUM, VIC	Yes	Why not ? Great for entertaining with family and friends
496	MENTONE, VIC	Yes	I think they encourage social engagement outdoors which at present is desirable
497	SEAFORD, VIC	Yes	Because people should have the chance to stay home and enjoy themselves around a backyard fire pit
498	PATTERSON LAKES, VIC	Yes	Having a fire pit at home creates an outdoor space the family and friends can spend valuable time together
499	CARRUM, VIC	Yes	Because it is essential, normal, natural, common sense. Fire pits and chimeneas are legally sold, complying to safety standards and certified. This is family time, social time, great for mental health, especially now. It is safe and part of our culture.
500	CHELTHENHAM EAST, VIC	Yes	The smoke emitted from lighting a fire pit on occasion would be minimal. I would suggest it is not the type of activity that occurs on daily basis.
501	ASPENDALE, VIC	Yes	Fire pits are an enjoyable way for people to spend time in their backyards. This activity is also in line with the relaxed beachside lifestyle that many move into the area for.
502	PARKDALE, VIC	Yes	It's a great way to socialise with friends and family, whilst keeping warm in winter
503	CARRUM, VIC	Yes	As a family we enjoy sitting outside by the fire device free and enjoy the outdoors at home. Our kids learn a new skill set by collecting the wood and starting the fire themselves, then enjoy toasting the marshmallows and enjoying their work. It's always a great relaxing time and we thoroughly enjoy sitting outside watching the "bush television".
504	BONBEACH, VIC	Yes	Because I enjoy the social aspect of firepits
505	MENTONE, VIC	Yes	We live sitting around fire pit. We use good quality wood do no smoke.
506	BONBEACH, VIC	Yes	We would like to have one
507	CHELTHENHAM, VIC	Yes	People should be able to enjoy the amenity of their outdoor space. Fire pits are small and ensure the fire stays contained
508	CHELSEA, VIC	Yes	It is Covid safe to catch up with friends and neighbours. If it is done in consultation with the neighbours it is not much of a nuisance for the people involved. Not everything needs to be regulated. Allow for some common sense.
509	DINGLEY VILLAGE, VIC	Yes	Great for family mental health
510	ASPENDALE, VIC	Yes	Backyard fires should be permitted in the City of Kingston. Fires in safe and secure fire pits, where the supervisor has access to water within close proximity, is a safe practise in a backyard. They provide warmth during winter.
511	ASPENDALE, VIC	Yes	Family get together outside
512	CHELTHENHAM, VIC	Yes	Simple family fun, great memories for decades through generation to generation. People can smoke and we can all smell that very the fence so how is an open fire any worse when using environmental products. Also, why are businesses allowed to sell fire pits if they are illegal. Is there any fun left in live, roasting marshmallows with my kids is something they absolutely love as it's family time and only happens No/3 times a year.
513	FRANKSTON, VIC	Yes	If they are small and in an appropriate structure and far enough away from houses/fences/trees etc and people don't burn toxic material then I think it's okay.
514	CARRUM, VIC	Yes	Nothing better than sitting around with friends and family toasting marshmallows. I feel it is my home and nothing like the old incinerators of old.

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	What suburb do you live in?	Yes / No	Why, or Why Not
515	ASPENDALE, VIC	Yes	Understand the issues with there use, however it really is such a nice thing to have and only easy way to provide heating outside. I personally like the smell in the streets when people are having fires.
516	PATTERSON LAKES, VIC	Yes	Removes the mozzies and no different from an inside canara setup that brings smoke outside.
517	HEATHERTON, VIC	Yes	Control the substances to burn the fire and do not ban social fires in a controlled manner in the backyard. There is no risk if the fire is in a controlled manner, e.g. fire pit.
518	ASPENDALE, VIC	Yes	No difference to a fire place inside or open barbecue.
519	MORDIALLOC, VIC	Yes	We have such quality family time having all the kids sit around and talk. This atmosphere usually leads to some deep and meaningful talks with our you teenage kids.
520	OAKLEIGH SOUTH, VIC	Yes	The firer pit bring people together, it was Autralian most fabulous things for family to do , the children always love story timr next to the fire with roast massmalo . It's teach the children how to be safe around the firer too
521	CARRUM, VIC	Yes	Brings a lot of joy and it's a communal activity and people need connection and joy!! Further it's an activity that so many enjoy. At home...where it's safe.
522	PATTERSON LAKES, VIC	Yes	With current knowledge and advice it is a safe secure option for family to enjoy social activities such as fire pits with friends and family.
523	MORDIALLOC, VIC	Yes	Fire pits are a natural heat source and provides a social gathering at home. It's no different than a wood heater
524	CHELTHENHAM, VIC	Yes	This is something lovely to do when socialising outdoor. Outdoor entertaining should be even more promoted during Covid times.
525	EDITHVALE, VIC	Yes	There are already ample rules in place , outside of council bylaws, restricting fires.
526	EDITHVALE, VIC	Yes	Because I love a backyard fire pit as long as it's not a fire ban day which most people understand what is the problem people have indoor fire places so what's the difference
527	PATTERSON LAKES, VIC	Yes	Depandant on weather conditions but there is nothing better than having an evening around a fire with your family. We have found it to be very conducive for descuions and binding with our teenagers.
528	CHELTHENHAM, VIC	Yes	Show us respect and trust we will do the right thing re back yard fire pits. It is too extreme to ban fire pits!
529	MOORABBIN, VIC	Yes	I believe Kingston residents should be allowed to enjoy their own backyard however they choose as long as it doesn't impact unreasonably on neighbouring properties. I think a fire pit enhances this enjoyment for some people and I can't see how the use of one would impact unreasonably on neighbours.
530	MORDIALLOC, VIC	Yes	Fire pits are great for social gatherings. The rule seems outdated and is not in keeping with the nature of our community.
531	HEATHERTON, VIC	Yes	It part of the amenity of ones back yard.
532	ASPENDALE, VIC	Yes	Because we enjoy sitting around it together as a family. Stupid in my opinion tin ban them in the first place!
533	CHELTHENHAM, VIC	Yes	My Chimonea has been adapted to be able to cook with.
534	CARRUM, VIC	Yes	Having then on a chilled winters night is amazing to relax under the stars, we should also be allowed choice in our own home
535	PATTERSON LAKES, VIC	Yes	Great way to relax and connect with family
536	DINGLEY VILLAGE, VIC	Yes	They are a family friendly activity that allows a medium for family bonding and discussions. Not unlike eating meals together. I focuses on family without modern day distraction of electronic devices and the like.
537	MENTONE, VIC	Yes	Brings people together safely in yards
538	HEATHERTON, VIC	Yes	They are harmless and the responsibility of the resident
539	CARRUM, VIC	Yes	I don't see a problem with them if there are rules regarding smoke reduction
540	CHELSEA, VIC	Yes	Family time spent around the fire on weekends
541	CHELSEA, VIC	Yes	Fire pit should be allowed for the purpose of warmth or cooking, specially in Melbourne during the winter. However, I think it should come with some restrictions, such as not exceeding No metres in width or length, not cause a smoke nuisance and be lit outdoors.
542	CHELSEA, VIC	Yes	I don't see the harm in them atall, as ,long as people are supervising them and respectful of their neighbours. It is much worse when you have a neighbour who chooses to smoke outside your bedroom window all day long...
543	CHELSEA HEIGHTS, VIC	Yes	Family gatherings particularly after COVID. A place to enjoy your property outside of four walls
544	CARRUM, VIC	Yes	If they are controlled in a actual "fire pit" what is the harm of residents sitting in the backyard and enjoying them?
545	ASPENDALE, VIC	Yes	Great in Winter for social gatherings. Allows for greater amenity of property in colder months.
546	PARKDALE, VIC	Yes	So that I and others can enjoy our private spaces
547	CHELSEA, VIC	Yes	As long as your fire is clean and doesn't annoy neighbours then I think it is fine
548	PATTERSON LAKES, VIC	Yes	It is a great way to enjoy the outdoors all months of the year.

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	What suburb do you live in?	Yes / No	Why, or Why Not
549	PATTERSON LAKES, VIC	Yes	Fire pits are a great part of home outdoor entertaining, especially considering Melbourne weather. Having backyard space for a fire pit is a great reason for living in Kingston, not in the smaller blocks closer to town. Smoke smell isn't an issue, neighbouring houses have indoor wood fire heaters that make a lovely wintery vibe in the neighbourhood.
550	MORDIALLOC, VIC	Yes	Family fun
551	MENTONE, VIC	Yes	They add to people's enjoyment of outdoor life at their own home, even as the weather cools
552	EDITHVALE, VIC	Yes	What's the harm?
553	CHELSEA, VIC	Yes	Great for entertaining, keeping warm, can use as a BBQ with a plate
554	EDITHVALE, VIC	Yes	People have a right to enjoy a fire pit in their yards it's a typical Aussie trait! Who doesn't like a fire in the backyard!! Ridiculous they are banned in the first place!
555	ASPENDALE, VIC	Yes	To be able to have a fire pit in the backyard allows us to utilise our private open space for more of the year than is currently possible. They make for a relaxed social environment. Provided they are not used in a dangerous manner or as a means for burning rubbish I think the use of them should be allowed.
556	EDITHVALE, VIC	Yes	Like to cook food on hot coals and for enjoyment
557	MORDIALLOC, VIC	Yes	You should be allowed to enjoy warmth from an open fire outside when you want
558	PARKDALE, VIC	Yes	Provides an opportunity for people to gather outside in small numbers and talk without the distraction of tv & media. Positive activity for mental health in an outdoor environment. Outdoor cooking. Ability to teach fire safety to the kids. Peaceful place to sit quietly.
559	CARRUM, VIC	Yes	Its a fantastic for families to sit around outdoors, bonding, our kids and friends love it. look forward to Saturday evening and grilling our deli sausages .
560	ASPENDALE, VIC	Yes	For cooking purposes only - wood fire oven / pellet smoker
561	PATTERSON LAKES, VIC	Yes	Because I don't see a difference between wood heaters and fire pits. Firepits are use far less, but being melbourne and cold allow use of outdoor areas of the property more often.
562	CHELLENHAM, VIC	Yes	As long as it's controlled and does not create a nuisance, it allows families to enjoy this feature
563	DINGLEY VILLAGE, VIC	Yes	I actually had no idea until recent that they were not allowed - they seem like a harmless, enjoyable, practical addition to the back yard. If internal wood burning heaters and fire places are allowed I don't see a problem with outside ones. Both produce smoke.
564	DINGLEY VILLAGE, VIC	Yes	We'd like to have the option to use one when we have friends over and the conditions are right. Provides a natural focal point.
565	MORDIALLOC, VIC	Yes	Great for family and friends and can be completely safe
566	CHELLENHAM, VIC	Yes	Because they're allowed in most other councils
567	ASPENDALE, VIC	Yes	Because it allows families to sit outside and toast marshmallows or make and cook damper together
568	EDITHVALE, VIC	Yes	Adds Atmosphere and warmth to gatherings and social events. Great for toasting marshmallows :)
569	MOORABBIN, VIC	Yes	Because I am free to use my yard space as I see fit.
570	MOORABBIN, VIC	Yes	Great fun in the winter with the kids and provides outdoor heat when entertaining that is more cost efficient than outdoor heaters.
571	ASPENDALE GARDENS, VIC	Yes	Backyard fire pits bring families and communities together
572	CHELSEA, VIC	Yes	They allow you to gather with friends and family in your own backyard in colder months for social interaction.
573	KEYSBOROUGH, VIC	Yes	Rate payers, home owners, tax payers have a right to light fires in their own backyards especially when it's definitely not a high densely tree/Forrest populated area
574	PATTERSON LAKES, VIC	Yes	Because Melbourne in a cooler climate, a fire pit extends the time we can utilize our outdoors. And is also an opportunity to teach fire safety to our children.
575	CHELLENHAM, VIC	Yes	Encourage families away from their tv
576	CHELSEA HEIGHTS, VIC	Yes	Warmth, socialisation, family activity
577	BONBEACH, VIC	Yes	They are nice, bring people together and provide a nice place to sit outside mosquito and cold free. I can not see any downside, environmental or otherwise that they should not be allowed. There is no downside. Ridiculous they are prohibited in the first place.
578	BONBEACH, VIC	Yes	They create a great atmosphere. They are harmless
579	MORDIALLOC, VIC	Yes	Ratepayers should have the right to enjoy their year, fires are great for family time in winter.
580	CARRUM, VIC	Yes	When people sit around fire pits in their backyard they are building community
581	MOORABBIN, VIC	Yes	Because why shouldn't they be allowed? You need good arguments to stop something and I don't see what the harm is. M
582	KEYSBOROUGH, VIC	Yes	Gives warmth with out using power - gas / electricity which is probably worse for the environment
583	PATTERSON LAKES, VIC	Yes	For some this is the only source of heat in the winter months. You can also purchase fire pits from Bunnings so as long as rules & regs for fire-pits & density are set by council, then they should be allowed.
584	ASPENDALE, VIC	Yes	For social gatherings

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	What suburb do you live in?	Yes / No	Why, or Why Not
585	BONBEACH, VIC	Yes	Because it is social, cozy and brings the family together, to communicate, to sing and to stay off their phones
586	PARKDALE, VIC	Yes	I don't see how you can ban a fire pit, it's not burning off. It's just a social thing to sit around a fire pit and enjoy each other's company.
587	CHELSEA HEIGHTS, VIC	Yes	Controlled environment. Great to educate kids about fire. We have a lot of horrible smelling smoke from indoor fires around here, I don't think outdoor would be any worse. As long as there are rules about how far away from neighbours. Obviously couldn't use during fire ban season.
588	PARKDALE, VIC	Yes	Because it is a simple pleasure to be able to sit around with friends. Mental health positive in a controlled atmosphere!
589	BEAUMARIS, VIC	Yes	Because it's our backyard.
590	PATTERSON LAKES, VIC	Yes	Firepits are crucial to parties and bqqs . They aren't always in use, and if it's done safely there shouldn't be any problems
591	ASPENDALE, VIC	Yes	Because it helps people with mental health.
592	ASPENDALE, VIC	Yes	Common sense
593	BONBEACH, VIC	Yes	Especially in years such as this when people are confined to their homes they need opportunities to make that experience as enjoyable as possible. A small, welcoming fire in a properly constructed and safe fire pit enhances positive mental well-being. Barbequing over an open fire is already permitted on fire safe days and this would be no different.
594	ASPENDALE, VIC	Yes	In a purpose built vessel, burning appropriate material poses no risk to people or the community.
595	MENTONE, VIC	Yes	I believe the impact is negligible due to the in frequency of usage. Also pizza ovens require this type of fuel to add to the flavour
596	PARKDALE, VIC	Yes	It creates a nice ambiance for gatherings.
597	PATTERSON LAKES, VIC	Yes	This is a good way to socialise outdoors on a cold evening.
598	CHELSEA HEIGHTS, VIC	Yes	If you can burn wood and charcoal to cook both inside out outside, and can have an indoor fireplace for warmth, it makes sense to allow a fire outside also. Wood burning is more economical and environmentally friendly than burning fossil fuel based products like gas and coal. Wood burning is considered carbon neutral also - the wood releases the same emissions if it were to decay in the forest as it does by igniting. Having a fire is part of our culture. Fire has been used for heating and cooking for thousands of years. Educating people of how to burn wood safely and efficiently to reduce smoke is important.
599	MORDIALLOC, VIC	Yes	They are a community tradition, we gather and spend time together!
600	MORDIALLOC, VIC	Yes	Backyard fire pits allow for an extension of the home into the backyard, something which is important in the current times. In particular, it allows for OUTSIDE gatherings which are preferable in the current pandemic. This is an archaic rule that needs to be withdrawn now!
601	MORDIALLOC, VIC	Yes	Why not enjoy a weekend in the safety of your own home with friends and family around a fire.
602	MORDIALLOC, VIC	Yes	They are a lovely social outdoor friendly way for families and friends to gather outside and with all the covid Yes9 around being outside more is a great option
603	MORDIALLOC, VIC	Yes	Because as long as people are using them safely, there's no reason why people shouldn't be allowed to enjoy a fire in their backyard
604	EDITHVALE, VIC	Yes	As long as it is done safely, people should be able to enjoy an outdoor fire on their own property.
605	MOORABBIN, VIC	Yes	Should allow fire in my backyard
606	MOORABBIN, VIC	Yes	Yes, I allow fire pits backyard!
607	MOORABBIN EAST, VIC	Yes	I believe our children should have the use and experience of fires to learn about and respect it. Just as we did when we were growing up. The comfort of a fire with the family and friends around it eating and actively engaging with one another is a experience that more and more people are not experiencing. If you do have the ability (yards etc) to have a fire you should be permitted to do so. I appreciate that burning materials such as plastics etc that emit odours/excessive smoke should not be burnt in respect to the environment and our neighbour's. The same goes for having fires that are excessively smoky. Burning clean timber with minimal smokiness should be permitted again respecting our neighbour's and the environment. People should be aware that when starting the fire some smoke will be made. But after no more than 5mins the smoke will be minimal.
608	CHELSEA, VIC	Yes	If they are managed in a courteous and sensible way, they can provide a great extension to family life for cooking and relaxation at home. Provided the fire pit or chiminea or pizza oven (preferred) is an appropriate size for the yard and deemed safe to use, I think they're great.
609	EDITHVALE, VIC	Yes	It's wonderful to have a backyard fire. So long as people are operating them safely. Removing this ability to do this in our own backyards seems Overkill of local gov regulations. Almost nothing is allowed these days, it is getting ridiculous.
610	MOORABBIN, VIC	Yes	We need to stop taking away things that get kids off their iPads and let us do fun things to interact with them and friends. It encourages interaction, music & general fun.
611	MENTONE, VIC	Yes	They are safe if well managed in a sound structure. They provide great mental stimulation and are brilliant for entertaining and baking potatoes!
612	MOORABBIN, VIC	Yes	It doesn't make sense to ban fire pits while still allowing indoor fires, as these seem to be used more frequently and also spew smoke into neighbours' houses.

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	What suburb do you live in?	Yes / No	Why, or Why Not
613	MORDIALLOC, VIC	Yes	Gathering around a fireplace is part of my family tradition and the present bylaw prevents these family friendly traditions to be passed on to the next generation. It also allows for more family interaction outdoors to enjoy the night air with the glow of a fireplace when the weather permits.
614	BONBEACH, VIC	Yes	With a controlled environment surely on your own property you can have a small open fire in a fire pit. Thanks
615	ASPENDALE GARDENS, VIC	Yes	Fire pits are a great way to spend relaxing time with family and friends.
616	ASPENDALE GARDENS, VIC	Yes	It is allowed in other councils so why not here
617	ASPENDALE GARDENS, VIC	Yes	Why not? No logical reason why not
618	CARRUM, VIC	Yes	Controlled in a fire pit is perfectly fine. It lovely to sit outside around a fire. Good family time
619	CHELSEA, VIC	Yes	Because they add a lovely ambience to a social gathering.
620	DINGLEY VILLAGE, VIC	Yes	This is a part of Melbourne's lifestyle & social interaction. We are not in a fire zone and our weather at night is often cold.
621	EDITHVALE, VIC	Yes	This extends the time families and individuals can spend outdoors both in summer and winter, and provides both a physical and mental benefit. The act of sitting around an open fire is relaxing while getting people out of the house and into the fresh air.
622	PARKDALE, VIC	Yes	Who doesn't like an open fire? When used responsibly, fire pits produce very little smoke and or odour. Let's find a balance instead of creating blanket laws that place everyone in the same category and cancel out the enjoyment of responsible, well intentioned and neighbourly people. Kingston is an area filled with older homes that still rely on solid fuel heating internally. Is that next on the list of bans to satisfy those who have nothing better to do than complain about everything and anything?
623	ASPENDALE GARDENS, VIC	Yes	very pleasurable sitting around an outdoor heater in winter, watching the footy and cooking dinner.... We have an enclosed pot belly stove (with flue)
624	CARRUM, VIC	Yes	They promote socialisation and wellbeing in the home experience
625	PATTERSON LAKES, VIC	Yes	Relaxation, gathering with friends.
626	HEATHERTON, VIC	Yes	It creates unique and cozy environment in your own backyard, and remind childhood
627	WATERWAYS, VIC	Yes	They encourage outdoor socialisation, create great memories for families
628	CHELSEA, VIC	Yes	If done safely it is a great way to enjoy outdoors with friends and family and the use of your garden
629	CHELSEA, VIC	Yes	I don't believe they are a hazard and can be safely used without complaint from neighbours
630	PARKDALE, VIC	Yes	Maintaining inclusion of clause No08 pertaining to smoke, smell and nuisance to neighbours would be a necessity. Fire pits and chimeneas are a very popular addition to many homes and enjoyed by many, so in this day and age I believe they should be allowed. There should however be strict rules pertaining to their use which should include no burning of plastics, painted material (eg: painted wood) and anything toxic or which may cause fumes and smell. That residents can complain about a neighbours fire and related smoke, toxins and smell and that Council can act on it. That a fire pit or chimenea must be of sound construction to alleviate a fire escaping. The idea is, however, fraught with risk - of people doing the wrong thing, leaving the fire unattended, burning toxic things, allowing a fire to be out of control, the risk of house fires, the risk of ash and embers escaping and causing serious fires. As always it's the people who do the silly or careless thing that wrecks these allowances for everyone else. Certainly a tricky decision.
631	CHELSEA, VIC	Yes	why not
632	CHELSEA HEIGHTS, VIC	Yes	i believe we should be able to enjoy being able to cook outdoors, there is also a range of different types of fuels available to use in fire pits
633	MORDIALLOC, VIC	Yes	To sit around and enjoy the occasional outdoor fire is a pleasure to renew your soul, and connect with our ancestors. Most of the time we can sit and watch tv, but occasionally it is a beautiful experience to sit, think, and enjoy watching the flickering flames.
634	HEATHERTON, VIC	Yes	Because I have the right to on my property, within reason of course, and in a purposefully made fire pit and limiting the size, noone else should be able to say otherwise.
635	CARRUM, VIC	Yes	General enjoyment
636	PARKDALE, VIC	Yes	We have a very safe cast iron Chiminea on paving and in the middle of the backyard away from neighbors and the fence line. It is also has a pizza oven fitting.
637	DINGLEY VILLAGE, VIC	Yes	It's a safe way to educate children of the dangers of fire. A firepit can be a tool to experience the value of understanding energy and combustion. In a world of technology and screens, a firepit can be even more important for children and adults alike to stop and reflect. Our brains need to be stimulated by curiosity. Gazing at flickering flames and smouldering coals can bring wellness and a clear mind to any person. Imagination is being stolen by screens. A well supervised firepit should be considered as less dangerous as the backyard trampoline.

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	What suburb do you live in?	Yes / No	Why, or Why Not
638	MORDIALLOC, VIC	Yes	A fire pit (or brazier/chiminea etc) is a great way for social gatherings to have another shared experience that can enhance the sense of community or family. Fire pits in the suburbs can also help link those in a suburban lifestyle to being more "out bush" as many people who have enjoyed camping can attest. They can help people connect more with the outdoors and in the current COVID conditions, having more reasons to be outside would be beneficial.
639	ASPENDALE GARDENS, VIC	Yes	Fire pits, bbqs & fire places all create heat & smoke. As long as people use appropriate burn materials there should be no issue. If correctly used these 3 items create happy environmental enrichment to their users. Also they create a heat source & a place to cook food.
640	DINGLEY VILLAGE, VIC	Yes	I enjoy sitting by the fire with family and friends and the smoke is not a big deal.
641	DINGLEY VILLAGE, VIC	Yes	I don't think it's harmful or anyone's business. And not everyone has a fire pit. So for those who do should be able to have the freedom to choose to use one. It's the home owners responsibility in terms of safety. This is not something the council can or should control.
642	CARRUM, VIC	No	Incinerators were banned years ago for good reasons. If you allow fire pits you invite people to burn of what they want to and when they want to. The stench and having to re-wash laundry is not acceptable. Smoke also permeates curtains and furnishings. Neighbour's will have to close windows even on warm nights. The fumes are a health risk, and the fire risk is extreme. Some idiots will also burn of woods permeated in poisonous chemicals and plastics. Many properties are also rented and many are set up as boarding/rooming house with itinerants who have no respect for the areas they live in. You will also have more noise problems and argument's as people sit around open fires to all hours often to early morning. They get drunk, drugged and violent and LOUD. The police have enough work to do. Are you going to send Council Officers out at all hours ? Pretty dangerous for them also. Check out the Patterson River and Beaches, Parks. with drunks and loonies on "ice". Councils can not enforce Parking and Bike Laws now. Manufacturers and Sellers of Fire Pits will be the only ones happy if you allow the return of "trendy" incinerators.
643	MOORABBIN, VIC	No	City of Kingston is a close knit residential area where any open fires could cause a safety concern if the fire became out of control and a health concern as it's most likely that the smoke would enter neighbouring properties. It's bad enough dealing with people's cigarette and bbq smoke.
644	CHELtenham EAST, VIC	No	The fine ash particles in the air contribute to severe asthma and in my case, contribute to severe pain because of a chronic lung condition. Also, when people use them on days of high fire danger, which someone inevitably will, embers can spread among our weatherboard houses in a flash, as has happened to 6 houses in the Casey Cardinia built-up area. They serve no useful purpose, they are just a trendy form of aesthetics and it's not in the public interest to allow them. Has anything changed except the fashion, to prompt a change in policy?
645	CHELSEA, VIC	No	There's too much high density housing in Kingston. If your neighbours have a fire pit it can be noisy, smokey, and encourages people to congregate outside, usually drinking. This can disturb sleep for children more than other gatherings. Also means more trees chopped down for firewood.
646	CHELtenham, VIC	No	Fire risk More environmentally friendly options available Cigarette smoke from my neighbours coming into my backyard is bad enough without adding fire smoke Have neighbours that already sit outside and talk late into the night during the week which we can hear from our bedroom, I wouldn't want something to exacerbate this.
647	CHELSEA, VIC	No	They're a fire hazard and add harmful CONo to the environment. People often burn other things other than fuel in them that contribute other harmful gases and it's almost impossible to police this misuse even if it's not permitted. They create a cloud of uncontrollable smelly gas that drifts across neighbouring properties. There are plenty of other more environmentally and socially friendly methods to heat an outdoor space.
648	CARRUM, VIC	No	Smoke in air causing breathing and other health problems. It's bad enough in winter with indoor fireplaces with chimneys. The smoke from the fire pits is coming from lower down and spreads further than from indoor fires. They are also likely to cause a bigger fire if not extinguished correctly.
649	BONBEACH, VIC	No	My neighbour is constantly using one and lights it right next to my washing line. The smell gets into the house as well.
650	HEATHERTON, VIC	No	I live in 'The Heath Estate' in Heatherton where all the houses are really close together & upstairs bedroom windows overlook onto neighbours' backyards. I've had my house smoked out several times by neighbours using fire pits for no reason other than it looking nice. Fire pits are also environmentally unfriendly. I have a chiminea but put a little ethanol burner in it: same effect but no fumes & it's considerate of the neighbours around me.
651	HEATHERTON, VIC	No	The smoke. My neighbor's kids did a campsite fireplace a few weeks ago and the smoke went into my room via the evaporative cooling. Luckily it wasn't a very hot evening and I could turn it off.
652	BONBEACH, VIC	No	Because people are morons and they could be dangerous. I would support them in Winter only

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	What suburb do you live in?	Yes / No	Why, or Why Not
653	EDITHVALE, VIC	No	<p>Everyone loves an open fire...BUT....unfortunately smoke does NOT respect boundaries. Smoke from neighbours cannot be kept out of other people's homes. It seeps in closed windows, and vents, and comes in via heating and cooling systems.</p> <p>If you suffer from asthma or chemical sensitivities (which is an increasing disability) you cannot even stay safe in your own home, let alone go out into your own yard. Even if you do not suffer from any respiratory problems, it is not safe to be breathing in any kind of smoke.</p> <p>We all have the right for our homes to be as safe as we can make them. Being exposed to smoke creates short and long term health issues.</p>
654	PARKDALE, VIC	No	we don't need the additional pollution or smoke seeping through my windows into my house.
655	MENTONE, VIC	No	Burning fires and creating smoke in high density housing areas (as in metropolitan suburbs) is a nuisance and a health risk. Smoke from neighbouring houses can fill your house if you leave your windows open. In summer, leaving windows open to cool your house is often the only economical way to do this. Not everyone has or can afford to run AC. Wood smoke is also known to be a carcinogen. It is a serious health risk for asthmatics and small children. You have laws for cigarette smoke pollution for these very reasons, and wood smoke is equally as harmful. Allowing people to pollute the air and affect the health of others for the sake of burning some wood to create a lovely ambience at their house is selfish and unjustified.
656	MORDIALLOC, VIC	No	I believe they are a health and safety hazard because who controls what is burned? Who polices compliance? We got rid of backyard incinerators because of pollution and fire hazard and this is a similar story. Plus fine ash and embers in the air increases the risk of starting fires and also asthma attacks and other respiratory diseases neighbours and others may suffer from. We are struggling with climate change and have had the worse bushfire season in our history - we don't need to add more difficulties.
657	EDITHVALE, VIC	No	Pollution and smoke from neighbouring home. We are living in more closer then ever so what happens in one persons backyard effects many people.
658	EDITHVALE, VIC	No	It is a ridiculous law, fire pits should not be banned. It's a fantastic thing family and friends Can enjoy together.
659	MORDIALLOC, VIC	No	Horrible smell, washing smells, can't have windows open for fresh air, family members have some breathing issues, one is a severe asthmatic.
660	WATERWAYS, VIC	No	Environmentally unfriendly and smelly for neighbours. If every house had one the smoke haze would be like a bushfire.
661	PATTERSON LAKES, VIC	No	Because control of what being burnt concerns me, the hours they are being used! Our neighbours are very close in proximity and I won't be able to have windows open or my large sliding doors onto my alfresco couldn't be open or used or my washing on the line due to smell. I have a young child with severe asthma and an adult with the same. It could cause difficulties to their breathing which could lead to breathing difficulties and death.
662	EDITHVALE, VIC	No	I suffer from a medical condition & smoke can escalate it to a serious medical episode. Therefore the smoke from surrounding neighbours fire pits enters my backyard & house especially when all 4 neighbours light up at the same time!! Forgotton to take the washing off the line? Oh well you just have to wash it again.
663	EDITHVALE, VIC	No	There is too much housing density. The smoke will effect all the surrounding neighbours as it cannot be contained to the household having the fire. I also oppose open fire places for the same reason.
664	HEATHERTON, VIC	No	Whilst fire pits are fun for the few people sitting in front of them, they can annoy an entire street of people with their smoke. It seems very unfair that a few people can inconvenience many. Additionally, they are really bad for air quality affecting people with breathing difficulties.
665	EDITHVALE, VIC	No	Its a good social gathering point outside during colder nights.
666	CHELtenham, VIC	No	This will add to environment pollution and fire danger
667	CHELtenham, VIC	No	The smoke makes me breathless and the smell comes right through my home
668	ASPENDALE GARDENS, VIC	No	The smell, the smoke and risk of embers
669	DINGLEY VILLAGE, VIC	No	Our neighbours light theirs under their pergola a lot. They lit it most days during winter. The smoke hits their pergola roof and then bills under our eaves, filling our house with smoke. We have to keep our house shut up, and even then its smoky and it makes us cough. Its awful and I don't think I should have to suffer for their enjoyment. They have a gas heater outside that they could use and it would not inconvenience us
670	DINGLEY VILLAGE, VIC	No	I am against firepits because they negatively affect our families enjoyment of my backyard. Our neighbours currently have a fire pit even though it isn't allowed, and every time they light it up the smoke and smell comes into our backyard. The kids enjoy playing on the trampoline and in the backyard after dinner during daylight savings, but the neighbours firepit smoke is so bad that it forces us all to go back inside our house. One of my kids also has asthma, which is triggered when the neighbours smoke comes into our yard. People burn all kinds of unhealthy things in their firepits, treated pine, rubbish, and painted wood. Many people use their firepits as incinerators, which are banned for good reason
671	CLARINDA, VIC	No	Smoke travels and affects more than the people sitting around the fire pit. If people are using fire pits to warm up, why don't they put more clothes on and sit inside their homes?

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	What suburb do you live in?	Yes / No	Why, or Why Not
672	EDITHVALE, VIC	No	We get too much smoke from neighbours fires and we don't have ac so need to leave our windows open
673	MORDIALLOC, VIC	No	I don't think they should be allowed in suburban back yards because if smoke smell and possible toxic gasses into the air. If I have washing on my line I don't want it to stink of smoke or want to breathe in the smoke. Who knows what type of wood they are burning? Detrimental to environment. Our back yards are smaller these days and there is a fire risk.
674	MORDIALLOC, VIC	No	Controlled fire pits are a great way to have family time outside. Also a lovely way to spend time with friends and family. Basically nothing is more relaxing than sitting around a fire pit
675	CHELTHENHAM, VIC	No	Can't stand the smoke from neighbours' fire pits, which they already burn illegally. The smell goes in our house and on our clean washing on the line. Just because the people burning the fire are enjoying it, doesn't mean that all of the other neighbours in close proximity are enjoying the smoke or the smell. Also, people burn the wrong woods and I have serious concerns for the environment.
676	MENTONE, VIC	No	Smell and smoke
677	MORDIALLOC, VIC	No	Risk of starting a fire near my property which is surrounded by many many trees. No fresh air, bad for your health and affects neighbours when they have to close their windows for hours. This happens almost weekly where I live. Should not be allowed.
678	MORDIALLOC, VIC	No	Because the smoke seriously impacts neighbours and particularly those with asthma
679	CHELSEA, VIC	No	Smoke, noise, danger of it getting out of control.
680	HIGHETT, VIC	No	Allergies to certain types of wood being burnt - smoke gets into everything
681	MENTONE, VIC	No	The air pollution is unacceptable. Our neighbours use one and the smoke blows right into our living area and is most unpleasant
682	CHELSEA HEIGHTS, VIC	No	Outdoor wood fires in high density areas are a nuisance to neighbours, causing respiratory issues and unpleasant smoke odour
683	MENTONE, VIC	No	My neighbours continue to disregard the regulations and have a fire pit 3 of 7 days of the week. Usually on weekends. This results in my whole house filling with toxic smoke, they burn treated pine posts and any wood they can find, I have to race out and save my washing on the line or it smells like I've been in a bushfire, and if I'm not quick enough to close up the house, we wake up feeling like we slept in a smoky nightclub. It would be lovely to enjoy a balmy evening outside but it is untenable when they light their fire pit. They light it all year round with no regard for the regulations....and they are not cooking on it!
684	MORDIALLOC, VIC	No	They stop neighbours enjoying their backyard and make people's washing smell terrible.
685	CHELSEA, VIC	No	My neighbour uses a fire to burn her unwanted rubbish directly next to our fence. The fumes smell terrible and I don't want this to continue. The neighbour on our other side burns a wood fire outside and the smoke fills our backyard. This makes it impossible for us to go outside and we have to shut the doors and windows. This seems unfair on our own property.
686	MORDIALLOC NORTH, VIC	No	Too much scope for neighbour disagreements and bad feeling. Even though I love firepits. The smoke spoils the ability for a neighbour to enjoy their garden. It's therefore quite selfish to light one when you know that a neighbour won't be able to use their garden to sit out, play with their kids, put out washing etc. The ash can also be a nuisance.
687	CHELSEA, VIC	No	Houses are so close together nowadays that you can actually enjoy the outside with out your garden and house actually stinking
688	CARRUM, VIC	No	I live in a small unit block and from time to time people have them. My whole unit smells and I have to plug all my doors and windows and it still doesn't help. With housing so close together these days, it is just not practical or healthy to permit fire pits.
689	HEATHERTON, VIC	No	Concerns over the environmental impact. Likewise, the smoke makes it highly unpleasant for neighbours to enjoy their backyard and can trigger medical conditions ranging from asthma to migraines.
690	PATTERSON LAKES, VIC	No	This will cause smoke odour issues for neighbouring properties. Additionally, this has potential health and environmental impacts, which should be considered above anything else.
691	PATTERSON LAKES, VIC	No	Dangerous if left unoccupied.
692	MOORABBIN, VIC	No	Too dangerous & having Evaporative Cooling, any outside smells or smoke gets drawn into homes. Also ppl have no respect for their neighbours these days. We should be able to enjoy our property without worrying about smoke from others houses and that goes for indoor fire places.
693	PARKDALE, VIC	No	Smoke pollution. I want to enjoy my own backyard without having to endure smoke from neighbours. My kids and I shouldn't have to breathe in smoke in our own home. Fires not put out properly pose a risk of spreading also.
694	ASPENDALE, VIC	No	Currently I have neighbours on either side who 'cook' by using huge smoke generating devices which are too close to our house and fills our house with smoke, it then triggers my asthma and I choke and struggle to breathe for up to 48 hours. Introducing even more opportunities for this is a nightmare for somebody like me.

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	What suburb do you live in?	Yes / No	Why, or Why Not
695	SEAFORD, VIC	No	Because they stink out the whole street and they are dangerous
696	MOORABBIN, VIC	No	Our new neighbour has started having regular 'fire nights'. How do I know? Our house gets smoked out. We have to run around and shut all doors and windows. We can't chance leaving laundry on the clothes line overnight in case they light a fire. Our backyard is like we are next to a bushfire. Our smoke alarms in the house have gone off. I have asthma.. I have got wheezy. If you'd asked me a year ago I would have supported this but it is now at my neighbour's power as to whether we can enjoy our backyard and pool. There is no way people could be in our backyard when they have a fire.
697	DINGLEY VILLAGE, VIC	No	Recently had a neighbor who had a fire pit close to our fence. The house would fill with smoke, ash on our cars.
698	PARKDALE, VIC	No	Don't want smoke in my backyard or home environment.
699	CHELTENHAM, VIC	No	Has been very unpleasant sitting in my backyard with smoke from a source nearby on several occasions. Caused difficulty breathing so had to avoid going outside during these times.
700	EDITHVALE, VIC	No	People burn treated timber Trigger asthma and migraines We don't know the long term health issues
701	MOORABBIN, VIC	No	Health issues with woodsmoke. Kingston already has an unresolved problem with smoke from inside wood fireplaces in winter. We don't need to add more smoke in summer. Kingston is increasing urban density and asthma is common and life threatening. We should not be compromising health. On several nights during lockdown, the wood smoke from No or 3 neighbouring chimneys (different directions) was so strong inside our house that we couldn't sleep and had stinging eyes. Rather than extend the problem and permit fire pits, council should review the current open fire environmental issues. Inefficient open fireplaces in homes already cause issues of excessive smoke and council should investigate new local laws to transition to lower pollution heating as other councils have.
702	PARKDALE, VIC	No	I think some people would abuse that privilege. I am also asthmatic so this would affect the air quality and my general health.
703	DINGLEY VILLAGE, VIC	No	I have respiratory problems and am particularly sensitive to smoke from wood fires.
704	PATTERSON LAKES, VIC	No	Houses are very close in proximity. And there are those with health issues mainly breathing issues that would not allow them to enjoy outdoors when people have fires going
705	MOORABBIN, VIC	No	My neighbour has an outdoor firepit now, probably without a permit, which is very close to our fence. Uses it all year round, multiple times a week. Smoke seeps into our house (despite doing what we can about door and window seals) we can't hang out washing when its burning (yes it's used during the day, evenings and nights with no predictable pattern). Onefamily member is asthmatic which this smoke can be a concern. I suspect he is burning waste from his customer's properties rather than paying to dispose it (gardener).
706	OAKLEIGH SOUTH, VIC	No	I have an asthmatic child who is sensitive to smoke in the air.
707	PATTERSON LAKES, VIC	No	I have had a former neighbour continually burn all sorts of rubbish / wood etc which caused excess smoke and meant we were unable to enjoy our outside space because of the smell. The smell of the smoke because of the position of the fire went through my house which also meant closing windows & doors so I am totally against it. I did report to council on numerous occasions who intervened but it only stopped when they moved.
708	HIGHETT, VIC	No	Because of the increased density of housing in our neighbourhood, when outdoor firepits are used particularly in unit courtyards and balconies the smoke behaves differently to how it does in outer suburbs and rural areas. When neighbours are using outdoor fires at the same time it means we and others can not use our backyard. It triggers Asthma and permeates our washing. Frequently it can be smelt inside our home. This is already an issue in our area and this survey is telling us it's against local law! We are often concerned about the quality of the fuel that people are buying and burning? What chemicals has this wood etc... been treated or painted with? Just because you can buy own a fire pit etc.. doesn't mean you know anything about correct use, safety, or health hazards. At least with the permit system, assuming it is enforced, some checks and education is able to take place.
709	CHELTENHAM, VIC	No	I would like to encourage carbon capture, soil cooling, moisture retention in the soil and a return of nutrients to the soil via mulching rather than producing more planet warming gases.
710	ASPENDALE, VIC	No	The amount of smoke they emit.
711	PARKDALE, VIC	No	If the council has declared a climate emergency, you should not have any solid fuel fires
712	MENTONE, VIC	No	They cause difficult breathing, have to shut all doors and windows. Especially in Autumn.
713	PARKDALE, VIC	No	Because people burn dirty or chemically treated timber and the fumes are health hazard. Everytime someone lights one I have to shut my house up and stay outside. I want to be able to enjoy my backyard too.
714	MORDIALLOC, VIC	No	No they should not be allowed. Wood smoke causes pollution and contributes to global warming, wood smoke is very bad for health, fire pits pose a fire risk and a burns risk for children.

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	What suburb do you live in?	Yes / No	Why, or Why Not
715	PRESTON, VIC	No	The smoke, any smoke, is a health hazard, especially serious for people with lung related health conditions
716	EMERALD, VIC	No	Biomass smoke from wood and other solid fuels is similar in toxicity and health impacts to biomass smoke from cigarettes (some studies suggest it is more toxic). However burning wood and other solid fuels creates much more smoke (visible and invisible) than cigarettes being smoked. There is no level of smoke at which there are no health harms (https://soe.environment.gov.au/theme/atmosphere/key-findings?year=96#key-finding-117331). These are cumulative for everyone, and in vulnerable people can be fatal within a short period of exposure such as a few hours (by stroke, heart and asthma attack https://www.ahajournals.org/doi/pdf/10.1161/CIR.0b1s3e3181d8ce1). Premature deaths due to air pollution, which wood smoke already forms an estimated 27% of the known harmful particulates PMNo.5 in Melbourne, are estimated at over 4,300 people a year in Australia (WHO https://breathelifeNo030.org/city-data-page/?city=Yes6). These are the tip of the health impacts pyramid. By comparison this is more than twice the number of deaths due to road accidents and homicide in Australia combined. Wood smoke is known to contribute to cancers, cardiovascular disease, lung conditions, respiratory illnesses (particularly in children) and neurological conditions including dementia. Air pollution is likely associated with higher death rates in COVID-19 so is astonishing that Kingston is suggesting increasing air pollution exposure, especially when residents were badly impacted by bushfire smoke in summer. Kingston should be protecting its community, especially its most vulnerable - the developing fetus, children, aged and health impaired. No one can stop smoke spreading, and it often hangs around near ground level, especially when it is cold, seeping into houses where it can be trapped, contaminating surfaces as toxic particles land where they can be absorbed through the skin. All residents and visitors to Kingston have a right to clean air in their homes, gardens, streets, neighbourhood parks, shopping areas and workplaces. Recreational and lifestyle burning is totally unnecessary in residential Melbourne, and the harms and risks cannot be justified. It is incompatible with human wellbeing, immediately causing unpleasant symptoms in many people that are distressing, and harm to everyone. Council would not allow heaping buckets of cigarettes into a fire pit and burning them. Wood and solid fuels are very similar in impacts (see https://woodsmokepollution.org/ and http://woodsmoke.3sc.net/news for further information).
717	HEATHERTON, VIC	No	people tend to have no respect to their neighbours these days, even a open fire bbq normally creates an excessive amount of smoke and smell, let alone a firepit
718	BRIDGEMAN DOWNS, QLD	No	It is unethical to purposely allow people to significantly pollute the air particularly as high density living is occurring now nearly everywhere. Smoke is a known danger to our health, and putting any onus on victims to then report smoke whilst suffering from the harmful affects is negligent of council responsibility of peoples safety and health and also the environment. Research shows many people don't know how dangerous smoke is from fire pits so rather than following and allowing a trend use this to educate people why you won't be allowing it. Make a positive change.
719	MENTONE, VIC	No	Health and well-being is negatively impacted. Amenity is negatively impacted. Smoke from fire-pits causes problems for asthma and allergies/sensitivities. EPA:The biggest health threat from smoke is from fine particles. These microscopic particles can penetrate deep into your lungs. They can cause a range of health problems, from burning eyes and a runny nose to aggravated chronic heart and lung diseases. Exposure to particle pollution is even linked to premature death.
720	CHELSEA, VIC	No	Smoke affecting neighbours.
721	BRUNSWICK WEST, VIC	No	It's a serious health concern for people in the community. Especially those with disabilities allergy respiratory illness. Causing hospital trips and illness. There is no safe level of smoke. This makes people unsafe in their own homes if their neighborhood is full of smoke.
722	MENTONE, VIC	No	Because they are hazardous to human health and the environment and not appropriate in a suburban setting. They are also a fire risk and the smell affects washing on the line.
723	MCKINNON, VIC	No	My No daughters go to school in Kingston, and visit friends there and play sports there after hours. Fire pit smoke is highly hazardous to health of the user and the neighbourhood. We suffer terribly in Glen Eira where we live, when neighbours light up their fire pits - it happens even though they require a permit. One fire pit emits the equivalent smoke emissions of Yes00s of cigarettes. People next to fire pits suffer in silence so as not to upset neighbour relations, and councils do not do enough to help. If you allow fire pits to be used freely you are opening up a Pandora's box of woes and ills on the community. It is a regressive step. Council should be running a major health campaign on why burning wood in wood heaters and fire pits is harmful to health and the environment- this should not be left to public opinion. Thank you, I will also submit a more detailed objection via email.
724	GLEN IRIS, VIC	No	The effect on neighbours is extreme. We stopped incinerators decades ago. Lets not go back to polluted smelly suburbs.

Fire Pit Consultation – Email Submissions

Submission 1

I have completed the survey, but I didn't add those additional articles which give weight to my concerns, because I thought perhaps that including URLs might consign my response to the spam folder!

Feel free to share my feedback and identify me if you want to.

What I am really concerned to see, is that council reconsider the wisdom of surveying constituents on matters like this which should be decided on the basis of expert scientific and medical advice rather than a popular vote.

In my opinion, since nothing has changed since the ban was implemented except the fashion, the correct response to any representations for change to existing restrictions on these firepits, would have been for council to mount an education campaign about why burning wood fires is bad for health and the environment and creating unnecessary additional carbon emissions, and also to make representations to Bunnings about the inappropriateness of selling and promoting a harmful product. They are, I realise, legally allowed to sell them, but it's not the action of a good corporate citizen.

I am keeping my fingers crossed that common sense will prevail.

Hello Jenna, and belated congratulations on your election as our rep for Wattle Ward ☺

I am contacting you about the KCC survey for fire pits, because I am puzzled as to why council is even running a survey about it. It's misplaced 'democracy' when the case against these things is so clear, and the only thing that's changed since council wisely banned them is that they're fashionable. This issue — like wearing seatbelts or C-19 masks or compulsory pool gates — is not one that should be decided by consultation or pressure from a small minority or popular vote. It is not in the public interest of the community to reverse the existing policy.

I would be grateful if you could read the following brief article about the health hazards that burning wood in fire pits causes. This affects anyone like me with asthma and also permanent lung damage which results from a bout of pleurisy and pneumonia in the 1980s. It applies to all the people covered by health warnings to stay indoors on days of air pollution. Melbourne has one of the worst asthma rates in the world, as I'm sure you already know.

<https://www.smh.com.au/national/nsw/wood-fire-heaters-the-hidden-killer-20140627-zsop8.html>

The article is about Sydney, but the situation is actually worse here in Melbourne because of our 'pudding-basin' topography. When we get those still, cloudy days, we get an inversion effect, where the fine ash particles cannot rise into the atmosphere. So they cause smog which lasts until there's a strong wind change to blow them away. For me, that means severe pain deep in my lungs until the weather changes. You can confirm this air pollution effect with the Bureau of Meteorology, who were advising that they should be banned in Melbourne, way back before my retirement when I did a week long BoM course about weather forecasting and the impacts of weather on health and wellbeing.

But fire pits and wood stoves are not just a health hazard. They are a major pollutant and contributor to climate change, and for this reason there is a worldwide movement to replace them with fuels that contribute less to carbon emissions. See this article, at the BBC:

<https://www.bbc.com/news/uk-51581817>

It is going to be a long uphill battle to get trendy log fires banned indoors, but we should not make things worse by adding to the problem. Bunnings should not be selling or promoting fire pits, and Kingston Council should not reverse the existing ban on them.

I look forward to your response,

Submission 2

As a rate paying resident I believe I should be allowed to have a small/ safe fire in my own backyard for recreational purposes. Personally I would keep it small and adhere to all safety recommendations

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Submission 3

Consultation looks at changing laws to allow fire pits in Kingston

Any form of heating outside such as pit fires & gas powered heating for homes, hotel outdoor dining / drinking areas are BAD.

Burning timber or other fuel will HELP GLOBAL WARMING INCREASE.

Do we need more global warming?

I don't think so.

Submission 4

I live in the City of Monash and so not in the City of Kingston, but as someone who has been adversely affected by smoke from a wood heater for the last six years, I do not think any wood burning should be allowed in congested urban areas. While the vast majority of citizens respect the rights of their neighbours to breathe in fresh air, a few do not. If you legalize fire pits you will give a small minority of residents the right to pollute the air for the vast majority, and this majority will complain to Council about poor air quality.

In addition, at a time when we are meant to be moving from the burning of fossil fuels to renewables, surely the residents of Kingston should be installing solar panels on their roofs not building fire pits in their backyard. And, when City Councils throughout Australia are asked to reduce their carbon footprint in the future, an obvious place to start would be the banning of residential wood burning. If one Council allows fire pits and a future Council does not, fire pit owners may ask a future Council for compensation for money spent.

Council should resist the demands of a few residents and their noisy industry mates to allow fire pit fires. Council should go with the future and encourage solar, a healthy clean-air environment that will be good for our grandchildren.

Submission 5

I would like to provide my feedback on the proposal to allow fire pits in the City Of Kingston.

I understand that the Council is asking the community whether the relaxation and enjoyment of a firepit outweighs the health and environmental risks.

Firstly I would like to highlight the problem with the premise of this consultation.

How will Council weigh community preference versus the science? If more people submit that they like firepits and want to be able to use them – will this outweigh the likely smaller number of community members who have read the science and understand the risk to the health of the community and environment?

The role of governments is to promote the public good. In this case there is a low level of public understanding of particle pollution. The premise of this consultation can be likened to a Council asking if people wish to smoke in buildings in the 1950s. Most people would have agreed to such a proposal, because they like smoking, find it relaxing and enjoyable.

The difference between now and then is that the science on particle pollution is clear – but unfortunately this significant health harm is yet to be subject of a widespread public health campaign. Though Asthma Australia have recently called for such a campaign. <https://asthma.org.au/about-us/media/now-is-the-time-to-get-airsmart-australia/>

This limited information about the health harms has allowed retailers and manufacturers of wood burning appliances (such as fire pits, wood heaters, smokers, wood fired pizza ovens etc) to exploit this ignorance and market their products as relaxing and enjoyable with no mention of the health harms.

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Wood smoke comprises particles so fine (PM2.5) that they can penetrate the lungs and enter the blood stream and cause system-wide inflammation. Wood smoke is associated with serious illness including lung cancer, heart disease, stroke, asthma and dementia. The science is very clear and irrefutable. [Multiple studies](#) have shown that wood smoke exposure reduces life expectancy. Pregnant women, children and people with pre-existing conditions are particularly vulnerable.

<https://asthma.org.au/about-us/media/dont-underestimate-the-health-dangers-of-wood-smoke/>

<https://pubmed.ncbi.nlm.nih.gov/32392847/>

With ever increasing urban density – if Council were to give the green light to firepits – many more people will be subject to the smoke from neighbouring backyards. There will be no practical way to avoid the smoke and the enjoyment of one set of neighbours will be at the expense of much more basic enjoyment of being in your backyard without breathing smoke, being able to open your windows for fresh air.

It would also be troubling as to the message - allowing of firepits would send to the community. The Council would do better to follow the lead of Darebin Council in advocating to the Victorian government to phase out wood heaters and educate the community about particle pollution, or look to Camden Council in London who are running a campaign to educate their community about the health harms. <https://www.camden.gov.uk/wood-burning-stoves>

Any number of respiratory health specialists would support any initiatives by Local Councils to educate their community – including the Victorian AMA president [who recently called for wood heaters to be phased out](#).

Local Councils should be working with state government to improve our air quality.

I implore Kingston Council to weigh the decision on firepits on the basis of public good and the science and not on populist politics based on ignorance.

Submission 6

I would like to give you our perspective on firepits.

We live at [REDACTED]. New rental neighbours over our diagonal back fence who arrived five months ago at [REDACTED] enjoy partying every Friday, Saturday and Sunday nights, sometimes until 3 or 4 am.

They always have a fire pit and due to them being a rear residence, the smoke can blow directly into our house, most notably in the upstairs bedroom where our children sleep. The black residue from the fire is evident on the windows and I am sure of this as I have been up there painting windows this week. This becomes a health issue for our family. The smell of smoke drifts through our house and I find it to be unacceptable.

For the occasional party, I think they are fine, however, when they become part of a regular weekly activity it is not fair to other residents.

I am happy to discuss this email if the need be

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Submission 7

It has been a year of increased air pollution in our neighbourhoods with people at home burning wood fires through COVID lockdown 2020. There is nothing good about being on the receiving end of smoke from a wood fire. Having to keep doors and windows tightly shut, and not being able to sit outside because of smoke is the very opposite of relaxing.

The dangers of smoke (small particle pollution) to lung, heart and brain health are so well documented that no-one should be thinking it is okay to fill the neighbourhood and next-door-neighbour's house with smoke from their backyard firepit. We have an already existing community health challenge with the air pollution generated by smoke emissions from domestic wood heaters, wood-fired BBQs and pizza ovens without adding firepits to this mix. Daily breathing in smoke that seeps into our homes and fills our streets and parks should be a cause of concern for all of us. The list of those particularly vulnerable to smoke exposure is extensive and includes babies, young children, pregnant women, the elderly, those with allergies, asthma, cystic fibrosis, emphysema, diabetes, heart disease, a family history of dementia, rheumatoid arthritis, multiple sclerosis, ME/CFS and cancer - clearly, a substantial percentage of our population. I have asthma and an auto-immune illness made much worse with smoke exposure.

Darebin Council recently unanimously voted to reduce the use of wood fires and wood smoke pollution in Darebin via a range of actions. Kingston Council has also shown a commitment to community health by banning cigarette smoke from parks, beaches, schools and major shopping precincts. I implore Kingston Council to continue along this growing projection towards protecting and promoting clean air for all. The importance of clean air, clean food and clean water, as foundations for good health, cannot be overstated. It is not an exaggeration to say that smoke and chronic smoke exposure ruins lives. Many years ago, suburban incinerators were banned. It would be a retrograde step to reintroduce completely unnecessary fires.

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Submission 8

SUBMISSION, OBJECTION TO:

Kingston Council Community Local Law change Allowing Fire Pits:

Consolidated Community Local Law (Community Local Law – Adopted by Council 24 August 2015 and Community (Amendment) Local Law No. 1 - Adopted by Council 19 September 2016) and Community (Amendment) Local Law No. 2 – Adopted by Council 11/12/17) 17/150995 Page 45

RELEVANT Clause 210 in YELLOW:

PART 9 - FIRE

Lighting Fires in the Open & Incinerators

204. A person must not, without a *permit*, light, allow to be lit or remain alight a fire in the open air.

Penalty: 10 penalty units

205. A person must not leave any fire burning in the open air unattended.

Penalty: 10 penalty units

206. *Council* may only grant a *permit* to burn within the area designated rural, industrial or commercial under the Kingston Planning Scheme for the purpose of fuel reduction, regeneration of indigenous plants, eradication of prohibited weeds or diseased plants or for any other purpose *Council* sees fit.

207. *Council* may issue a *permit* for the purpose of cooking for cultural activities or for the purpose of enabling religious observance.

208. A person must not light or allow to be lit or remain alight a fire in the open air that causes a nuisance by odour, smell, smoke or any other means.

Penalty: 5 penalty units

209. Clauses 204 and 205 do not apply to a barbecue while being used for the purpose of cooking food for human consumption.

210. A person must not light or allow to be lit or remain alight a fire in any incinerator or other structure used for the purpose of burning solid fuel materials to create heat outdoors.

Penalty: 5 penalty units

211. A person must not construct, erect, install, use or allow to be constructed, erected, installed or use an incinerator on any *land* or allow any incinerator to remain on any *land*.

Penalty: 5 penalty units

212. A person must not, on any *road*, light or allow to be lit or remain alight any fire, unless that person is an officer or employee or authorised contractor of a public body and engaged in an activity for or on behalf of that public body.

Penalty: 10 penalty units

213. A person must not light or allow to be lit or remain alight a fire in the open air or in a barbecue that causes a hazard to any person, property or vegetation.

Penalty: 10 penalty units

214. Clauses 210 and 211 do not apply in respect of any incinerator which is the subject of a planning permit.

215. A person must not burn or cause or allow to burn any offensive or toxic material or matter, substance or materials consistent with rubber, plastic, oil or oil waste, petrol waste, paint, chemicals, food waste, pressured can, textile fabric, faecal matter or any offensive or noxious matter.

Penalty: 10 penalty units

Barbecue

216. A person must not construct or re-construct or allow or cause to be constructed or re-constructed any solid fuel barbecue within three metres of any fence or structure (whether fixed or portable) or within three metres of any overhanging tree or foliage.

Penalty: 5 penalty units

217. A person must not light or allow to be lit or remain alight any barbecue in the open air that causes a nuisance by odour, smoke or any other means.

Penalty: 5 penalty units

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218. A person must not light or allow to be lit or remain alight any fire in a barbecue for purposes other than cooking food for human consumption.

Penalty: 5 penalty units

Directive Powers

219. An *Authorised Officer* or an officer of the Country Fire Authority, Metropolitan Fire Brigade or Victoria Police may direct the *owner* or *occupier* or person in charge of any *land* on which a fire is alight in the open air contrary to any provision of this Local Law to immediately extinguish the fire.

220. An *owner* or *occupier* or person in charge of *land* must comply with a direction under clause 219.

Penalty: 5 penalty units

221. If any person fails to extinguish a fire when directed to do so by an *Authorised Officer* such *Authorised Officer* may extinguish or cause to be extinguished such fire.

222. An *Authorised Officer* may extinguish or cause to be extinguished a fire left unattended in the open air.

My objection to this change to the Current Local Law 210 is borne of my own personal experience and that of my family and friends, of the effects of wood and other solid fuel combustion smoke that exists in the ambient air of Glen Eira City & surrounds. My 2 daughters attend school in Kingston; we visit friends in Kingston and participate in community activities in Kingston.

Autumn and winter levels of wood smoke are already at uncomfortable, unhealthy and irritating levels; this law change will only serve to increase the burden of smoke in our air. The right to clean air is a basic human right, just as is the access to clean water. Given the now world-wide, accepted, reputable, documented knowledge of the impacts of wood smoke on health, and through submissions such as this one, highlighting how regressive and out-of-step with science and health data as well as the ignored EPA Victoria stance on wood smoke, etc – Kingston Council is conceivably setting itself up for possible future legal consequences.

The impacts of a neighbour's fire pit and wood heaters in our suburbs has compelled me to speak out for other suffering members of our community, and I was featured in this article in The Age this year – please not the AMA is calling for action on wood heaters in relation to health harms of woodsmoke – the same logic applies to firepits:

<https://www.theage.com.au/national/victoria/ama-fires-up-over-wood-heater-buy-back-scheme-20200611-p5528k.html>

In November 2019 myself and other community members successfully submitted objections to a similar Local Law change proposal on outdoor open fires in Glen Eira City – the law change was prevented and conditions were strengthened as a result. Kingston Council would be going against this precedent if it were to proceed with this law change to allow fire pits. I have included arguments made at the Glen Eira review as they pertain to this similar law review in Kingston:

ISSUE of CONSULTATION WITH COMMUNITY & Environmental, Health & Scientific Bodies:

Kingston Mayor Steve Staikos said that Council has an open mind on the question and that councillors are eager to understand if the community supports this change. "We want to know your thoughts on the potential environmental and health impacts of fire pits, we also want to know if the relaxation and enjoyment warrants the proposed change."

The Council is seeking to change a critically protective law, negligently without consulting environmental and scientific bodies such as the EPA Victoria and medical specialists.

Residents who wish to gather and socialise have access to cleaner and cheaper options of recreational heating, such as gas heating for outdoor warmth. But the allowing of wood/solid fuel burning in the open air deprives all residents of the basic access to clean air; a smoke-filled environment discriminates against and deprives the many vulnerable (young, elderly, ill, asthmatics etc) members of our community from socialising in the outdoors; many of these people are forced indoors to prevent adverse effects of a smoke-filled environment.

Historically, as per the Current Local Law and neighbouring Council laws, smoke was and is seen as a detriment to community amenity and a nuisance. By Council now deciding to allow lighting of fires and the resulting smoke, is ignoring this acknowledged wisdom.

As a result of Glen Eira Council's lack of consultation (as is with Kingston) with the most relevant authority related to this law – EPA Victoria, whose role it is to use science to protect the environment and human health, I contacted the

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EPA's Chief Environmental Scientist, eminently qualified in her field, Assoc Prof Dr Andrea Hinwood to make a submission regarding this Proposed Law – this was her response:

Good afternoon [REDACTED]

Thank you for your correspondence of 16 July 2019 regarding your concerns for changes to local laws in the Glen Eira City regarding lighting fires in backyards.

The impacts that smoke can have on air quality, human health and livability in the community is an important issue. I thank you for sharing your concerns regarding the proposal to change Glen Eira City's Local Laws to permit the lighting of fires for chimineas, braziers, and smaller standard fire pits.

Environment Protection Authority Victoria (EPA) is responsible for the regulation, monitoring, assessment and reporting of air pollution across the state of Victoria. This includes working closely with all local councils, industry and community on matters related to pollution and waste.

EPA has an advisory role to councils on matters relating to air quality and provides advice regarding the impacts of [smoke on health](#). EPA also provides general advice regarding [wood burning and air quality](#) and [smoke from woodheaters](#). EPA encourages all persons to familiarize themselves with this advice to reduce the potential impacts from smoke.

I would also like to take this opportunity to draw your attention to section 38(3) of the proposed local laws, which provide a clause to reduce impacts on the amenity. The proposed local laws state: *A person must not allow any Barbecue or fire pit, brazier or chiminea on any private land in a Residential Area to discharge any dust, grit, ash, smoke effluvium, substance or odour that constitutes a nuisance or is an unreasonable interference with the amenity of any other person.*

Should the local laws be endorsed, smoke from these fires would come under the investigation by local government. In this case Glen Eira Council would be responsible for investigating any smoke from these fires that impacted other residents.

Following your correspondence, I have asked my colleagues to arrange a meeting with Glen Eira City to discuss how to manage the potential impacts from smoke.

Thank you again for contacting me on this important matter, I trust this response has assisted to address your concerns.

Regards

Andrea Hinwood

Executive Director - Applied Science & Chief Environmental Scientist

Environment Protection Authority Victoria

200 Victoria Street, Carlton VIC 3053 | GPO Box 4395, Melbourne VIC 3001 | DX 210082

As a result of my request, EPA Principal Air Quality Specialist Dr Paul Torre met with key Local Law Review figures in Glen Eira Council and advised against the changes due to the impacts to health and environment of wood burning – this advice would similarly apply to Kingston. It would be remiss of Council to not speak with Dr Torre ahead of any changes to the local law.

Also as a result of my invitation to speak on our submissions in Glen Eira Council Chambers the following eminent medical/scientific members of the community spoke of the hazards of PM2.5 emissions in woodsmoke, and why it is a regressive move to allow open fires burning :

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Associate Professor Lou Irving (Associate Professor Lou Irving is a Respiratory Physician at the Peter MacCallum Cancer Centre, the Director of Respiratory and Sleep Medicine and Director of Clinical Training at the Royal Melbourne Hospital. In addition to his medical appointments, he holds two principal fellowships at The University of Melbourne, one in the Faculty of Medicine, and the other in the Department of Physiology. Associate Professor Irving has clinical, teaching and research interests in lung cancer, advanced bronchoscopy and COPD and has published over 100 scientific papers

And

Ms Clare Walter: PhD Candidate (School of Public Health, UQ) & honorary research fellow (University of Melbourne) investigating the impact epidemiological evidence related to air pollution health impacts has made on Australian policy. Co-founder of 'IdleOff Australia', co-chair of the Health SIG of CASANZ, guest lecturer at the University of Melbourne, member of the Climate & Energy College (UoM), the Thoracic Society of Australia & New Zealand & the Public Health Association of Australia.

Their verbal submissions to Glen Eira Council equally apply to Kingston.

In the Glen Eira Local Law Review Have Your Say document:

In the Proposed Community Local Law – Community Impact Statement page 56
<https://www.haveyoursaygleneira.com.au/44186/documents/106954>

Appendix 1 – Assessment of Local Law Provisions - Part 7 - Safety and Amenity & Part 12 Your Property

1 (a)	Part Number(s) and Title(s)	PART 7 - SAFETY AND AMENITY & PART 12 YOUR PROPERTY
2.	Identify the Problem(s)	<p>These clauses addresses:</p> <ul style="list-style-type: none"> incinerators in a residential area; fire hazards; and the amenity impacts on the local community of fire and smoke. <p>Unregulated burning activities can cause potential safety and nuisance issues, particularly in residential areas where it can lead to a significant reduction in local air quality and community amenity.</p>

There is Council acknowledgement in this document section that there are *amenity impacts from allowing of fire and smoke – and unregulated are a cause for potential safety, nuisance, and reduced air quality and amenity*. I argue that once allowed, open air burning regulation becomes virtually impossible esp as most activities happen on weekends or evenings when Civic Compliance Officers are not on duty, and so the activity goes on unchecked causing grievance to the community.

Similar to Kingston Council, Glen Eira Council felt that allowing fire pits would enhance community health and wellbeing:

3.	Relating the Problem to Council policy objectives: Identifying if it is a Council problem	This is a Council problem because it supports theme three (3) of the Council and Community Plan 2017–2021. Safe, healthy and inclusive - A strong and safe community that connects people and enhances health and wellbeing.
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However allowing residents to burn wood in their backyards in order to satisfy the Council's objective for a safe, healthy inclusive community is completely discreditable. The link between these is tenuous and the attitude is archaic. The Council is utterly out of step with current medical and scientific advice (see Dr Andrea

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Hinwood's fact sheet links). Upon questioning Bruce Allen and Michael O'Connor at the Glen Eira drop-in sessions, I discovered this claim is being made with no data to back up the claim, but rather a general anecdotal approach.

In contrast, there are numerous, conclusive medical and scientific data papers available, from over 20 years of Australian research matching all international research on this subject, that there is **NO SAFE LEVEL OF WOOD SMOKE** (all data parallels the damage done by tobacco smoke). I will not quote statistics nor scientific papers – they are too numerous to list and all available for easy access via internet research.

At a recent air pollution forum I raised this issue with Associate Professor Lou Irving (Associate Professor Lou Irving is a Respiratory Physician at the Peter MacCallum Cancer Centre, the Director of Respiratory and Sleep Medicine and Director of Clinical Training at the Royal Melbourne Hospital. In addition to his medical appointments, he holds two principal fellowships at The University of Melbourne, one in the Faculty of Medicine, and the other in the Department of Physiology. Associate Professor Irving has clinical, teaching and research interests in lung cancer, advanced bronchoscopy and COPD and has published over 100 scientific papers,.... He gave a presentation on the Health Impacts of Air Pollution, including wood smoke. I had the opportunity to ask Prof Irving what he thought about Council advocating for open fires in order to build connected communities, he answered very wisely and simply: "people can use outdoor gas heaters".

During the 2019 Glen Eira Local Law review I asked the Team leader of Civic Compliance Bruce Allen and The Local Law Review legal consultant, Michael O'Connor the following 10 questions written and advised to me by Bronya Lipski, lawyer with Environmental Justice Australia:

Their answers revealed that no consideration was given in this review of the detrimental health impacts that residents would be exposed to by freeing up the laws on open fires. The consultation was either nonexistent or completely inadequate, I suggest the same applies to Kingston Council:

1. Does Council understand the extent to which exposure to wood smoke is health hazard?

Response: no reports were consulted; simply that the local law was modelled on the existing law of the past 10 years

2. Has Council conducted research into the health impacts from wood smoke?

Response: not aware of any health impacts

3. Does Council intend to implement air quality monitoring to determine whether ambient air standards will be breached?

Response: not aware of any such proposals

4. Has Council consulted with EPA Victoria on the health impacts of exposure to wood smoke and monitoring ambient air quality? Does Council intend to consult with EPA Victoria on the health impacts of wood smoke and monitoring ambient air quality?

EPA was NOT consulted; only the MFB was consulted and air quality was not touched upon, they were simply asked if there were any local area issues that were of concern to the MFB, whose response was that there were no areas of concern

5. Why are fire pits included in the list of exemptions from permits at clause 38(2)(b)?

Response: that it is an activity that is already undertaken by residents and as long as it is not a nuisance, no permit is required.

(This is revealing; the only effective reason for the inclusion of fire pits is that residents are currently already breaking the law, and therefore to simplify matters, and reduce the burden of enforcement, the Council will remove the law rather than take on the burden of enforcement).

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6. How does Council intend to monitor and enforce proposed clause 38(3) to ensure that no nuisance or unreasonable interference with the amenity of any other person?

Response: by responding to complaints

When asked by myself, how would the council deal with these complaints when most occur after 5pm and weekends:

Response: asking the complainant to keep a log.

This once again proves that Council's proposed law will be no better at managing adverse environmental impacts than the current law which requires the same long term solution of log-keeping. But instead, by this law increasing the number of open fires in the community will increase the burden of complaints from residents on Council Civic Compliance.

7. Does Council intend to introduce standards and obligations for the burning practices and types of materials burned in fire pits, braziers or chimineas?

Response: Not detailed in Local Law

When further questioned on this, was advised that the Local Laws are a flexible mechanism and can be changed as issues arise. Therefore, there are no control mechanisms for what is to be allowed to be burned.

8. How does Council intend to ensure the protection of public health from material burnt in fire pits, braziers or chimineas that should be prohibited, such as plastics, household wastes, painted timber, etc?

Response: Bruce Allen stated that the word "effluvium" in clause 38(3) covered this aspect.

I argued that this was incorrect as Effluvium simply means: "an unpleasant or harmful odour or discharge" and is NOT related to the nature of the material being burnt.

This is an utterly inadequate and negligent clause; it allows the lighting of open fires without specifying any guidelines/prohibitions on materials being burnt.

Bruce Allen, upon consulting Kingston Council Law, suggested they could adopt similar exclusion clause therein (215), which has more detailed specifications of items prohibited from being burnt.

This is revealing of how inadequate the review of this Local Law has been and how important the decisions and laws are as precedents to other councils.

9. Will Council maintain a register of complaints from community members exposed to wood smoke from fire pits, braziers or chimineas?

Response: Council maintains records of all complaints.

10. Will Council ensure that strong enforcement action is taken against those who violate draft clause 38?

Response: there is a hierarchy of responses:

1. Education
 2. Informal warnings/written warnings/infringements
 3. Prosecution
- Depending on harm caused and severity

My family's personal experience of enforcement by Civic Compliance Unit is that they are prepared to allow a case such as ours (neighbours burning construction waste 3-4 times/per week) to last 2.5 years, such is the lack of will to prosecute or take firm action.

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Glen Eira Council cited this as a measure of success in their consultation process:

5.	Measuring success	Fewer complaints. Less damage.
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The measure of success will be "fewer complaints and less damage".

Is this a why Kingston Council is pursuing a change in the law?

I believe this law change will increase complaints, pitting neighbours against each other :

Clause 215. A person must not burn or cause or allow to burn any offensive or toxic material or matter, substance or materials consistent with rubber, plastic, oil or oil waste, petrol waste, paint, chemicals, food waste, pressured can, textile fabric, faecal matter or any offensive or noxious matter.

How will neighbours prove that people are burning inappropriate material?? How will Kingston protect residents from this practice which we know too well happens in fire pits.

The burden of proof is too heavy or simply impossible and therefore too difficult to enforce. However a complete prohibition is clear-cut and reduces the burden of proof, thereby reducing complaints and causing less damage to resident health.

Glen Eira Council acknowledged – and so therefore should Kingston Council that:

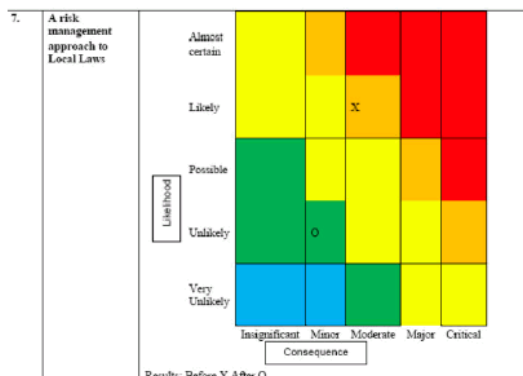
6.	Identifying existing legislative provisions that may be overlapped by a Local Law	This Local Law may intersect with the <i>Public Health and Wellbeing Act 2008</i> and the <i>Environment Protection Act 1970</i> . The objectives of the <i>Environment Protection Act 1970</i> are supported by the controls in the proposed Community Local Law in relation to a range of activities with adverse environmental impacts. The <i>Public Health and Wellbeing Act 1970</i> does not provide the ability to intervene promptly to support immediate abatement of situations, such as nuisance issues, where there may be risks to public health.
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In relation to section 6 above, I argue that the controls in the proposed Community Law in relation to the council-acknowledged "adverse environmental impacts" are not able to provide the ability to promptly intervene and support immediate abatement of such nuisance issues, where there may be risks to public health. The Council has absolutely no evidence that they are better capable of managing the impacts by the law change. I was involved personally in a 2.5 year case with the Glen Eira Civic Compliance Unit, against neighbours who were unlawfully using a fire pit, burning with dirty, untreated wood/ex-construction material, at a minimum 3-4 nights/week. The Council proved that at every stage of the case they were unable to abate the nuisance, and prevent adverse health impacts to our family. This was the case even with numerous evidential documentation provided to the Council. So by opening up the Local law to allow burning of fires in the open air, Council will only be increasing the likelihood of complaints and increase the burden on the community and the Council itself.

How will Kingston manage risk in relation to this proposed Local Law?

In their consultation process, Glen Eira Council made this case:

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I utterly condemned this risk management graphic as meaningless due to lack of information and data. By assessing risk from the one extreme of “no law” to the other extreme of the “Proposed law”, we have been given no useful data. The appropriate comparison should be from “current law” to ‘proposed law’, to be a meaningful assessment. Clearly this would not be favourable to the law change, as any law that allows a risky activity to be allowed when it was once prohibited, will show the opposite result. This was a **misleading graphic, which I asked to be retracted**. Kingston Council needs to consider the risks of introducing such a law change.

Glen Eira Council also found:

8.	Considering and deciding on different Local Law approaches	Council considers that the environmental, amenity, safety and asset protection issues associated with unregulated lighting fires require a medium impact regulatory approach. The Local Law obligations will create a material impact that is proportional to the potential harms. Council considers it is in the local community interest that this level of control is placed over Council Land and assets.
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Once again the Council reveals a lack of knowledge of the true impacts of this Proposed Law change. The increased lighting of fires will directly contribute to increased levels of smoke in our air and the known adverse health, safety and wellbeing impacts as stated elsewhere in this submission.

And:

9.	The least burden / greatest advantage test for Local Laws	Council considers that the local community would want problems prevented or solved as quickly as possible and with the least cost and risk to all concerned. A Local Law provides for quick resolution of the problem. State Legislation is not adequate for the management of such issues.
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Yet again we see here, statements which contradict the true outcomes of this proposed law change. There is no logical possibility that encouraging lighting of open fires would prevent problems; help solve problems as quickly with least cost as possible, any more than the state law. This statement is made without reasoning data or evidence.

Glen Eira Council found this on the question of penalties:

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10.	Considering and deciding on penalties	In order to reflect Council's responsibility for the health and wellbeing of the community, protection of Council assets and infrastructure and the importance of deterrence, it is considered reasonable to incur a reasonable penalty.			
		Clause	Infringement Penalty Units:		Comment
			Current	Proposed	
		38	2.5	2.5	No increase in the level of the penalty for this offence. All of the adjoining municipalities have similar offences which attract penalties in the range of 2 to 5 penalty units. The proposed penalty is within the range of the penalties imposed by adjoining municipalities.

Considering the seriousness of the impacts of breaches of :

Clause 208. A person must not light or allow to be lit or remain alight a fire in the open air that causes a nuisance by odour, smell, smoke or any other means.

Penalty: 5 penalty units

on health and wellbeing of community– and our family's past experience of the utter inadequacy of penalty units as a deterrent, how will Kingston manage Clause 208?

The nuisance of odour, smell and smoke etc WILL INCREASE as a result of allowing fire pits.

Unfortunately, I know from my family's own experience in Glen Eira that even an extreme case of lighting fires law-breaking, spanning 2.5 years of complaints, with all possible written and video/photographic evidence provided, all "I's and T's crossed for the purposes of a future court case", (quote from Civic Compliance Team Leader Bruce Allen), and many others I have been in contact with as part of my Air Quality advocacy work, Councils and its Civic Compliance Units have no will to provide strong enforcement and will avoid prosecution at all costs, despite the damage inflicted on innocent parties subjected to adverse environmental impacts, loss of amenity, comfort and peace.

12.	Review with consideration to Neighbouring Councils	Clause	Similar clause in adjoining Council:				
			Bayside	Kingston	City of Port Phillip	Monash	Stonnington
		38	Yes	Yes	Yes	Yes	Yes
		39	Yes	Yes	Yes	Yes	Yes
		66	Yes	No	No	Yes	Yes

Kingston Council's opening up the option of allowing fire pits sets a precedent for other Councils as can be seen by this table. Councils DO look to what other councils are doing to make their decisions on Local Laws.

In Glen Eira Council's case this comparison of neighbouring councils was the most scandalous in its inadequacy of comparison; the comparison is so meaningless and such a stretch of logic, deeming it misleading, especially when the intent of their review was to make the "laws easier to understand and more user-friendly".

To make positive correlations between these 5 five councils, by stating they are "similar" because they all have a form of "fire control" is completely unacceptable.

Any fair and reasonable person would read this table on face value and say that all 5 councils *allow the lighting of open fires*, and therefore are similar, when in fact the MAJORITY i.e. 3 OUT OF 5 COUNCILS LISTED HERE CONTINUE TO PROHIBIT LIGHTING OF OPEN FIRES, revealing that this **Proposed law change is completely**

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out-of-step with at least 4 (Booroondara included) known Neighbouring Councils who continue to prohibit lighting of open fires - except for cooking etc:

In fact, I found this comparison so unacceptable, I contacted the Victorian Ombudsman at 2.01pm Monday 15th July 2019 and had a 30 mins discussion with “Sam”, who advised that I may submit a request to Council for an apology, and/or retraction of the section.

I here wish to request this apology, and/or retraction of the section 12 of table above, at this point in the submission.

In my submission to Glen Eira's proposed law change I used Kingston as a beacon of care for their community in its position on lighting fires – Kingston risks losing this position in regards to its standing on the health , science and environment.

I stated that: Glen Eira City Council needs to abolish the Proposed Law change and keep in line with the Following Neighbouring Councils:

**A) KINGSTON COUNCIL STRICTLY PROHIBITS LIGHTING OF FIRES
via 19 SEPARATE LAWS on LIGHTING FIRES: 204-222 inclusive:**

HIGHLIGHTING 4 of these laws here:

Lighting Fires in the Open & Incinerators

204. A person must not, without a *permit*, light, allow to be lit or remain alight a fire in the open air.

Penalty: 10 penalty units

210. A person must not light or allow to be lit or remain alight a fire in any incinerator or other structure used for the purpose of burning solid fuel materials to create heat outdoors.

Penalty: 5 penalty units

215. A person must not burn or cause or allow to burn any offensive or toxic material or matter, substance or materials consistent with rubber, plastic, oil or oil waste, petrol waste, paint, chemicals, food waste, pressured can, textile fabric, faecal matter or any offensive or noxious matter.

Penalty: 10 penalty units

218. A person must not light or allow to be lit or remain alight any fire in a barbecue for purposes other than cooking food for human consumption.

Penalty: 5 penalty units

**B) STONNINGTON COUNCIL PROHIBITION OF LIGHTING OPEN FIRES:
Additionally extends OFFENCES TO NUISANCES CAUSED BY BBQ AND CHIMNEYS:**

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The *City of Stonnington General Local Law 2018 (No. 1)*

147. Incinerators and Fires

(3) A person must not set alight or allow any Fire to remain alight on land or in the open air without a Permit.

(4) Sub-clause (1) does not apply if:

(a) that person is a person authorised by a Public Body engaged in fire protection measures for or on behalf of that Public Body; or

(b) the Fire is in a Barbecue.

(5) An owner, occupier or person in charge of land must not allow a Barbecue to discharge ash or smoke that is dangerous to health or offensive to any other person.

Barbecue (BBQ)

An owner, occupier or person in charge of land must not allow a Barbecue to discharge ashes or smoke to the extent that the discharged ashes or smoke is dangerous to the health or offensive to any other person.

Chimneys

The owner and occupier of any land must not knowingly allow or suffer smoke to be emitted from a Chimney that is a nuisance.

C) CITY OF PORT PHILLIP COUNCIL PROHIBITION OF LIGHTING OPEN FIRES:

58. Incinerators, fires and open air burning

Open air fires / incinerators not to be lit

(1) A person must not light or allow any fire to be lit in the open air or in an *incinerator* on any *land*.

Penalty: 10 penalty units

Barbecues excepted

D) ADDITIONALLY, CITY OF BOOROONDARA COUNCIL PROHIBITION OF LIGHTING OPEN FIRES:

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42. Open Air Burning and Incinerators

- 42.1. A person must not burn or cause to burn or allow to burn any substance that is likely to cause a fire risk or to endanger health or which is offensive in any part of the municipality.
- 42.2. A person must not light a fire in the open air or allow a fire to be lit or remain alight unless the fire is lit:
- 42.2.1. in a purpose-built or constructed barbeque for the purpose of cooking food; or
- 42.2.2. in accordance with a permit.

Kingston Council should be strengthening its open fires laws not loosening them in the interests of public health. It is ironic for Kingston to boast about its wonderful new Smoke Free Zones which put Kingston at the forefront of public health and environment initiatives, but then regressively allow open air burning in fire pits which are hundreds of times more polluting than cigarettes:

In this in-house study by this US South Coast Air Quality Management District (South Coast AQMD) on Jul 12, 2013 they found the PM2.5 emission rate/minute of one fire pit, the second hand smoke from 800 cigarettes.

<http://www.aqmd.gov/docs/default-source/air-quality/special-monitoring-and-emissions-studies/beach-fire-monitoring/july-12-2013-staff-presentation.pdf>

Kingston needs to lead the way with a progressive health campaign that explains why the current law is so important especially during a respiratory pandemic when the health of our lungs is a priority. International and local research has found direct links to air pollution and COVID 19 rates:

Eg <https://www1.racgp.org.au/newsgp/clinical/air-pollution-may-have-increased-covid-19-deaths-b>

Woodsmoke is a major pollutant in our environment. Woodsmoke from wood heaters and bushfires causes illnesses and premature death to 1000s of people nationally every year – and fire pit use is on the rise adding to the air pollution burden:

<https://www.theage.com.au/national/victoria/we-can-t-keep-up-melbourne-lockdown-stokes-demand-for-firewood-20200724-p55fa8.html>

I have requested this provisional air emissions inventory data which is not yet publicly released, from Dr Paul Torre, EPA Victoria Air Quality Scientist

Table 1. Estimated sources of the amount of PM_{2.5} for the Port Phillip Air Quality Control Region are listed below.

Source	Annual emissions (tonne)	% of total
Industry	3477	34
Domestic wood heating	2744	27
Road transport	1547	15
Non road Transport	290	3
Commercial	153	1
Natural sources (sea salt)	405	4
Bushfires	1645	16

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Wood heaters alone make up an average of 27% of our air pollution in Melbourne, just a little less than all the emissions from industry – there are record sales of fire pits and firewood this year adding to this burden. Kingston needs to stem this tide not encourage it with a fire pits law that furthers this problem.

During Black Summer's bushfires 33 people lost their lives from the direct effects of fire – but the death toll from the smoke was much higher at 417 excess deaths and more than 1300 emergency hospital visits for asthma alone.

<https://www.smh.com.au/lifestyle/health-and-wellness/summer-s-bushfire-smoke-related-deaths-exposed-20200320-p54chr.html>

The health costs of woodsmoke just from wood heaters alone in Victoria is stated in the EPA Victoria Policy Impact Assessment (PIA) quantifies total health costs from PM emissions from the use of wood heaters in Victoria at over \$8 billion. This does not include the emissions from fire pits which add to this health cost burden.

<https://www.epa.vic.gov.au/about-epa/what-we-do/standards/variation-to-the-waste-management-policy-solid-fuel-heating>

The importance of education on health harms and the current law are vital as can be seen in the petition here in favour of allowing fire pits – it is not based on science or health considerations and misleads in relation to how penalties are issued by Kingston:

<https://www.change.org/p/kingston-council-remove-current-ban-on-fire-pits-in-kingston-council?redirect=false>

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Submission 9

Consultation looks at changing laws to allow fire pits in Kingston

Please accept my apologies for submitting this on Monday, rather than late on Friday. I thought it was important to draw your attention to the initiative by Maricopa County's to subsidize gas firepits to protect the health of their community - <http://cleanairmakemore.com/firepit/>

The option of allowing only gas fire pits avoids the potential and health impacts of fire pits, especially to neighbouring residents, while still permitting relaxation and enjoyment.

Fire Pits are a major source of PM2.5 pollution (the air pollutant responsible for more ill health and premature deaths than all other air pollutants together). Allowing wood-fuelled fire pits can have severe impacts on the health of people and lifestyle of people living nearby. It can bring on severe asthma attacks, or even heart attacks and strokes. Many people think that neighbours can protect themselves by closing windows, but this is untrue. PM2.5 are so small that they behave like gases. Just like the air we need to breathe, PM2.5 enter our homes even when all doors and windows are shut.

The best and safest option for the entire community is therefore to permit only gas-fuelled fire pits

Submission 10

I have lived in the City of Kingston my whole life and this winter the smoke from people using fire pits has been terrible. I have had embers from my neighbours fire pit landing on my car in my driveway a number of times. I spent 3 days in hospital with severe angina caused by fire pit smoke, myself and family members had to constantly take antihistamines/ventolin due to the effects of smoke, I had to have 4 Covid tests because of sore throats caused by smoke, a family member who was a front line health worker during the worst of Covid had to have 3 Covid tests and had to take time off work whilst waiting for results due to wood smoke, very stressful and unfair, my furniture curtains etc smelt of smoke. There were many times the smoke was so thick in my street I couldn't see the end of my street. This is no way to live, every person has the right to clean/safe air.

The council is not meeting the objectives of it's local laws-

2.3 Promote a physical and social environment free from hazards to health, in which the residents of the municipal district can enjoy a quality of life that meets the general expectations of the community.

2.4 Prevent and suppress nuisances which may adversely affect the enjoyment of life within the municipal district or the health, safety and welfare of people within the municipal district.

2.6 Regulating and controlling activities of people within the municipal district which may be dangerous, unsafe or detrimental to the quality of life of other people in, or the environment of the municipal district.

Scientific studies have shown burning wood smoke is not the harmless past time many people think it is. In fact it is as bad as cigarette smoke and contains many nasty chemicals carbon monoxide, nitrogen oxide (causes irritation of respiratory system), Benzene (cancer causing), Formaldehyde (cancer causing), Polyaromatic Carbon (cancer causing), PM2.5 which are tiny particles which get into the blood stream and can cause heart attacks, stroke, and irregular heart rhythms (epa.gov).

We used to think it was safe to smoke but now we know wood smoke can cause as much ill health and death as cigarette smoke. We only know the dangers of cigarette smoke because of education and it is up to you as a local council to educate people on the dangers of wood smoke. It is very hypocritical of council to consider changing the local law on firepits considering council recently banned smoking on all foreshore areas and reserves to help ensure the community is protected from passive smoking. A lot of the people in my area using fire pits have very young children and they are breathing in the dangerous/chemical filled smoke as their parents are not aware they are harming their childrens young lungs. I am sure none of these parents would allow a person to blow cigarette smoke in their child's face and yet they put them in harms way by having their young children around fire and wood smoke. It is

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up to council to educate the local community. Stop wasting time surveying the community on whether they want the fire pit ban lifted. It shouldn't even be up for discussion. Wood smoke from fire pits is bad for your health, environment and poses a fire risk.

Last summer a policeman was assaulted at Mordialloc beach, so very quickly drinking alcohol was banned on the beach. There was no community consultations/surveys asking would people like drinking banned from local beaches, it was just done to protect the community from drunks. It needs to be the same with firepits, the law needs to be kept in place and the community needs to be educated and told why.

We have speed limits and 40km zones around schools to protect children, drinking on beaches banned, smoking in places banned, pool and spa fences to protect children, fireworks were banned to protect children. It is up to Governments and Councils to put laws in place to protect the community, it is 2020 and we know through scientific research/evidence that wood smoke is bad for health, the environment and poses a fire threat. There are many people in the community who have health conditions asthma, heart conditions etc for whom wood smoke could mean death, it is up to council to have laws in place to protect the community. Tamsin commented at the Sept meeting that she supports the law being changed as long as firepits are used safely. Tamsin educate yourself there is no way to use a firepit safely as pointed out in this email wood smoke is deadly and you can't stop wood smoke drifting or bellowing into other peoples properties. A colleague of mine lost her 22 year old son a few years ago because he burnt treated pine pellets in his fire pit and developed a blood cancer and died within 12 months because he didn't know the dangers. I know that was treated pine but any type of wood smoke can cause heart, lung problems etc.

Research published in The Medical Journal of Australia found that smoke from the 2019/2020 bushfires was responsible for 417 deaths, 1124 cardiovascular hospital admissions, 2027 respiratory hospital admissions and 1305 asthma hospital admissions. Wood smoke has been scientifically proven to be deadly by many scientists around the world.

I am asking the local law be changed from a \$200 fine for using a firepit to a \$2000 fine as the lower fine is ignored and people continue to use their firepits putting peoples health and lives at risk and that local laws officers be employed

later than 4pm as it is on the weekends and in the evenings when people light firepits. Parking officers work on weekends and into the evening I don't see why perhaps in winter local laws officers can't do the same to ensure the safety of the community. People know the fine is only \$200 and the local laws officers

don't work after hours so basically they do what they like and use their fire pits. I have seen a neighbour get large branches from their nature strip put that on their fire pit and it bellowed smoke for hours all through my house even with my windows closed another neighbour lit his fire pit every afternoon at 3 o'clock. Many local councils have banned fire pits as they have educated themselves and realise the dangers of wood smoke, I ask you all to do the same.

The fact that almost 3000 people have signed a petition to legalise fire pits suggests they don't understand the dangers of wood smoke. No one would want to expose themselves or a loved one to the risk of cancer, stroke, heart attack, asthma etc if they fully understood the dangers.

I remember when cigarette ads portrayed a manly/rugged man smoking, as someone who has worked in health care for many years I can assure you there is nothing manly about someone with lung cancer. It's the same with fire pits people think warm, cozy perhaps having a drink around a fire pit but while they are doing that they are breathing in carcinogenic chemicals that are affecting their airways, arteries etc.

When we know better we do better, I hope you all take the time to educate yourselves on the dangers of wood smoke and make some good decisions for the people of the City of Kingston.

Fire Pit Consultation – Email Submissions

Submission 11

I realise this email is a late response to residents input on residential fire pits but thought I would send it anyway. As a rate payer in the city of Kingston I greatly respect and take pride in our community. Im not sure why fire pits were banned in the first place, presumably because a small number of people were doing the wrong thing and ruined it for the rest of us that are responsible for pit owners. I believe that this decision should be overturned, obviously with rules on place to make sure people do the right thing. I know myself when I did have fires at home, my fire pit was in an enclosed safe firepit with a hose only meters away and I only ever burned redgum which never produced any smoke. Plus it was placed on a specifically designed gravel area.

If people know the principles of what is expected to have a safe fire maybe they can be once again permitted and we can return to relaxing in our own backyards.



Council recently consulted with the community on legislation regarding backyard fire pits.

There was overwhelming support for a repeal of the ban on backyard fire pits.

As such, it is proposed to review the Community Local Law Part 9 – Fire in its entirety, with the intent of providing heating as permitted purpose, but with added controls and clearer definitions.

Clarity will be given to construction, materials, design and permitted location of the fire pits.

Should this recommendation be approved, the community will need education regarding the limitations to be placed on the type and use of fire pits permitted.

The community will also need education regarding the public health and environmental considerations underpinning Community Local Law as it relates to the use of wood fires, given the concerning feedback provided by a number of health organisations and a minority of community members regarding the serious health risks backyard fire pits pose.

This education campaign would form part of the promotion for the change in the community local laws.

An outline of the proposed Communications Action Plan can be found below.

Communications Action Plan

Channel	Audience	Date	Responsible
Your Kingston Your Say newsletter	All previous participants of the Your Kingston Your Say consultation on backyard fire pits	TBC	Local Laws/Comms
Social media post (Video from the Mayor)	General public	TBC	Local Laws/Comms
Kingston eNews (Video from the Mayor)	General public	TBC	Local Laws/Comms
Kingston Your City article	General public	TBC	Local Laws/Comms
Media release	General public	TBC	Local Laws/Comms
Kingston website home page tile and web page under Local Laws & Health	General public	TBC	Local Laws/Comms

26 July 2021

Agenda Item No: 8.7

BIG HOUSING BUILD AND HOMES FOR HOMES

Contact Officer: Mathieu Maugueret, Strategic Planner

Purpose of Report

The purpose of this report is to brief and seek Council's support on the Big Housing Build and Homes for Homes initiatives that support the delivery of social and affordable housing.

Disclosure of Officer / Contractor Conflict of Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council:

1. Advocate to Homes Victoria to explore the delivery of social and affordable housing at the State Government sites provided in Appendix 1 to this report as part of the Victorian Government's Big Housing Build.
2. Undertake further work as identified in Kingston's Social and Affordable Housing Strategy July 2020 to identify Department of Families, Fairness and Housing land suitable for redevelopment.
3. Actively support and promote the Homes for Homes program.

1. Executive Summary

The Victorian Government has made a significant investment in social and affordable housing. As part of the Big Housing Build \$2.14 billion has been allocated for Homes Victoria to explore opportunities to build on surplus government owned land sites. Homes Victoria will pursue opportunities to partner with industry, community housing providers, local government and institutional investors to identify new projects that deliver homes across Victoria. A number of State Government sites have been identified that should be prioritised for the inclusion of social and affordable housing and these are provided at Appendix 1.

In March 2021, Homes for Homes contacted Council to seek a partnership. Homes for Homes is a non-for-profit organisation and seeks to deliver social and affordable housing through donations. Partnering with Homes for Homes could allow developers and builders to make a difference to Victoria's social and affordable housing crisis in the long term. Other councils have adopted the Homes for Homes project using various approaches.

It is recommended that Council support the Homes for Homes program through promotion to developers on a voluntary basis via:

- Discussions and information with permit applicants at the pre-application stage.
- Including brochures in planning permit correspondence mailout.
- Display of information package and brochures at the customer service desk.
- Placing information on Council's website.

2. Background

Kingston Social and Affordable Housing Strategy

In July 2020, Council adopted the *Kingston Social and Affordable Housing Strategy*. The Strategy discusses social and affordable housing in the City of Kingston and sets out a range of strategies and actions that Council will pursue to assist households in Kingston affected by the lack of affordable accommodation.

Big Housing Build

As part of the 2020/2021 State Budget, the Victorian Government announced a commitment of \$5.3 billion to build new social housing. The program, called the Big Housing Build (BHB), will construct 12,000 new homes across metropolitan and regional Victoria over a four period, comprising 9,300 social housing homes and 2,900 new affordable and low-cost homes built to help low-to-moderate income earners. The BHB also includes replacing 1,100 old public housing units that are no longer fit for purpose. Refer to Appendix 2 for further information on the Big Housing Build.

As part of the program, Homes Victoria is exploring building on Victorian government land sites and opportunities to partner with industry, community housing providers, local government and institutional investors to identify new projects that deliver homes across Victoria.

To facilitate the delivery of social and affordable housing the Victorian State Government introduced Amendment VC187 and VC190 to the Planning Scheme in December 2020. These provisions remove the need for a planning permit to develop a housing project if funded under Victoria's Big Housing Build and supported by the Director of Housing.

Homes for Homes

In March 2021, Homes for Homes contacted Council to seek a partnership. Homes for Homes is a non-for-profit company that seeks to deliver social and affordable housing through donations. Properties can be registered with Homes for Homes and at the time of settlement 0.1% of the property sale price is donated to the fund. Development projects can also be pre-registered with Homes for Homes before being sold to homeowners.

Once sufficient funds have been donated, Homes for Homes opens a grant funding round. Housing providers can apply for the funds and their applications are assessed by independent state-based Housing Advisory Groups. Refer to Appendix 3 for further information on Homes for Homes.

3. Discussion

3.1 Council Plan Alignment

Goal 1 - Our well-planned, liveable city supported by infrastructure to meet future needs

Direction 1.1 - Intergenerational land use planning for a sustainable community

The provision of social and affordable housing aligns with the priority action in Council's Annual Action Plan. It seeks to deliver on actions in Council's Social and Affordable Housing Strategy July 2020 and work with State Government, Housing Associations and developers to increase the availability of affordable housing.

3.2 Consultation

The following councils have adopted the Homes for Homes initiative:

- City of Melbourne negotiated with the developer of a planning permit application via a Section 173 Agreement for the development land at 111-125 A'Beckett Street, Melbourne to construct a multi-storey building.
- Moreland City Council has included Homes for Homes in their planning process by providing fast-tracking for developers who include Homes for Homes in their projects through the Moreland's Design Excellence Scorecard.
- Bayside City Council is making Homes for Homes compulsory on all planning multi-dwelling planning permits via the use of a Section 173 Agreement.
- Casey City Council is encouraging voluntary participation in the program.

3.3 Operation and Strategic Issues

3.3.1 Big Housing Build

Six State Government sites within Kingston have been identified that it is proposed should be considered for social and affordable housing (refer to Appendix 1). These sites have been identified due to their location (within activity centres and proximate public transport) and the level of development opportunity they provide (higher densities). These sites are also identified in Structure Plans and/or are part of State Government infrastructure projects.

The six sites identified include:

- Charman Road, Cheltenham (Cheltenham Railway Precinct). The site is owned by VicTrack and forms part of the level crossing removal project. The Cheltenham Activity Structure Plan Review 2018 identifies greater development opportunities within this precinct.
- 1 and 3 Blagdon Street, Cheltenham. The site is currently owned by the Department of Economic Development, Jobs, Transport and forms part of the level crossing removal project. The Cheltenham Activity Structure Plan Review 2018 identifies the site for mixed use.
- 260-266 Charman Road, Cheltenham. The site is currently owned by the Department of Economic Development, Jobs, Transport and forms part of the level crossing removal project. The Cheltenham Activity Structure Plan Review 2018 identifies the site for increased residential development.
- Balcombe Road, Mentone. The site is owned by the Public Transport Corporation. The Mentone Activity Structure Plan 2011 identifies the site as a Railway Precinct.
- Gasworks Site, Highett. The site is owned by the State Government and the Development Plan that applies to the site (Schedule 7) requires "a range of dwelling types to cater for a variety of housing needs including the provision of up to 10% of dwellings as affordable housing (as defined at Section 3AA of the Planning and Environment Act 1987)". Council officers are currently in discussions with Development Victoria regarding the development of the site.
- 1 Station Street, Moorabbin (Moorabbin Railway Station). The site is currently owned by Victorian Rail Track. An opportunity exists for the air rights above the railway station to be leased or sold to support a development.

It is recommended that Council advocate to Homes Victoria that, in consultation with Council, future development of the above-mentioned sites should be prioritised to include social and affordable housing as part of the Big Housing Build.

3.2.2 Social Housing Redevelopment Opportunities

The Victorian Government has also allocated funds to refurbish and renew old social housing. Funding for Stage 1 has already been committed to priority sites and Stage 2 recommendations have closed. It is also noted that Kingston is not identified as a priority area.

Action 4.1 of Kingston's Social and Affordable Housing Strategy seeks to facilitate discussions with Department of Families, Fairness and Housing (DFFH) to renew existing dwellings in areas suitable for change.

It is recommended that further assessment be undertaken and discussions held with DFFH to further consider sites appropriate for redevelopment. There are also planning implications discussed below that need to be considered.

3.2.3 Amendment VC187 and VC190 to the Planning Scheme (December 2020)

An application to develop social and affordable housing under the Big Housing Build will be subject to the requirements and exemptions of recent changes to the Planning Scheme. This means that:

- The development is exempt from planning permit requirements.
- The development is exempt from the provisions of the planning scheme that prohibits the use or development of land.
- The development will undergo public consultation.
- The development is exempt from the notice requirements and third-party review rights of the Act.
- Building height requirements of the planning scheme do not apply. However, there is the requirement for a report that addresses the proposed use or development including consideration of height requirements.
- The development is assessed under a modified version of ResCode and Better Apartments Design Standard.

Council will have limited ability to influence the likely built form outcomes of housing developed. The implications for social housing redevelopment sites could potentially be significant as they are in established residential areas with general heights of one to two storeys. The implications for the identified six State Government sites are lessened due to them being located within precincts already identified for increased development. Major projects (more than 100 units or 3 storeys) will also be subject to Office of the Victorian Government Architect design reviews.

3.4 Homes for Homes

Homes for Homes is considered to be a worthwhile initiative however could potentially compete with some of the implementation actions identified in Council's Social and Affordable Housing Strategy in the future. For example, Action 2.2 of the Strategy aims to establish an Affordable Housing Fund for the collection, redistribution and reinvestment of monetary contributions and donations to deliver social and affordable housing. Developers may argue that Council is 'double dipping' in the event that contributions are sought to both Homes for Homes and any future Council housing fund.

As the implementation actions of Council's Social and Affordable Housing Strategy are still being worked through, and Homes for Homes could make a difference to Victoria's social and affordable housing crisis, it is recommended that Council actively promote the initiative to encourage voluntary donations.

Whilst other councils have implemented Homes for Homes in various ways it is a voluntary fund and it is not recommended that it be made mandatory via permit conditions on planning permits (unless agreed to by a developer) as it could be appealed at VCAT. This is currently playing out within the City of Bayside where a number of appeals have already been lodged with the VCAT.

It is recommended that Homes for Homes be promoted through:

- Discussions and information with permit applicants at the pre-application stage.
- Promoting the program in planning permit correspondence mailouts.
- Display of information package and brochures at the customer service desk.
- Placing information on Council's website.

4. Conclusion


4.1 Social Implications

The delivery of social and affordable housing on suitable land holdings and donations to Homes for Homes to facilitate the future provision of social housing and affordable housing will have an important positive impact on the vulnerable members of the community by providing them with secure and safe housing.

4.2 Risk Implications

The risk to Council in not advocating for the provision of more social and affordable housing within the municipality is a greater degree of housing stress and homelessness.

Appendices

Appendix 1 - State Government owned sites identified for further advocacy (Ref 21/127085)  [↓](#)

Appendix 2 - Big Housing Build Brochure (Ref 21/127126)  [↓](#)

Appendix 3 - Homes for Homes KCC Brochure (Ref 21/127132)  [↓](#)

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8.7

BIG HOUSING BUILD AND HOMES FOR HOMES

1	State Gvernment owned sites identified for further advocacy	217
2	Big Housing Build Brochure.....	221
3	Homes for Homes KCC Brochure	237

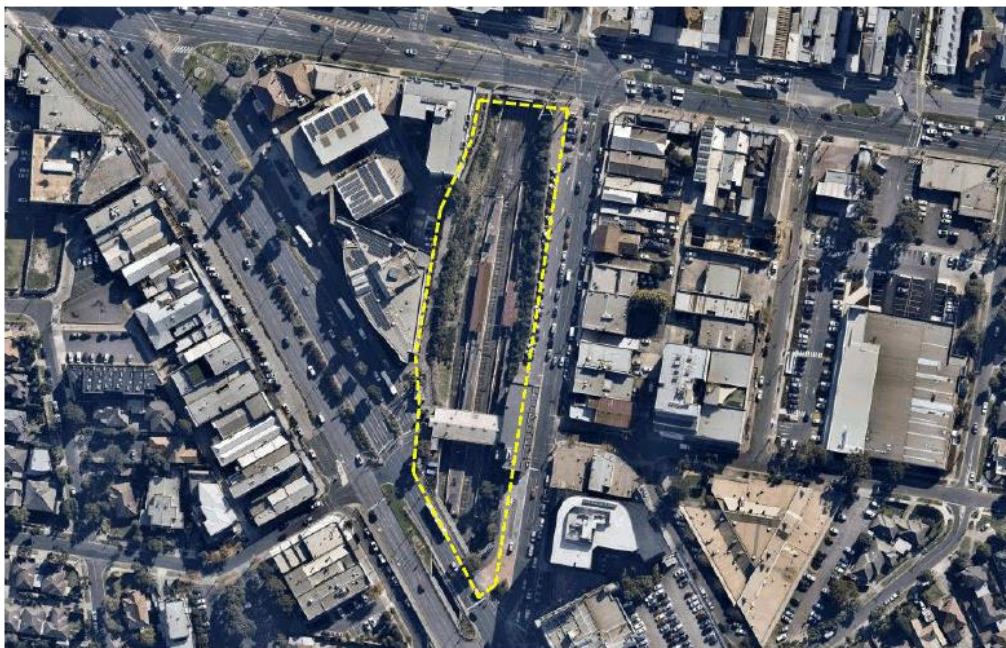
Potential State Government Sites

1. Charman Road, Cheltenham



2. 1 and 3 Blagdon Street, Cheltenham



3. Moorabbin Railway Station**4. 266 Charman Road, Cheltenham**

5. Balcombe Road, Mentone



6. 1136-1138 Nepean Highway, Highett (Former Highett Gasworks Site)





Victoria's Big Housing Build

We're building thousands of new homes for Victorians in need.

And creating tens of thousands of new jobs to support Victoria's recovery.

NOVEMBER 2020

more homes for
more victorians

h_v homes
victoria



The Big Housing Build at a glance

Victoria's largest-ever investment in social and affordable housing.



Investing
\$5.3 billion
in more homes for
more Victorians

2,900 new
affordable and market
homes for **first home**
buyers and **renters**



More than
9,300 new
social housing
dwellings

2,000 more
Victorians with
mental health
issues will have
a home



A **gender**
equity plan to
get more **women**
into construction

All **new homes** will
meet **7 star**
NatHERS efficiency
standards

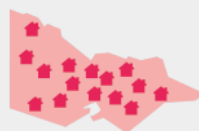


10% increase
in social housing
dwellings

25% of
investment
will be in **rural**
and **regional**
Victoria



12,000+
new homes
across Victoria



10% of all net new
social dwellings will
support **Aboriginal**
housing needs



10% of work
on large projects
to be done by
apprentices, cadets
and **trainees**



Homes
Victoria
established to make
the Big Housing
Build a reality

Every dollar invested
in social housing
is an investment in
Victoria's people.

Building social housing will
support families, create jobs
and boost the economy.

Creating an average of **10,000 NEW JOBS** a year over the next four years.

And in addition to the Big Housing Build

An **extra \$498 million** for public and community housing **refurbishment, construction and maintenance**



600 new jobs in **maintenance and refurbishments**



Refurbishing 23,000 existing social housing properties




Four years of new home commencements

20/21 **1,100** 

21/22 **5,000** 

22/23 **5,000** 

23/24 **1,200** 

The Big Housing Build gets a fast start this financial year with more than 1,000 commencements ready to happen. Over the next 3 years, more than 11,000 more will commence across Victoria. **See note on page 14.**

Four years of job creation across Victoria

20/21 **2,000** 

21/22 **11,480** 

22/23 **18,800** 

23/24 **11,600** 

The Big Housing Build will kick-start careers in the building industry and help us get growing again. Over the next four years, new jobs will be created right across metropolitan and regional Victoria. **See note on page 14.**

That's why Australia's leading economists believe social housing is Australia's smartest investment.

Source: Economic Society of Australia, Survey of 49 eminent economists, October 2020

Building for strength



This year we've been reminded just how important home really is.

It's why we'll make sure more Victorians have the security and stability of a home, with our state's – and Australia's – biggest ever investment in public and community housing.

We will deliver a historic \$5.3 billion Big Housing Build to build more than 12,000 new homes throughout metro and regional Victoria.

It's a profound investment in a stronger, fairer Victoria.

And it's an investment that will change lives – giving thousands of Victorians a place to call home, and tens of thousands of Victorians a job.

This initiative will create an average of 10,000 new jobs each year for the next four years. Getting more Victorians into work – ensuring not just a job, but security and certainty for them, and the people they love.

This package will boost our state's social housing supply by 10 per cent in just four years – providing a stable foundation for thousands of Victorians to build their lives.

And it will reach every corner of Victoria – with 25 per cent of funding to be allocated to regional Victoria.

This unprecedented investment will supercharge Victoria's economic recovery, generating an estimated \$6.7 billion in economic activity and creating new opportunity – with 10 per cent of the work on major projects to be done by apprentices, cadets and trainees.

And because we want to front-up to the inequalities that have seen women lose more and earn less throughout this pandemic, we will have a gender equity plan to get more women into construction.

We'll also create hundreds of new jobs for Aboriginal Victorians, people with disability, social housing tenants and people from diverse backgrounds.

It goes to our core belief: Our ultimate success must be measured not just by the wealth of our economy – but also the wellbeing of our people.

Because if this pandemic has reminded us of anything, people matter.

The Hon Daniel Andrews MP
Premier of Victoria



Making housing work

The Big Housing Build is the social and affordable housing sector's equivalent of the Snowy Mountains Scheme – a nation-building project changing Victoria one backyard at a time.

Here's how the Big Housing Build – which will boost social housing stocks by 10 per cent – will work.

In 2020/21: we will start building 1,100 new homes – and create 2,000 new jobs.

In 2021/22: we will start building 5,000 new homes – and create 11,480 new jobs.

In 2022/23: we will start building 5,000 new homes – and create 18,800 new jobs.

In 2023/24: we will start building 1,200 new homes – and create 11,600 new jobs.

And those new homes and new jobs will be spread across metropolitan Melbourne and regional Victoria.

We want all Victorians to have a place to call home, that's why Victorian Government has committed 25 per cent, or \$1.25 billion of this package to regional Victoria. The Big Housing Build includes a guaranteed minimum investment for 18 regional and rural Local Government Areas across the state, to boost our regional centres.

We're also pushing through reforms to back this unprecedented project. We'll plan for growth, with a ten year social and affordable housing strategy.

We will forge the new Social and Affordable Housing Compact with local councils – an agreement to work together to increase social and affordable housing stock.

We're streamlining planning approvals for social and affordable housing, to deliver good design outcomes and get projects moving fast.

We're supporting the public housing system with \$300 million in this package, and funding into the future.

And we've established Homes Victoria to manage the Big Housing Build.

Currently, more than 80,000 Victorian households rely on social housing – with thousands more on waiting lists.

I've met many of those people. They're survivors of family violence, they're people with disability, they're people with a chronic or mental illness, they're pensioners, they're refugees. But – most of all – they're Victorians who deserve a place to call home.

The Big Housing Build will transform the lives of thousands of families in need – and in the process it will strengthen our community and economy. Victoria has never seen anything like the Big Housing Build.



Hon Richard Wynne MP
Minister for Housing



What will the Big Housing Build look like?

We're delivering an unprecedented number of building projects across Victoria as the Big Housing Build rolls out. Here's an overview.

Fast start projects, commencing **NOW**

Building new homes on public land **\$532 million**

The Big Housing Build starts now, on Homes Victoria land, replacing obsolete properties and constructing new homes. Work has already begun, to help get our building industry moving again.

500
new social housing properties



540
new affordable and market homes

Construction activity has begun on six sites, and more sites will be announced in the first quarter of 2021.

See the map on the page 10 for locations of the sites now underway.

Projects already started, or ready to build and spot purchase of existing properties **\$948 million**

We'll be working with the private sector to bring forward large developments ready to start construction and purchase existing residential properties across Victoria.

1,600
new social housing properties



200
new affordable homes

We're issuing a Request for Proposals for across Victoria, with 21 local government areas across Victoria identified as a priority.

See the map on the page 11 for the full list of priority local government areas.



Strategic and partnership projects, starting **SOON**

Funding projects by the community housing sector **\$1.38 billion**

The community housing sector will be a partner in the Big Housing Build. The Victorian Government's Social Housing Growth Fund, jointly administered by the Treasurer and Minister for Housing, is launching a range of funding rounds – starting this year and continuing through 2021 – for housing projects led by community housing providers.

Up to **4,200**
new homes



Partnerships with the private and community housing sectors **\$2.14 billion**

Homes Victoria will explore opportunities to build on surplus government owned land sites. Using government land sites can maximise housing outcomes, through good value for money and access to strategic development sites. We will pursue opportunities to partner with industry, community housing providers, local government and institutional investors to identify new projects that deliver homes across Victoria.

Up to **5,200**
new homes



www.homes.vic.gov.au

7

12,000+

new homes to be built and

10,000new jobs a year on
average over four years
starting **TODAY**

Big Housing Build projects will promote good design. Major projects (more than 100 units or 3 storeys) will undergo Office of the Victorian Government Architect design reviews.



All dwellings will have Nationwide House Energy Rating Scheme (NatHERS) average ratings of at least 7 stars and certified minimum 5 Star rating Green Star.

Dwellings will include a mix of 1, 2 and 3 bedrooms, responding to the changing needs of households in Victoria.

And in addition to
the Big Housing Build

\$498 million

**New construction, upgrades and
maintenance to existing housing**

We've committed a record amount of money to maintain, refurbish, repair and build new public housing across Victoria. Work has already begun, and when we're finished, more than 23,000 social housing dwellings will be significantly improved.

\$185 million

**Replacing old public housing
with new dwellings**

The Public Housing Renewal Program is underway with the task of replacing seven major public estates with completely new, modern, attractive and energy efficient dwellings. It will generate \$1.29 billion in construction and economic activity.

The Big Housing Build will change lives

MORE HOMES FOR MORE VICTORIANS LIVING WITH MENTAL ILLNESS



One in every four priority applicants currently on the Victorian Housing Register are Victorians living with a mental illness. Stable housing is an essential element in both preventing, and recovering from mental health issues. The Big Housing Build will ensure Victorians living with a mental illness can secure a place to call home. The Big Housing Build will house more than 2,000 additional Victorians with mental illness. The provision of safe, secure and stable social housing will enable Victorians living with mental illness to access support and live a life they value, knowing they have a place to call home.

More homes for victim survivors of family violence

Nearly one in ten priority applicants on the Victorian Housing Register are victim survivors of family violence. The chance to move into a safe home and rebuild lives in a new environment is something the Big Housing Build will give many Victorian women and their children. The Big Housing Build is expected to deliver a safe home for as many as 1,000 victim survivors of family violence across Victoria.

More homes for Aboriginal Victorians

One in every ten people who are applicants for social housing on the Victorian Housing Register are Aboriginal Victorians.

This is why 10% of Victoria's social housing boost will be targeted to housing developments to meet the needs of Aboriginal Victorians.

This underscores the Victorian Government's commitment to advancing self-determination. The package will increase housing for Aboriginal Victorians through both Aboriginal Community Controlled Organisations and mainstream public and community housing providers.



A fast start for the Big Housing Build

We're ready to start building, and are now inviting proposals in priority local government areas to deliver more homes for more Victorians.

Fast start sites, underway now

Stage 1 of the Big Housing Build is starting on these sites across Melbourne.

- Markham Avenue, Ashburton
- Dunlop Avenue, Ascot Vale
- Bills Street, Hawthorn
- Tarakan Street, West Heidelberg
- Victoria Street, Flemington
- Elizabeth Street, North Richmond

Stage 2 sites will be announced in early 2021.



\$1.25 billion of the Big Housing Build will be in rural and regional Victoria.

That's **25%** of the entire Big Housing Build.





Bids being sought in priority local government areas

Across Victoria, many local government areas need more housing to cope with demand. Right now, we're ready to launch a Request for Proposals for in-progress or ready-to-build projects. Proposals are sought from across Victoria, with 21 priority local government areas identified.

- Ballarat
- Boroondara
- Brimbank
- Bendigo
- Cardinia
- Casey
- Darebin
- Greater Geelong
- Hume
- Macedon Ranges
- Maribyrnong
- Maroondah
- Melton
- Mitchell
- Moorabool
- Moreland
- Port Phillip
- Shepparton
- Whitehorse
- Whittlesea
- Wyndham



Our commitment to ensuring every Victorian has a place to call home

A joint vision for Victoria's social housing system

A 10 year Strategy for social and affordable housing will be developed with the not-for-profit sector and industry.

Rolling 4 year supply and delivery plans will offer guidance to the market, and ensure a high quality pipeline of social and affordable housing developments.



Over time, redeveloping and renewing social housing will require some households to relocate when construction is underway. It also means more housing can be built to accommodate more Victorians currently on the waiting list. We will work with residents to match alternative housing to their needs.

A stronger and more capable social housing system

An independent review of Victoria's social housing regulatory system will strengthen oversight of community and public housing. The review will consider how the system can better support resident and community outcomes, with a stronger focus on the voices of residents. We will work to reduce administrative burdens on providers and harmonise the regulation of public and community housing.

A Community Housing sector development fund will support the capacity of not-for-profit housing providers to help deliver on this historic package.



A new partnership with local government

Homes Victoria will work with local governments to develop a 'social and affordable housing compact' – this will include an important role for local government in identifying priorities for social housing growth in their municipality. We will also consult with councils on mechanisms to bring social housing closer to the treatment of other public value infrastructure such as schools and hospitals, which are exempt from council rates. This reflects the public benefit that access to safe, secure and affordable housing brings to local communities.



A sustainable and renewed public housing portfolio

Public housing rents are capped at 25% of household income. We will review rental policies to align rents to make sure public housing tenants are treated equally, while guaranteeing a cap of 25% of income on rent.

There is also new funding for the public housing system of \$300 million in this package – and funding into the future – making sure there is ongoing growth in public housing and that existing homes are well maintained.



Fast-tracking planning for social and affordable housing

We will make the planning system better and streamlined – prioritising social and affordable housing developments to accelerate approvals.

To prioritise new housing the Victorian Government will assess and approve planning proposals funded by the Big Housing Build following consultation with councils.

This will expedite planning processes without compromising planning and built form outcomes on the site.



Introducing Homes Victoria

Homes Victoria has been created for four reasons.

First, to support Victorians who are finding it difficult to secure stable, affordable housing and help them live their best possible life.

Second, to manage the more than \$26 billion in housing assets that currently house more than 116,000 Victorians.

Third, to renew and substantially expand those assets by ensuring the Big Housing Build is delivered on budget and on time.

Fourth, to make sure we have a sustainable housing system that can deliver for generations to come.

The Big Housing Build is the largest social and affordable housing building program in Victoria's history.

Homes Victoria will work closely with industry, the not-for-profit sector and the community to maximise social and economic benefits.

Our priority is to fast-track new social and affordable housing right now – and plan for sustainable, long term growth in housing.

Our governance approach will ensure we deliver on the Government's objectives, and have the capability and commercial acumen to realise the benefits of this record investment on behalf of Victorians who experience housing insecurity and homelessness.

We will listen to the experiences of people who know what it's like to struggle to find a place to live. We will pursue evidence-driven reforms. And, above all, we will ensure more Victorians have a place to call home.



Glossary of terms

Affordable housing

Affordable housing is a broad term describing housing suitable for the needs of a range of very low to moderate income households and priced (whether purchases or rented) so these households can meet their other essential living costs. For further information, please refer to the definition in the *Planning and Environment Act 1987*.

Community housing

Community housing is housing owned or managed by community housing providers. Community housing providers are highly regulated, not-for profit organisations that specialise in housing the diverse range of tenants who require both public and affordable homes.

NatHERS

The Nationwide House Energy Rating Scheme (NatHERS) is a star rating system that rates the energy efficiency of a home out of ten, based on its design. Good design can reduce the amount of energy needed to keep a home comfortable, with no or little additional construction cost.

Public housing

Public housing is housing owned and managed by Homes Victoria. The government provides public housing to eligible Victorians including people who are unemployed, on low incomes, live with a disability or a mental illness, or who are at risk of homelessness.

Social housing

Social housing is an umbrella term that includes both public housing and community housing. It generally indicates housing that involves some degree of subsidy.

A note about predicted building commencements and job creation

Forecasting construction market conditions and private demand for housing is more complicated in the current context of the COVID-19 pandemic. Projected construction commencements and jobs created by the Big Housing Build are estimates based on the current outlook, and will be regularly reviewed and updated at [homes.vic.gov.au](https://www.homes.vic.gov.au).



www.homes.vic.gov.au
enquiries@homes.vic.gov.au

To receive this publication in an accessible format,
email <enquiries@homes.vic.gov.au>

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Homes for Homes and Kingston City Council

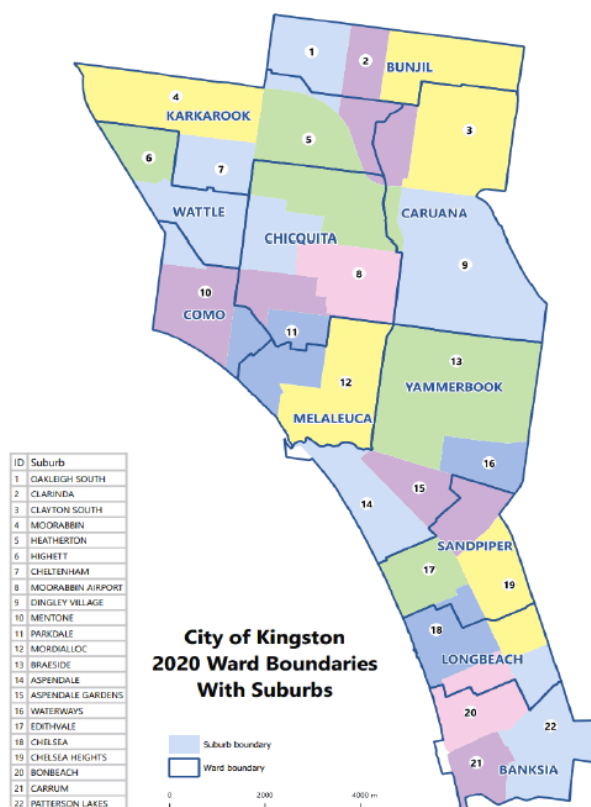
March 2021

Homes
for
Homes

Created by



Contact Sarah Witty, Partnerships Manager Homes for Homes
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homesforhomes.org.au ABN 26 143 151 544



Executive summary

This report provides an analysis and evaluation of the current housing and population demographics of the Kingston City Council and the potential donation value from property participation in Homes for Homes.

This report has been prepared using data from the 2016 Census, CoreLogic, realestate.com.au and the Department of Land, Water and Planning.

Results of this analysis show the Kingston City Council can have a significant impact on increasing the supply of social and affordable housing by supporting Homes for Homes. For instance:

- If Homes for Homes were registered on all new dwellings approved by the Kingston City Council every year for the next 30 years, using FY18 approval numbers, there is the potential to raise \$110m by 2050 through property donations to increase the supply of social and affordable housing; and
- In addition, a further \$11m could be raised by 2050 if 5% of existing dwellings donated to Homes for Homes when sold within the Kingston City Council (refer Appendix 1).

Homes for Homes

We believe all people have the right to safe and secure accommodation, yet 116,000 people in Australia are homeless each night and the country has a shortage of more than 600,000 homes (forecast to exceed one million by 2036).

The flow-on effects make this one of Australia's most significant social issues, one which government is unable to solve alone. In response, The Big Issue created Homes for Homes to provide a way for the whole community to work together to solve homelessness.

Homes for Homes is an innovative new funding model that will increase the supply of social and affordable housing.

Here's how it works:



1. Homes registered



2. Properties sold



3. Funds donated



4. Money distributed



5. Homes created

Property owners agree to make a voluntary, tax-deductible donation to Homes for Homes when they sell their property. The donation is equivalent to 0.1% of the property's sale price (a donation of 0.1% on a \$500,000 property = \$500).

- The offer to donate to Homes for Homes is registered on the property's title by way of a caveat. The caveat simply acts as a reminder to donate at settlement time.
- The property remains registered with Homes for Homes indefinitely, encouraging all future property owners to donate when they sell their property.
- Homes for Homes is voluntary. At any time, the property owner can choose to withdraw their property from Homes for Homes.

Developers and builders' involvement

Partnering with Homes for Homes allows developers and builders to make a significant difference to Australia's social and affordable housing crisis.

Development projects can be pre-registered with Homes for Homes before being sold to homeowners or other property stakeholders. Pre-registration enables future owners to donate to Homes for Homes when they sell their property. Homes for Homes is included in the special conditions of the contract of sale and the developer's marketing material.

Creating housing

Once sufficient funds have been donated, Homes for Homes opens a grant funding round. Housing providers can apply for the funds, their applications are assessed by independent state-based Housing Advisory Groups.

Given the high potential for development projects to take place within the Kingston City Council, we understand there may be a desire to ensure monies raised within the Kingston City Council are invested back into the local community, consequently, we are open to establishing a specific Kingston City Council Housing Advisory Group.

The group would be responsible for identifying and assessing the best options to increase the supply of social and affordable housing in the Kingston City Council area utilising the funds raised from any landowner/developer contributions. Following this, ongoing contributions from individual homeowners would revert to the purview of the Victorian state-based Housing Advisory Group.

Kingston City Council – demographic snapshot

The City of Kingston population forecast for 2021 is 167,228, and is forecast to grow to 198,340 by 2041.

The size of Kingston City Council is approximately 91 square kilometres. Residents are likely to be repaying a median monthly mortgage of \$1,993, significantly more than the Victorian median monthly mortgage repayment of \$1,728. In general, people in Kingston City Council work as professionals. At the time of the 2016 Census, the median age of people living in Kingston City Council was 40, above the Victorian state average of 37 and the national average of 38 years. The average family size is 1.8 and couples with children represent the majority (48%) of the population.

Of occupied private dwellings, 2,280 are one bedroom, 13,588 are two bedrooms, 24,680 are three bedrooms, and 14,149 are four or more bedrooms. The average number of bedrooms per occupied private dwelling was 3, equal to the Victorian average. Of the occupied private dwellings, the number of houses owned outright was 34.5%, a further 36.8% were mortgaged, and rentals comprised 25.3% of dwellings which is less than the national rental average of 30.9%. Of all households, 71.4% were family households, 25.6% were single-person households, and 3% were group households.

18.7% of households had a weekly household income of less than \$650 and 17.4% of households had a weekly income of more than \$3000. The number of households where rental payments were 30% or more was 9.2%, less than the Australian average of 11.5%. Kingston City Council has a higher than average median rental price of \$351 compared to a national median rental price of \$335. The median mortgage repayment in 2016 was \$1,993. The number of households where mortgage repayments were 30% or more is 7.7%, just above the Australian average of 7.2%.

According to realestate.com.au in March 2021 the median house prices in the Kingston City Council were as follows -

Suburb	House	Unit
Aspendale	\$1,105,000	\$760,000
Aspendale Gardens	\$985,000	-
Bonbeach	\$898,000	\$635,000
Braeside	-	-
Carrum	\$805,000	\$656,000
Chelsea	\$867,500	\$624,000
Chelsea Heights	\$812,500	-
Cheltenham	\$1,050,000	\$620,000
Clarinda	\$850,000	\$680,000
Clayton South	\$799,000	\$522,200
Dingley Village	\$902,000	\$621,250
Edithvale	\$1,002,500	\$701,000
Heatherton	\$964,000	-
Highbett	\$1,300,000	\$629,000
Mentone	\$1,015,000	\$672,000
Moorabbin	\$1,075,000	\$655,000

Suburb	House	Unit
Moorabbin Airport	-	-
Mordialloc	\$1,020,000	\$585,500
Oakleigh South	\$970,050	\$850,500
Parkdale	\$1,205,500	\$710,000
Patterson Lakes	\$1,052,500	\$558,500
Waterways	\$1,432,890	-



This four unit development by Women's Property Initiatives will house older single women who have assets that render them ineligible for social housing and with a limited income that prevents them for accessing a mortgage or owning a home of their own. These women often have to rent in the private rental market where their savings are rapidly depleted. This type of housing safeguards women from the threat of homelessness.

(2018 grant round, Beaconsfield, VIC)

Homes for Homes grant funding

During Homes for Homes grant funding rounds, we welcome any social and affordable housing provider to present us with projects for consideration. There is no pre-determined type of project that we choose to fund. Homes for Homes takes a flexible approach to the projects it supports and is open to considering any organisation, and indeed, any project that creates social and affordable housing.

Homes for Homes has granted nearly \$1m toward a diverse portfolio of eight projects in only a few short years. In 2019 Homes for Homes celebrated the completion and house handover of two projects - Habitat for Humanity Victoria have housed a young family and Havelock Housing Association (ACT) have housed a pair of single older women escaping domestic violence.

In 2020 Homes for Homes granted close to \$500k to four organisations. Funds will provide housing for families living in housing stress, women over 55 escaping family violence, affordable tenancies for people in Aboriginal communities and people with mental illness cared for by aging parents. These projects are in regional and metropolitan locations around Australia including Shepparton, Yea, Box Hill and Canberra.

Because homelessness impacts many people in different ways, we look to fund projects that support the diverse range of people experiencing homelessness. In deciding how to disburse funding, our expert Housing Advisory Groups advise on the best projects to fund, based on the greatest housing need and which projects will make the most impact.

When a grant funding round opens in a specific state or territory, funding applicants present us with projects in that jurisdiction. We are open to applicants applying for all or part of the available funds. In previous funding rounds, recipients have applied for as little as \$20,000 and as much as \$300,000 toward a project. In % terms, Homes for Homes has funded 0.6% of a large (approx. \$20 million) project and 40% of a smaller project which demonstrates our flexible approach to grant funding.

Homes for Homes is committed to providing a solution to one of Australia's biggest social issues – the chronic lack of social and affordable housing. With the support of property owners and developers, donations will flow to Homes for Homes to increase housing supply, and ultimately, end homelessness.



If Homes for Homes were registered on all new dwellings approved by the Kingston City Council every year for the next 30 years, using FY18 approval numbers, there is the potential to raise \$110m by 2050 through property donations to increase the supply of social and affordable housing and, in addition, a further \$11m could be raised by 2050 if 5% of existing dwellings donated to Homes for Homes when sold within Kingston City Council (refer Appendix 1).

Working together

Recently several Melbourne developments included Homes for Homes in their planning permit application, with Homes for Homes working closely with the developers and planners to achieve a positive social outcome. In fact, Homes for Homes was included in the planning permit issued for 111-125 A'Beckett St Melbourne as a public benefit between the City of Melbourne and developer SP Setia under a Section 173 agreement.

Moreland City Council is the first council to agree to include Homes for Homes in their planning process by providing fast-tracking for developers who include Homes for Homes in their projects through Moreland's Design Excellence Scorecard. We are also in discussions with several other local councils and believe they will follow Moreland's example in due course.

Councils are looking at different ways to support Homes for Homes either through providing uplift or fast-tracking for participating developers and by introducing Homes for Homes to their existing residents. Some councils are considering making Homes for Homes compulsory on all future planning permits, including Bayside City Council who voted unanimously to do so and are now in the final steps of actioning.

The registration with Homes for Homes would not compete with any existing Kingston City Council policies, rather, it would run in parallel.

Homes for Homes would welcome the opportunity to continue discussions with Kingston City Council to explore how we can work together to solve Australia's housing crisis.



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homesforhomes.org.au ABN 26 143 151 544

**Homes
for
Homes**

Appendix 1

Projected donations from registered properties with Homes for Homes

This table calculates projected donations over a 30-year period if as few as 5% of current Kingston City Council residents registered their properties with Homes for Homes.

Suburb	Total dwellings	5%	Median sell price	Donation 1 (2030)	Donation 2 (2040)	Donation 3 (2050)	30 year total donations
Aspendale	2,773	139	\$1,105,000	\$153,595	\$165,135	\$194,187	\$512,917
Aspendale Gardens	2,260	113	\$985,000	\$111,305	\$119,668	\$140,720	\$371,693
Bonbeach	3,064	153	\$898,000	\$137,394	\$147,717	\$173,704	\$458,815
Braeside	10	–	–	–	–	–	–
Carrum	1,942	97	805,000	78,085	83,952	98,721	260,758
Chelsea	3,843	192	\$867,500	\$166,560	\$179,074	\$210,578	\$556,212
Chelsea Heights	2,083	104	\$812,500	\$84,500	\$90,849	\$106,831	\$282,180
Cheltenham	8,191	410	1,050,000	430,500	462,845	544,272	1,437,617
Clarinda	2,756	138	\$850,000	\$117,300	\$126,113	\$148,300	\$391,713
Clayton South	4,818	241	\$799,000	\$192,559	\$207,027	\$243,448	\$643,034
Dingley Village	3,987	199	\$902,000	\$179,498	\$192,984	\$226,935	\$599,417
Edithvale	2,513	126	\$1,002,500	\$126,315	\$135,805	\$159,697	\$421,817
Heatherton	1,030	52	\$964,000	\$50,128	\$53,894	\$63,376	\$167,398
Highbett	1,695	85	1,300,000	110,500	118,802	139,703	369,005
Mentone	6,093	305	\$1,015,000	\$309,575	\$332,834	\$391,389	\$1,033,798
Moorabbin	2,559	128	\$1,075,000	\$137,600	\$147,938	\$173,965	\$459,503
Moorabbin Airport	–	–	–	–	–	–	–
Mordialloc	3,571	179	\$1,020,000	\$182,580	\$196,298	\$230,832	\$609,710
Oakleigh South	3,632	182	\$970,050	\$176,549	\$189,814	\$223,207	\$589,570
Parkdale	5,010	251	\$1,205,500	\$302,581	\$325,314	\$382,546	\$1,010,441
Patterson Lakes	3,320	166	\$1,052,500	\$174,715	\$187,842	\$220,888	\$583,445
Waterways	738	37	\$1,432,890	\$53,017	\$57,000	\$67,028	\$177,045
Total	65,888	3,297		3,274,856	3,520,905	4,140,327	10,936,088

Notes:

- Number of properties sourced from 2016 Census data.
- Median house prices sourced from realestate.com.au.
- The above assumptions are based on March 2021 market values.
- Assumes an average hold period of 10 years.

26 July 2021

Agenda Item No: 8.8

RESPONSE TO CLIMATE AND ECOLOGICAL EMERGENCY DECLARATION

**Contact Officer: Susannah Kenny, Principal Environment Officer
Helen F Scott, Team Leader Environmental Planning**

Purpose of Report

The purpose of this report is to:

- Provide a summary of feedback received via community consultation for the draft Climate and Ecological Emergency Response Plan (Appendix 1);
- Highlight how the plan will be communicated and the community engaged via the Climate and Ecological Emergency Communications and Engagement Plan (Appendix 3); and to
- Present the revised plan and recommend adoption of the Climate and Ecological Emergency Response Plan (Appendix 2).

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council:

1. Note the changes proposed to the draft Climate and Ecological Emergency Response Plan in response to community feedback received.
2. Adopt the final version of the Climate and Ecological Emergency Response Plan.
3. Make a formal pledge to the Minister for Energy, Environment and Climate Change, Lily D'Ambrosio which requires:
 - A statement of Council's commitment.
 - A list of the key actions Council will implement over the 2021-25 period to reduce emissions
 - an estimate of the emissions reductions that are expected to result from Council-oriented actions

1. Executive Summary

Kingston's Climate and Ecological Emergency Response Plan (CEERP - Appendix 2) has been prepared in response to Resolution No. 2/2020 Declaring a Climate and Ecological Emergency. Subsequent to this resolution, in February 2021, Council resolved that:

1. *Council reaffirm its commitment to responding to the climate and ecological emergency and recognises the urgency of action required;*

2. *Council endorse the draft Climate and Ecological Emergency Response Plan for the purpose of community consultation;*
3. *A further report be presented to Council at the conclusion of the community consultation;*
4. *Officers provide further advice to Councillors on the scope and delivery of a communications plan to drive a) engagement and awareness communication the urgency of the climate and ecological emergency situation for Kingston and b) education and behaviour change; and*
5. *Council investigate the appointment of an independent climate expert to Council's Audit and Risk Committee, and that officers prepare a report for consideration to facilitate this outcome.*

Kingston's CEERP establishes targets of net zero emissions by 2025 for Kingston's own operations, and a 40% reduction by 2025 for the community, ultimately aiming for net zero by 2030. Feedback received through the consultation phase indicates a strong level of community support for Council's targets.

This target is similar to those being considered by other Councils but is ambitious and cannot be achieved by Council actions alone. The results of evidence-based research undertaken by Council's consultants (Ironbark) outline a series of actions that will achieve reductions of 2.8 million tCO₂e up to 2030. This represents just over 10% of municipal emissions. The plan acknowledges that 'business-as-usual' is no longer acceptable and that transformational change is required in order to achieve this ambitious community target.

Feedback received through the consultation period indicates that transformational change is supported by the community who recognise that Council's strategy needs to be underpinned by clear and immediate action.

The estimated cost of modelled actions is approximately \$2.2M, which provides a useful measure of the cost of emissions reduction in Kingston. This has been modelled by the consultant to be delivered over a 3-4 year period and does not fully take into account resource and operational implications for Council in delivering the CEERP. Kingston's CEERP outlines a plan to deliver climate action over the next 7 years at a cost of \$3.5M. To support our declaration of a Climate and Ecological Emergency, high priority actions (those with the highest emission abatement potential) will commence in the next 12 months; medium priority actions by 2023 and low priority actions by 2025.

While some segments of the community do not support financial investment in Council's emergency response, even those who do not support Council's declaration support investment in good building design, reduced congestion and better resource management.

Kingston's linear emissions reduction trajectory to meet our science-derived target is very steep. It demonstrates the need for a "whole of community effort" if we are to meet our science-derived target of limiting temperature increases to 1.5°C above pre-industrial levels.

The purpose of this report is to:

- Provide a summary of feedback received via community consultation for the draft Climate and Ecological Emergency Response Plan (Appendix 1);
- Highlight how the plan will be communicated and the community engaged via the Climate and Ecological Emergency Communications and Engagement Plan (Appendix 3); and to
- Present the revised plan and recommend adoption of the Climate and Ecological Emergency Response Plan (Appendix 2).

2. Background

At its January 2020 Ordinary Council Meeting, Kingston joined with 85 local councils across Australia (now 97) and resolved to declare a Climate and Ecological Emergency. The declaration of a Climate and Ecological Emergency calls for immediate action to initiate a society wide mobilisation at sufficient scale and size to protect civilisation and to restore a safe climate.

In February 2021, Council endorsed the draft Climate and Ecological Emergency Response plan for community consultation and resources to implement the plan were included in the draft budget. In April 2021, community consultation on the draft plan closed. A summary of feedback is provided in Appendix 1 and key changes to the plan as a result of feedback is summarised below.

Work commenced

In May, Kingston commenced work with four other SECCCA Councils on an Electric Vehicle (EV) Charging Infrastructure Road Map that identifies priority locations for the installation of EV charging stations across the five participating Council areas.

A Request for Proposal for 2-3 new electric vehicle chargers on Council land to increase the availability of public charging infrastructure within the City of Kingston within a short period of time closed in June. Responses received are under review.

Kingston is working with SECCCA to deliver the Small Business Energy Saver program - A Sustainability Victoria initiative aimed at supporting Council's small businesses to address climate change and support their financial viability. Council also remains actively involved in SECCCA's ongoing engagement with the South East Melbourne Manufacturers Alliance (SEMMA) and other key industrial representative organisations.

Work on Council's Urban Forest Strategy is underway, including benchmarking 'best practice' urban forest strategies and evaluating appropriate baseline measurement and ongoing monitoring methods/tools. This will ensure robust data is available for communicating with Council and key stakeholders and for strategic decision-making. At its June Ordinary Council Meeting, Council supported continuing the Gardens for Wildlife program and will consider strengthening the plant voucher scheme at this month's Ordinary Council Meeting. Council has also prepared detailed landscape design guidelines which would be incorporated into the Planning Scheme as part of Council's Housing Strategy and Neighbourhood Character Study implementation.

3. Discussion

3.1 Community Feedback

During March and early April 2021, Council sought feedback from the community via a range of channels. At least 200 individuals provided feedback¹ via Facebook, a survey via Your Kingston, Your Say, a facilitated, face-to-face workshop involving 16 self-selecting members of the Kingston community and through detailed emails.

Feedback was collated with three guiding principles in mind:

- Comprehensiveness – all responses have been included and nothing has been filtered out or removed.

¹ This number is likely to be greater but some individuals responded via a number of forums so an overly conservative figure is provided

- Traceability – participants should be able to recognise their responses and see they have been heard.
- Faithfulness – where responses have been paraphrased, summaries are rigorous and accurate.

Community attitudes are very insightful and focussed with overarching sentiment expressing that:

- Council's Net Zero by 2030 and 1.5°C targets are evidence based and appropriate.
- Council is not acting quickly enough on climate change.

In addition to this, a range of feedback and comments were received, primarily via Facebook, expressing concerns with the CEERP and planned investment suggesting:

- Kingston's declaration of a climate emergency is politically motivated, class based and "woke".
- Council is scaremongering in highlighting the extent of the climate crisis.

Specific recommendations from community members supportive of the plan include:

- A KPI/Accountability matrix sitting with the CEO to drive aligned action.
- An independent climate expert on the Audit and Risk Committee.
- Measurable performance standards (interim and overall targets) in the CEO's employment contract.
- A standing body of Kingston residents charged with the responsibility of reviewing the execution of the Response Plan with powers to make recommendations to Council.

Accountability, via a range of organisational mechanisms is seen as key to ensuring that final and interim carbon reduction targets for Council and the community are achieved.

There is strong support for ongoing, community involvement in Council's climate and ecological emergency response and an appreciation that individuals can have an impact when they work together to effect change. A detailed summary of community feedback is provided in Appendix 1.

3.2 Key Changes to the CEERP

While a number of specific changes have been made as a result of community feedback, modelled actions that will support significant emission reduction efforts, such as working collaboratively with industry and connecting stakeholders, will remain the focus of ongoing Council action.

Changes as a result of community feedback include:

- Breakout boxes which seek to highlight
 - Existing state government initiatives which Council will support but not replicate
 - Council's responsibilities under the new Local Government Act
 - Council's focus on protecting and expanding vegetation and canopy cover on all suitable private and public land.
- New images which illustrate organisational accountability for the plan, Council's full range of services and possible impacts of climate change.

- Additions to the plan which articulate the benefits of investing in climate action and provide more detail about implementation and ongoing communications and community engagement.

In addition, the total abatement potential and approximate cost to 2030 has been updated as a result of a Council led 'review' of all the Ironbark modelled figures included in the plan. The review concluded that some of the assumptions in relation to EV charging infrastructure (outlined in Priority Area 3 of the plan) needed to be updated. It was also noted that the abatement potential had been modelled by the consultant to be delivered over 3-4 years which was not accounted for in the first version of the plan. Kingston's CEERP outlines a plan to deliver climate action over the next 7 years with associated resource and operational budget implications. The current budget allocation of \$3.5M is considered adequate to deliver modelled actions within this timeframe.

3.3 Communication and Engagement

Community feedback on the draft plan articulates a desire for Council to empower the community with a vision of "Kingston in 2030 as a healthy, renewable and connected place to be". This reflects what is formally captured in Kingston's new Community Vision developed through the Your Kingston Your Future Community Panel.

In response, a communications and engagement campaign is proposed to focus on this, with the specific objectives of:

- Driving awareness of the urgency of climate action in order to meet out targets.
- Inspiring the community to see a positive, zero-carbon future for Kingston.
- Engaging sections of the community not currently engaged.
- Inspiring positive behaviour change.
- Promoting a series of inclusive, accessible and targeted deep engagement programs with specific stakeholder groups designed to drive positive behaviour change, alongside the ongoing awareness campaign.

Council's Climate and Ecological Emergency Communications and Engagement Plan is provided in Appendix 3.

A community advisory/expert reference group focused on climate action is identified as an important aspect of ongoing organisational accountability for priority actions (Figure 4 in the CEERP). Options for how this group will be structured and the terms of reference are currently being considered in consultation with the Governance team.

3.4 Audit & Risk Committee & CEO Performance Standards

As noted above, in February 2021 Council resolved to *"investigate the appointment of an independent climate expert to Council's Audit and Risk Committee, and that officers prepare a report for consideration to facilitate this outcome"*.

A report was presented to the Audit & Risk Committee on 16 June (IC21/861) where the Audit & Risk Committee determined that it was not the correct forum for an independent climate expert. It was determined that a more appropriate instrument for the consideration of climate related risk would be via a (yet to be formed) climate focussed community advisory/technical reference group which would be charged with regularly updating the Audit & Risk committee with relevant climate change information.

A similar principle applies in relation to requests for climate related performance standards to be included in the CEO's contract. The CEO already has overall accountability for the CEERP and its interim and overall targets, as is illustrated in Figure 4 and is responsible for ensuring Priority Areas are appropriately resourced. An action to include Climate Emergency Key Performance Indicators for the Executive Leadership Team is also already included in the CEERP.

3.5 Consultation/Internal Review

Since community consultation on the draft plan, Officers have re-engaged key Council staff to discuss changes to the plan as a result of recurring themes in the feedback, and next steps.

4. Issues

4.1 Cost

Through the priority Council actions identified, Kingston has the capacity to achieve a reduction in municipal emissions of around 2.8 million tCO₂e to 2030.

The expected cost over the next 7 years is around \$3.5 million (minimum), which equates to approx. \$1.24/tonne CO₂e. Capital expenditure not included in the Ironbark calculations is provided below:

- Building and installing EV infrastructure and associated switch board upgrades
- Building low emission infrastructure (roads and footpaths)
- Installing cycling infrastructure (new bike lanes)
- Delivering on action in Kingston's Resource Management Strategy
- Climate action already in progress across a range of Council programs
- Draw down or capture carbon from the atmosphere
- Climate change adaptation
- Ongoing monitoring, evaluation and reporting of project outcomes.

In order to have an impact by 2030, \$500K is budgeted for seven years. This is primarily Operational expenditure to deliver the actions contained in the plan.

4.2 Timeframes

Whilst the impact of Council action has been modelled to 2030, it is assumed that actions will have rolling commencement dates from 2021 and a duration of 3-4 years depending on the project type. In support of our declaration of climate and ecological emergency, high priority actions (those with the highest emission abatement potential) will commence in the next 12 months; medium priority actions by 2023 and low priority actions by 2025.

4.3 Community Expectations

Feedback from the community makes clear that while responsibility for the majority of emissions reductions lies with other levels of government and that Council should avoid duplicating the work of state and federal government, Kingston has climate change responsibilities aligned with its key areas of service delivery and operation responsibility, namely:

- Planning and land use management
- Traffic and transport planning
- Urban forest management
- Resource management

Where climate action is taken by Council, the community expects it to be well planned and that Council staff will be accountable for driving climate action within their areas of responsibility. Examples of priority actions detailed in the CEERP, include:

- Urban forest management
 - Protecting and expanding vegetation and canopy cover on private and public land
 - Strengthening biodiversity and habitat by planting appropriate native species, and restoring natural resource area ecosystems where possible
- Planning and land use management
 - Implementing a consistently high standard of ecologically sustainable design (ESD) across new developments
 - Working with developers to understand this consistent interpretation and application of ESD requirements and meet a high ESD standard.
 - Enforcing planning conditions to ensure consistent implementation of a high standard of ESD.
- Traffic and transport planning
 - Installing bike lanes, paths and other cycling infrastructure throughout Kingston which link key public transport routes and destinations.
 - Expanding the Electric Vehicle charging network through the rapid installation of public charging stations
- Resource management
 - Implementing state and federal government legislative requirements aimed at significantly reducing waste to landfill, increasing glass recycling, minimising e-waste and streamlining plastic processing.

In addition, the community see Council as a vehicle through which their vision for the 'Kingston of the Future' can be realised. Implementation of Council's response plan will be underpinned by an engagement plan which communicates to the community:

- Council is taking significant, additional, urgent action and we need the community to join us.
- Everyone in Kingston can do their fair share, to maintain a safe climate.
- We're part of the net-zero carbon movement taking off around Victoria and the world.
- We can do better than business-as-usual.

This will be delivered alongside promotion of a series of inclusive, accessible and targeted deep engagement programs with specific stakeholder groups designed to drive positive behaviour change.

5. Conclusion

No significant changes to the target or proposed actions have resulted as an outcome of community feedback and the budget aligned with the draft plan is still considered appropriate. A number of minor changes are proposed to the drafting of the CEERP to highlight and expand on issues raised through community feedback.

5.1 Environmental Implications

The global community is on track to reach 2°C of global warming before 2050. We're already experiencing the impacts of a 1.4°C increase. Between 1.5°C and 2°C, a non-linear, irreversible, self-sustaining warming may be triggered. Kingston's Climate and Ecological Response Plan is a direct response to these and other predicted impacts.

5.2 Social Implications

The effects of climate change also present substantial risks to our health and wellbeing, economy and society. The plan recognises that any major transition needs to occur in a fair and socially equitable way. A just transition, ensuring our most vulnerable community members are not disadvantaged is a priority of the plan.

5.3 Financial Implications

To deliver on the modelled actions, \$3.5M over 7 years has been budgeted which equates to approx. \$1.24/tonne CO₂e. Whilst a significant financial cost, for comparison, the cost of medium tier offsets is approximately \$10/ tonne CO₂e excluding certification fees.

The cost of inaction is significant. Deloitte Access Economics found that failure to keep global temperatures below 1.5°C by 2050 could shrink the Australian economy by 6%, remove 880,000 jobs from the economy and lose \$3.4 trillion in economic opportunity.

Ironbark identifies that the projects detailed in the plan have the potential to leverage significant community co-investment. The potential benefit to the community from energy savings as a result of this investment is significant (as much as \$650M to 2030).

5.4 Legal / Risk Implications


In April 2020, the new Local Government Act came into effect which lists “the economic, social and environmental sustainability of the municipal district, including mitigation and planning for climate change risks” as an Overarching Governance Principle. There is now an expectation that climate change will be considered in all Council decision making.

Climate action is one of three proposed strategic risks identified as being the ultimate responsibility of the CEO in Council’s risk management framework and a process through which the Audit & Risk committee will be provided with relevant climate change information is being established.


5.5 Resource Implications

While more work is required to develop detailed programs of work, resources have been allocated to create new positions to implement the priority actions. Plans are already in place to create roles in Statutory Planning, City Economy and Innovation, Traffic & Transport and Environmental Planning. These operational expenses are accounted for in the \$3.5M cost of the program over seven years.

Appendices

Appendix 1 - Summary of feedback on the draft CEERP (Ref 21/150193) 

Appendix 2 - Climate and Ecological Emergency Response Plan (Ref 21/150338) 

Appendix 3 - Climate and Ecological Emergency Communications and Engagement Plan (Ref 21/133315) 

Author/s: Susannah Kenny, Principal Environment Officer
Helen F Scott, Team Leader Environmental Planning

Reviewed and Approved By: Paul Marsden, Manager City Strategy
Jonathan Guttman, General Manager Planning and Development

8.8

RESPONSE TO CLIMATE AND ECOLOGICAL EMERGENCY DECLARATION

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Kingston's Climate and Ecological Emergency Response Plan

Community feedback summary



In February 2021, Kingston City Council endorsed the draft Climate and Ecological Emergency Response Plan for the purpose of community consultation. During March and early April 2021, Council sought feedback from the community via a range of channels. At least 200 individuals provided feedback¹ which can be broadly summarised as responding to the following:

1. Climate emergency (real or not real)?
2. Is this the job of Council (Council roles and responsibilities)?
3. What Climate action should Council take?
4. What can you do (involvement going forward)?

The following report is an account of the varied and insightful feedback that Council received. It has been compiled with a view to enable participants to see that their contributions have been taken into account, as well as assisting Council in realising its commitment to the Climate & Ecological Emergency Response.

In compiling this feedback we have been guided by three principles:

- Comprehensiveness – all responses are included, nothing has been selected out
- Traceability – participants should be able to recognise their responses and see they have been heard
- Faithfulness – where responses have been paraphrased, summaries are rigorous and accurate

A summary of feedback is provided below.

Appendix 1 comprehensively captures all comments in bullet form. The statements **in bold** are ideas or comments which were expressed several times and across several groups.

Comments in **orange** were collected via a facilitated, face-to-face workshop involving 16 self-selecting members of the Kingston community. Participants were asked to prioritise generated ideas using dots. Related numbers (x) indicate the total number of dots allocated to each idea. Ideas with 2 or less dots are not shown. Note that some actions are already underway by Council but included in this report for transparency.

Comments in **green** are survey responses. 142 surveys were completed. Related numbers (x) indicate the number of check box responses. Answers to key questions included in the online survey are provided in Appendix 2.

Comments in **purple** are from the 20 detailed emails to Councillors and council officers.

Comments in **blue** are Facebook comments – including replies to comments. In total 87 individuals commented via Facebook.

¹ This number is likely to be greater but some individuals responded via a number of forums so an overly conservative figure is provided

WHAT KINGSTON HEARD

Summary

There is strong support for Council's Net Zero by 2030 and 1.5 degree targets by those who accept the science. Additionally, there is an appreciation of the urgency and enormity of the task and a willingness to participate. However, there is not a consensus on Kingston's declaration of a climate emergency, with some feeling climate action is politically motivated, class based and "woke". A perception that Council is scaremongering or conversely not acting quickly enough is articulated, alongside expressions of fear – about an uncertain future, where resources are finite and without well planned, decisive action, nothing will get done.

Council has a responsibility to ensure its role in responding to the impacts of climate change as defined by recent changes to the Local Government Act are articulated. In addition, climate action by Council must be truly 'inclusive' and result in benefits the whole community can recognise. There is strong support for leadership and accountability within Council with specific recommendations including climate related KPIs for the CEO and a climate expert on Council's Audit & Risk committee.

Whilst there is a perception that Council's current management of roads, rates and rubbish could be improved, there is also a clear mandate for Council to:

- Improve amenity
- Reduce congestion
- Manage resources
- Lobby state and federal governments to take action

There is strong support for ongoing, individual involvement in Council's climate and ecological emergency response and an appreciation that individuals can have an impact when they work together to effect change. Some want to be kept informed whilst others see the benefit of a standing body of Kingston residents charged with holding Council to account. Whatever the mechanism, the community has a strong vision for the 'Kingston of the Future' which is healthy, well planned and built in a way that, 'normalises' walking and cycling between accessible and shaded activity centres.

Some have a vision for a 'renewable Kingston' that leads the way, globally for local government by sourcing energy from all-renewable sources, discouraging petrol driven cars and investing in drawdown – the use of carbon sinks (forests and wetlands) to remove carbon from the atmosphere.

To achieve this, the feedback is clear- implementation of Councils' plan must be underpinned by evidence, transparency and accountability and must not duplicate the work of state and federal government. Accountability, via range of organisational mechanisms are seen as key to ensuring final and interim carbon reduction targets for Council and the community are achieved.

Appendix 1

Climate emergency (real or not real)?

• **net zero by 2030**¹⁶ • Be ambitious and inspiring, so everyone knows and wants to achieve it • Not 1.5° but 0°, with additional drawdown • 'We go to the moon not because it's easy but because it's hard.' – JFK 1962 • Be ambitious, go for 1 degree! • If we act like it's an emergency we can do it in 9 years but it has to be aggressive • Easy to remember and repeatable target • Failing to achieve an ambitious target is better than achieving a less ambitious one • Over doing the solar cells is having an impact on flora and fauna. And drying up the land. Bird Life die due to heat radiation etc. Change for the sake of change has long term effects on future generations. Let's be responsible Citizens and thoughtful leaders for economic and social development + sustainability • No evidence to support a Climate Emergency and a waste of tax payers resources • Don't waste our rates on something irrelevant to our current lives. We will have technology to deal with it • **Its now or never** • You have little understanding of the dire nature of this situation. The time for talk was 20 years ago • **There is no "emergency"**, this is a waste of ratepayers money. There's no shortage of scientific data to refute the claims of climate activists, and there's no "emergency" that requires ratepayers money be spent like it grows on trees • **net zero emissions by 2030** across the Kingston community with ambitious interim targets and a clear plan to take action to achieve each target • important to aim for zero Kingston 2030 with a 1.5 degree cap on temperature rise • It's stupid and a waste of money • You are wasting our money on this! Your extremist agenda is rubbish and unacceptable • CO2 it food for trees and plants. One day of emission in Australia equals 18 days in **China** • **A growing fatigue and weariness from the community with 'woke agendas'**. Interest groups manipulating the community • want to bring up my family in sustainable, stable, natural environment; low emissions, vegetables, natural habitat. Our future depends on it • **I worry about our future our livelihoods and environment**. Kingston now has to make sure that the rules and strategies it uses for planning, transport, housing and food security are put on a truly sustainable footing • share targets with the people of Kingston so that we can get involved! • The Plan. It's excellent • understand the urgency of the climate and biodiversity problems we face, and the need for action • **Support the target of Net Zero Emissions for Council Operations by 2025** • Thanks for the leadership • **Congratulations** on outlining the need for action by all of Kingston • strongly endorse this position • Not urgent enough • A 'Them and Us' approach is not productive • education leading to a commitment and ownership by all, from the CEO down, of the Emergency • plastic and waste free next council event • **Need KPIs for senior management and set dates** • Get the Urban Forest Strategy done now. We shouldn't lose time. Failing's not an option • Include all emissions inside and outside the municipality • A hothouse earth has real ramifications for Kingston residents • melting the Greenland icesheet could raise sea levels by 7 meters, putting most Kingston dwellings, business and schools under water • Nature says the weather is tracking towards upper climate predictions • a 1.5 degree temperature increase is not a safe place to be • Delaying the mission is equivalent to denying the problem • The Australian climate has already warmed 1.4 degrees • Kingston and communities like ours are the most vulnerable • the cost of doing nothing is catastrophic • Australia is becoming a dumping ground of old technology cars • vital climate action will be cheaper than the Covid response – it doesn't have to be expensive • many of the changes needed are profitable investments and will establish new industries and employment opportunities • **Zero by 2030 is achievable** • Stop wasting my money on climate alarmism. Won't for anyone supporting this extremist rubbish • Congratulations • Support the targets • The climate is already unsafe • A responsible local government takes action • what will we tell our children? • Hope is fading while grief grows • We have already reached tipping points • why isn't the climate emergency front page? Information and communication is key • Business as usual is not an option • Australia is regularly subjected to the 7 plagues • Extreme weather is becoming more frequent and extreme • Australia has the highest extinction rate in the world • Kingston's emission per capita are obscene • urgent action is required • net zero emissions = clean air, fresh clean water, food security, better health, a strong economy with jobs creation. It is a win win situation! • the climate crisis is an existential threat • increasing climatic instability is a threat multiplier • I feel grief, dismay, fear • the future is unthinkable • its almost too late • the response plan is a vitally important initiative • 40% reduction in community emission by 2025 is appropriate • **our climate is already unsafe** • Kingston has a responsibility to make a difference • don't understand how actions are prioritised • council needs a clear plan to achieve ambitious targets • environment first, profits second • the global pandemic is NOT linked to climate concerns • Kingston residents are NOT amongst the highest emitters in the world • there is a growing groundswell to abolish local council • the earlier we act, the easier it may be. And conversely, the longer we wait the worse it gets • **Aprils fool's prank?** • Agree with Greta Thunberg on stealing dreams and childhood • don't want this fake climate change to increase rates • so many ignorant and uneducated people commenting • The smartest people have raised the alarm, we'd be smart to listen • Plan to live with it – it's part of nature • I'll back the 17,000 scientists and engineers at NASA • people believe what they want to believe • the guy who built the desal plant lied and made a lot of money • Look up definition of 'emergency' author • Is this a Facebook page for Kingston's sister city in China or India? • Is this a group of Climate Change Deniers? • This is a rational non-brainwashed, **non-woke group** • **Your conservative 'gut feel' doesn't defeat actual science** • Climate change is real but it's been proven by scientists to be a cyclical process • The residents of Kingston won't take alarmist rubbish • Definition of a Climate Denier: A person that researches a subject and then uses logic and critical thinking skills to form an educated opinion instead of just blindly believing whatever they see on TV • **There is no emergency. It's a pack of lies** • For some reason, this post has been like a magnet for sceptics and climate change deniers! • the Day Council Rates Go down to 50% and interest rates get Up to 5% for home's: Climate change will Happen. All other crappy talking will leave US Like Mars • Do you actually believe those figures? • a global community of scientists peer reviewed the IPCC research. **Accept the evidence** • Nothing has changed in our lifetimes • Climate scientists are unanimous that climate is changing and humans are the cause. Let me know which part of the IPCC research you disagree with, and cite peer reviewed published science to explain why • first demonstrate that climate change is NOT happening (via peer reviewed research publications) then start looking for motives why the climate scientists are in 100% agreement (that it is, and we are the cause) • your feelings can't refute actual science • the northern ice sheet is the largest it's ever been • it was Global Warming then it rained so now it's called Climate Change! What's wrong with you people? • Add the ozone hole too! Oh, I think it's closed now

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•global warming also means that parts get colder •People didn't bother listening •Stop listening to Alan Jones and start reading science •The planet has existed long before man was around - some 7 million years •To think the earth will end in the next twelve years is ludicrous. It will exist for as long as the sun exists which will be long after we are gone •According to Tim Flannery Perth was going to be a ghost town by now and all the eastern states would be running out of water •only the sheep greenies believe this crap •alarmist claims will date quickly •the ABC is biased • **Get with the science, business & long term** •If you have to talk about, there is Climate Change Consensus and you know there is no Science that supports it

Is this the job of Council (roles and responsibilities)?

•Indicating that if Kingston can meet a specific target we could avoid a 1.5 degree increase is just irresponsible! China produces 3.5 Btpa of carbon vs Australia 900 Mtpa •Increased car traffic on South Rd is causing more noise and air pollution •It is not an emergency – this plan is **misleading and scaremongering**. Focus on minimising emissions and impacts on the environment. Climate changes all the time - always has and always will. Be more responsible in your planning and approach to this topic, surveys and plans •lack of care from Council and vandalism has turned the foreshore into a degraded and an urban wasteland. Owners of property along beach road have no right to diminish this resource. Plant trees along all roadways as a carbon sink and a way of reducing the heat build-up in the urban environment •The solution is simple, capture carbon with trees. The decision about building train depots instead of parks in Heatherton is a big disappointment •Please actively push hard and advertise/publicise efforts and incentives to help achieve net-zero as soon as possible. In particular ensure it applies to everybody (including renters) not just certain groups/industries/individuals. Affordability and ability for everyone to be involved in the solution and change is crucial •Focus on shopping local and potentially working local. Prioritise local businesses in this plan •Do something real. Avoid schemes that look good but in the end cause more problems than they solve •Look at extreme weather protection eg beach erosion plans/prevention. Leave all else to home owners decision making and government initiatives •Other areas are being neglected by Council due to money being allocated to unreachable targets. Climate change is real but to leave it to the State and Federal government departments who have the resources. Council is there to assist and serve their constituents not change the world •**no increase in rates to implement ANY of the above** •The plan is fairly comprehensive. **Make enacting the actions Council's number 1 priority** - superseding the normal actions of the council. Take a lead in enacting the plan and motivating the community •it's a **really impressive document** - more so than I'd expected. It's value ultimately depends on how far it actually drives/motivates action of course •We as a business try to lead our community by making sustainable practice the only practice. We would love to see Kingston leading the way to make our city a sustainable businesses city. This is a move that would require a **whole of council shift in momentum towards action** •People want to go back to "normal" •need to dramatically change our behaviours & energy usage •not everyone is financially able to do their bit •I'm too old to ride a bike •Vic govt should use emergency powers to legislate to protect our environment. Can all local councils who have declared a climate emergency in Vict together with all the supportive agencies and groups advocate to our local MP's to act for all of us to get action now in law at a state Victorian gov level •It is simple - **solar panels, wind farms, 21st century waste management**. Commence the provision of green generation of electricity to 1. lower emissions from coal-fired power & 2. provide the alternate power for electric vehicles when these become affordable. New developments should have land and tree plant offsets •a stronger approach with property developers is needed. they have a key role in what property appears on the market and the resources to ensure it is environmentally beneficial but current practices clearly demonstrate they will do the bare minimum achievable at the lowest cost in order to meet standards. what is being produced under these controls currently is of very little benefit •This is a waste of public money. Not sure what vegan put this survey together but it is a joke that the council should be embarrassed for •I'm not sure this is a council issue •Local council should not be focusing on this. Residents do not elect you and pay rates for you to do this. It is outside of your remit. **THIS IS NOT YOUR AREA OF AUTHORITY!!!!** •There is climate emergency. Please stop lying. Please stop brainwashing the young people. Please stop wasting my rates on this rubbish!! Please Just do your job by taking care of local issues only •This is outside council's role under the local govt act •Great effort. Please keep it up •very happy to see these actions by council. Would still like to see increased tree planting (ribbons of Green) along with other initiatives •**Love this work**. Happy to pay higher rates if Kingston leads the way!! •really important work, very glad to see council embrace the challenge. One really important aspect is for the council to transform its own operations and demonstrate leadership to the rest of the community •Hurry •Council should not think of this as a side element of their activities, it should be included in all planning and actions taken •as a low lying suburb, we realise we cannot avoid climate change impacts such as rising sea levels so we need to manage it to continue to make the area a good place to live •Council has an important role to play to achieve this, via for example public forums with climate experts, clear information in Council's newsletters and emails etc. When information comes from an authoritative body, people will listen as they did for Covid •include measurable targets and time frames •the Role of Local Government in the Climate Emergency Response is defined by the **Victorian Local Government Act 2020** •Council and the community need to do more to prepare for more intense, frequent and severe weather •Kingston can set a gold standard for local action around the world •leave HOW to achieve the to managers and officers in consultation with experts and the community •ratify and support officer decisions •**Council Vision = Kingston as a renewable community** •share costs of action equitably across the community, with the richest paying the most •Kingston needs a mission to inspire the community to achieve net zero b 2030 •take risks, learn from mistakes and achieve great things along the way •start enacting the plan as soon as possible •stop writing plans and strategies – **we are desperate for council ACTION** •Increase Kingston's tree canopy •Increase freshwater wetlands which act as sinks for carbon •Protect the Carrum-Carrum wetland, its a significant carbon sink and makes up as significant part of Kingston •all levels of government fail to take meaningful action •our children won't have a safe and liveable future •council has an important role to play •awareness clear information/ education is key •reflect net zero by 2030 in all council strategies and plans including transport, housing and food security •best

practice governance practices •interim targets •clear accountability •**KPIS embedded in all roles including CEOS employment contract** •there is so much local council can implement to better support the community to reduce emissions •make decisions based on expert advice •I will vote for government representatives that show the strongest climate leadership and action as a matter of priority •Kingston's plans and strategies need to put us on a truly sustainable footing •Councillors have an opportunity to be remembered as people who advocated for a zero carbon path during the early and important days •don't tell people what to do, inspire and provide a pathway •stick to your remit – don't replicate what the state and federal governments are doing •woke agendas and scaremongering by council is irresponsible •don't be puppets of noisy and manipulative alarmist groups •**Stop wasting our money!** •Saving the planet a good investment. In Germany 10 green jobs were created for every job lost in mining •If you think you are a superhero, go save the planet, but **don't touch our money!** •why should you benefit from the time, effort, money and labours of others? •fix our foot path •Do something useful for your electorate ...leave that subject at the State and Federal levels! •Stop permitting dog kennel homes, made from unsustainable materials, without eves, that need cooling above 18c and heating below 17c •**Stick to Roads, Rubbish**, Residential support investments and cost efficiency and effectiveness in all your operations. It's that simple •Yes we must do something fast. Or else we'll all go under •It is Federal responsibility not local Gov, we are not in city of Yarra??? •Waste of time and money again !!!!!!! •Stop increasing rates every year for nothing •We don't want this fake climate change increase our rates. Stop wasting our money •**Stop stop stop involving local council into federal business.** You people on council are not important. **Your job is to organise roads, rates and rubbish.** Get over yourselves and do your jobs •Plant more trees and get back to core business This is a Federal issue •Wake Up, participate, global ideas, local solutions, thecnologically transparent democracy. •Instead of being concerned with the air around you be concerned with the parks, the gardens, the beaches, the service you are paid to provide, the weather is a federal issue not local council concern. Stick to your scope •Nothing to do with council and virtue signalling wannabes •Stop wasting ratepayers money and get back to basics for councils. You probably create a whole department with a costly senior management •Councils obviously have too much money. If they feel the need and can afford to consider something this unnecessary •Look after the parks and empty the rubbish bins. Anything else then get voted into Federal Parliament •Weeds everywhere •What if EVERY nature strip actually had a tree? Bayside streets put Kingston to shame. Such high and mighty realms, while the basics are not sorted. **Plenty of work to do before wasting ratepayers money on this sort of political nonsense** •Not sure what section of the **Local Govt Act**, section 8- Role and powers of council - this nonsense has any relevance too •get back to cleaning gutters the streets and the beaches they are filthy, and put out all the weeds in the paths and parks instead of poisoning - where do you think all the poison ends up? Lazy! •Stop wasting ratepayers' money. Fix the Don Tatnell pool •**A complete waste of ratepayers money.** Why do these people think they can do what they want with our money •Stop being so stupid and easily lead •stick to rubbish collection and street cleaning, don't get involved in political movements. I'm over governed as it is.... leave me in peace ... •I agree •**thank you** City of Kingston for thinking about this. Action is required at many levels. Asking what the community sees as the priorities and their ideas is a great start •local government can't effect any change on the subject. It's a waste of resources which furthers the problem of climate change. And your simplistic support is encouraging inefficient behaviour - stop it •needs resolving at many levels, from individuals to global initiatives. **Glad something is being done by my council** to resolve this complex issue and collecting everyone's views. Democracy at work •Council can't move the needle on climate change. Provide resources to the federal government which can enact meaningful change – if resources spread too thin nothing meaningful can happen •Coming from the council where a man can enter into the women of the year awards!!! •Council is all promise and no action •**Just collect the rubbish and keep out of politics.** Chardonnay Socialist Councillors stop lecturing and wasting rate payers money on social engineering •brainwash the kids... that'll work •Climate change is real- but Council can't fix it •Council should not be involved •**Everyone should do their part to reduce pollution and keep planet liveable** •Council have no power to introduce useful legislation. Self-pleasuring waste of money •Every Australian should be anti-pollution. Keep Australia beautiful •local government doesn't have the expertise to clean up pollution so they're wasting finite resources •Councils shouldn't be involved in climate change, for the same reason I don't buy my broccoli at the butchers. It's not their business •Reducing pollution is up to YOU and ME. Council can and will play a strong role building more energy efficient homes that reduce our carbon footprint •Council determines what can be built. Energy efficient homes is in their power and remit. I endorse them to exercise that power •the state government determines how energy efficient new homes need to be. It has nothing to do with local council. Council just enforces the zoning, which is also largely dictated by the state •The council have development overlays that specify many building restrictions and specifications •The Cheltenham Pennydale proposal is an example of locals wanting to change something and state authorities denying the change even though the local government supports •Local planning laws differ between councils •Council can't do anything unless fed government does •Chelsea Woolworths empty and car park full with beach goers. How about fixing things that affect rate payers •How stupid •Stop allowing uncontrolled development, the destruction of trees, traffic congestion, etc etc., then we would not have to waste money on another 'feel good' initiative •Kingston Council wants to change the climate. Good luck with that •Just do what your paid to do. Its theft of taxpayer time and money •**Fix local issues like roads rubbish and parks before trying to save the world** •You could fix our foot path •Stop wasting money on politics and start putting rate money to what it is meant for •**Move the Train Yard.** A train stabling yard instead of the promised green wedge parks in Heatherton is worth the intervention. This climate and ecological emergency can start here •**How about sticking to roads, rubbish and recreation, get that right first.** Climate emergency, what joke •Just stick to what you were elected to do •pages of alarmism and some questionable Tim Flannery-worthy calculations of present risk •just goals and targets to lower electricity usage in council operations, and support businesses and residents to do so by way of sustainable building design and minimising unnecessary use of power-hungry inefficient appliances etc. **Nothing too outrageous** there •Increase green spaces and protect the natural environment reserves and ecology – can't can argue with that •recycle more of the stuff getting sent to our tips, another no brainer •buying carbon offsets to negate the impact of emissions is a waste of money •how many positions will it take to enact the plan? •some public service positions are useless and the 'climate emergency' part is hysterical but this role could be somewhat relevant and moderately useful. At least we don't have Yarra Council •We must make a stand now. Stop allowing those loonies gain any ground. **Alarmism and extremism is unacceptable.** Period full stop. Green

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ideology prevents effective land management resulting in overwhelming bushfires and lack of water •the state government and DELWP has mandated that all local councils must come up with a climate change action plan by 2021 •the council is accountable to residents and ratepayers •the lefty lunatics in the state government decided that everyone needs to take climate emergency action •ease off on blaming Kingston – they had to throw this thing together •it could've been a lot worse...**we could have Yarra Council** •Council using climate scaremongering to justify money grab. Joke! • Don't think the local government act says anything about climate change •Stop wasting our money! •Fantastic! •**Roads and rubbish are your jobs.** Leave other things to the adults •Just please **do your jobs.** Get that right first... leave politics to the politicians •Gaps in nature strips all over Kingston. Plenty of room for the council to get REAL green. Not political green •Climate change is not your business. Stop having delusions of grandeur. Council officers have neither the talent nor the capacity to do any more than that. If you did, you'd be working for private industry •it's EVERYONE'S business starting with each of us & from local council up! •it's not local council's job •**Great policy ideas •Keep up the good work Kingston Council.** The residents of Kingston need clean green environment and not industrial dust and pollution •feel over governed.... leave to state and feds please •Stop wasting my money and do your job. If Council did what it was paid to do properly, it'd be saving the planet •better curb side rubbish collection and better footpaths •look after and trim the over grown trees that are endangering your ratepayers •**NOT YOUR JOB!!** This is deception 😊 No one in the local community wants THEIR MONEY wasted on this. If you cannot do your job, resign. Deal with local issues only •Nice one, Kingston. Lovely to see you/us taking action •Draft to grab money!!!! •LOCAL council - not world council. **Stop wasting my money** •think global act local. We all have a part to play •abolish local councils and have roads and Rubbish run by state gov administration •do your highly paid jobs or prepare to be fired •Well done. Our household will be voting for the government reps who take the strongest climate action •This is the defining issue of our generation and our children's generation. Your plan gives me hope •Great to see Kingston join forces with other councils taking action •City of Sydney operations went 100pc renewable in July 2020. Great economic opportunities in your plan too, for local industry •Well done Kingston. Not everybody understands the importance of acting now to save greater costs later. There is a lot of work to be done to reduce our emissions, and that equals jobs. **Not a waste of money at all in my view** •Stop it •**A waste of rate payers money. Just stick to your local mandate**

What Climate action should Council take?

•Set interim targets for each year 2020-2030 (i) so it matches council budgets, and (ii) 2030 can seem a long way away for some people and can cause inaction •**Reduce-Reuse-Recycle-Upcycle-Substitute**¹⁸ •**Assist households with grants process for solar panels / publish an 'easy guide'**¹⁵ •**Ban single use plastics in businesses and encourage circular economy**¹⁴ •**input into Victorian Neighbourhood Battery Initiative**¹⁴ •Council to only purchase electric vehicles / Create a council EV fleet¹² •All new developments must include solar (no gas)⁷ •Make safe cycle and walking routes⁷ •All new developments must include double glazing and energy efficiency⁵ •No new gas installation⁵ •Virtual power stations incentivise and promote⁵ •Electric vehicle charging infrastructure⁵ •Encourage council employees to drive more efficiently⁴ •Council to set an example by replacing gas in all council buildings³ •Identify highest industry emitters and work with them to switch to renewables³ •Council run (via volunteers) second-hand good delivery service³ •Innovative financing for solar panel installation on homes/rental properties - zero% interest, \$0 outlay, paid off through savings³ •**Create forests within the green wedge**¹⁸ •**Reinstate wetlands and grasslands**¹⁴ •Advocate for more research into capturing CO2 from landfill¹⁰ •Plant more street trees¹⁰ •Create offset co-ops⁹ •Natural Capital Tax⁹ •Set a minimum number of mature trees on each private and commercial property⁹ •30% green spaces in our community / Create a Kingston Urban Plantation⁹ •Retain existing trees⁸ •More community gardens with urban forest as part of the design⁸ •Allow free verge planting to 1m [high] without permits⁷ •Ocean seabed forest – carbon sequestering 'green kelp'⁷ •Offset opportunities with rates notice and promote offset opportunities in council newsletters⁶ •Support regenerative farming in green wedge agriculture incorporating indigenous biodiversity⁶ •Nature strips are a community garden with edible and useful flora and fauna⁶ •Blue carbon drawdowns in wetlands alga ('teal drawdown')⁶ •Green waste recycling in schools for composting community gardens³ •Council outlines ways households can offset household electricity and flights (name companies)³ •**Community 'Zero Waste Expo' showing demos on recycling/waste**¹⁴ •More bulk food shops where you can fill your own containers¹² •All schools equipped with solar power¹⁰ •Sustainable supermarkets³ •Create image around Kingston being leaders in this space, something for community to be proud of and engaged with (8) •Educate about reducing power usage eg. Waste usage⁷ •Use the challenge of achieving net zero by 2030 to deliver a clear and inspiring mission for the community to achieve together⁶ •Sustainable transport – bikes, walking paths, encouraging social interaction⁶ •Regular reporting to the community on progress towards targets and celebrating milestones⁵ •Community gardens (Chelsea's is already full, with a wait list)⁵ •Go out to schools and give free talks about impacts of climate change⁵ •Pay 10c to recycle bottles and cans⁵ •Donate or support an electric vehicle for Edi Grocer group, with large advert on the side 'electric vehicle, supported by Kingston Council'¹⁴ •Community recycling for odd items – CDs, X-rays⁴ •**Support low carbon living**³⁰ •Future-proof business and industry⁷⁶ •Transition to sustainable transport⁷⁸ •Transform Council operations⁴⁸ •Draw down or capture carbon from the atmosphere⁴⁹ •Adapt to the impacts of climate change⁴² •Work with developers to better understand and apply Council's existing sustainable design requirements²⁹ •Work with the State Government to phase in requirements for all new developments to achieve net zero emissions or be net zero emissions ready⁶⁸ •Better enforce regulations to ensure a consistently high standard of ecologically sustainable development is implemented⁵² •Provide incentives to encourage developers to submit planning applications that meet a high standard of ecologically sustainable development⁴⁰ •Facilitate a solar scheme for renters²⁴ •Support administration of community-led renewable energy projects³² •Engage a specialist facilitator to support business and industry to transition towards more energy efficient technology and away from gas as an energy source²⁸ •Contribute to the planning of a rapid electric vehicle charging network and map across the South East region³¹ •Identify and set aside land for electric

vehicle charging points, including select parking spaces¹³ • Facilitate installation of an electric vehicle charging network by private charging companies⁸ • Provide policy support for car share programs⁶ • **Provide an education program** that supports electric and other low carbon vehicle uptake¹¹ • Keep open, green space open and green. Resist developments of green areas at all costs • More trees planted around Kingston and charging stations for electric cars • dis-allow fire pits when they cause invasive air pollution to neighbours • Emphasise regreening streets, shopping and commercial areas • Stronger tree planting/retention plan • More parks. Connecting walkways/ cycleways from parks to stations/bus stations and community buildings from libraries, hospitals etc • Prohibit houses being built where the plans and reality are from different planets • Capture drainage water during down pours that can be used for watering • Create a rule of building ground or one level units on one block of land • Flexibility for people to live tiny houses • Energy efficiency retrofits for homes, you say you will have educational workshops for providers. But why not **educate Kingston homeowners** too, who often do their own home maintenance? Eg, online information with guidance and benefits of updating home insulation, benefits and examples of changing to electric HWS or central heating over gas, of considering alignment of extensions & windows so that they are solar efficient, and keep us informed of benefits in EV uptake? Re: EV's - **lobby State/Fed Govt** to provide more incentives to encourage EV uptake - with higher tariffs (or registration) on ICE vehicles, trial free EV charge points and priority parking at shopping centres • Dramatically increase the number of trees in public spaces (nature strip, parks • Cover all public parking spaces with solar roofs. This will provide comfortable shaded parking spaces and generate hundreds of thousands of square metres space for solar PV, enabling Kingston to generate it's own electricity locally • **Engage the Victorian Government** to expand on the current solar power incentives, and also provide solar power incentives to all households without the income tests. This has been what stopped our household from considering installing solar power system with battery combination. Consider harnessing community power to change rooftop colours, and road surfaces to deflect sun light to reduce heat island effects. This may not help reduce global warming directly but can help indirectly by reducing power consumption to cool homes and businesses • consider electric cars that rely on power from the grid, do not significantly reduce the carbon footprint of private car transport. Potentially, an electric vehicle could emit more carbon dioxide into the atmosphere. Hybrid vehicles for urban use are a temporary solution. The best solution for vehicles is one based on hydrogen • I would like to see a recycling station (not the waste transfer station) where people can recycle items of specialist recycling services such as Xrays CDs and polystyrene • Look to Darebin, Yarra and Moreland Councils regarding their free education webinars and zoom sessions they have been running. A really engaging way to **educate the community** • It would be great to **encourage less waste** by offering smaller red bins (we currently fill 1/4 of a bin a month) and offer rebates for reusable nappies and sanitary products. More mention of positive green steps in council communication • adjust zoning policies to concentrate high density residential buildings to areas with a CBD-potential, instead of being scattered along the Nepean Highway. And aim to boost footpath accessibility in these areas (including railway crossings), so people are encouraged to shop local and not to waste time on making U turns on the roads. Encourage people within walking range not to drive. Publish data about electricity saved via using solar panels. Technological take-up is so much easier when the positive outcome is visualised • Adapting to the adverse impacts of climate change is not enough. Collaborate with Victorian councils to develop an action plan that targets the source of the warming environment - coal and fossil fuels. • Advocate for a culture of environmental growth, not economic growth • Communicate exactly what is going to be implemented by the plan, rather than just a broad idea of "moving towards net-zero" • move towards renewable energy • Provide economic incentives for solar - this would help so many families • support a community solar facility • bike rentals would be fun and reduce emissions from public transport and cars • increase farmers markets, sustainable business markets, and provide economic burdens for shops such as \$2 stores who's stock comes primarily from overseas etc • really get behind this plan. We have everything to lose and so much to gain. **Its now or never** • follow leading edge examples and join the Cities Power Partnership • learn from those doing great things across the country and share what we are doing too • Tree canopies are so important for heat island effects, biodiversity and aesthetics. **plant new trees and protect the old ones.** I'd love a community program like they are doing in Singapore where they are planting as many trees as they can every day of the year! **Thank you to all Councillors for supporting the plan and the targets. I feel proud to be a Kingstonian again!** • Stop waste inc use of paper within council - eg agendas of council meetings could be printed on much less paper by not having header pages for each section, etc • focus on developing more green areas. Planting more trees & having more parklands/reserves will help local wildlife & reduce carbon • more parklands, more trees, more green spaces to breathe fresh air. Protection of local plants and wild animals • more emphasis on bikes and public transport to connect the chain of parks to bike lanes on roads and to train stations. Also more convenient uber style buses that arrive at your home • travel less: encourage living and working locally. Provision and encouragement of local working and shopping hubs. **Support electric and other low carbon vehicle uptake:** update cycling and walking plan to include sustainable transport. Encourage local facilities that will enable local living. **Improve sustainable building design** to minimise electricity and gas use, encourage appropriate building codes to achieve this. Passive thermal designs for both new builds and retrofits. **Grow urban forest** which will reduce hot spots by providing shade (see hot spot map). Major opportunity in Chain of Parks. Encourage and provide leadership to **install local sustainable electricity generation facilities to minimise use of non-sustainable sources.** Use public spaces and environment advisory committee to develop plan and make comment. Investigate community share plan in council photovoltaic generation facility for those who cannot use their own roofs • **Plant way more trees!** It's simple, possible and we could call Kingston the Green council REALLY! Avenues of trees everywhere. Ban all new estate developments from clearing trees. They should design around them. More waterways to be fitted with straining apparatuses so no rubbish gets to the bay. PLEASE! • Regular updates back to the community on progress across the initiatives particularly given the time frames of outcomes on some initiatives can be very long but need to start asap to have the desired impact • **Strong advocacy** from Kingston to other councils (across SECCCA and further) and also across State Government would ultimately make Kingston a role model for other councils action plans • why did CLG instructs staff to return BOTH of their computer screens when we're still predominantly home based? • Reduce discussion about EV and **focus on walking, cycling and public transport.** Include role for **advocacy** within Council to seek out **planning scheme changes** to reduce car parking requirements and other sustainable outcomes • Glad Kingston are including **placed based solutions** to the climate crisis. There is much we can do in our area to reduce emissions and showcase this

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positive response as best practice for surrounding councils •You are wasting ratepayers money on this. Instead take real action to improve the environment, buy **planting more trees on council land, improving access and facilities on public land** •Avoid multilevel blocks of congested apartments that create unwanted heat, take light from surrounding housing, create congestion, visually impact on local areas, impact on wellbeing and how one feels about the area where they live •More emphasis on Council's ability to empower and mobilise community groups. Elevating their voice through help with governance, help applying for grants, access to spaces to meet and share ideas, expanding their social media reach etc... Aiding ground-up change •Within the planning department of Council, form a regulation that demands solar power and solar water heating be applied to every new build. Also water tanks must be installed with all new builds •With established buildings, all must go over to solar power and solar water heating with the help of an incentive scheme and low rate loans regardless of whether the building is owned or rented •A move away from financial institutions that fund the fossil fuel industry must be a top priority, as it will have a significant impact •Moorabbin Airport Study •Bikes only on Beach road on Saturdays (family, market and holiday type environment encourage tourists all over the state, safe and ecological first for Australia, huge carbon benefits) •Electric cars/scooters/share car schemes with reward and recognition programs, vouchers from council, rate considerations, awards. **Solar or roof gardens as part of development**, new awards for changing, incentives to change from council •All naturestrips have green foliage- no grass no concrete, enormous green footprint in the making. Free worm farms so green waste can be harvested - we have saved the council 1000's of tonnes by filling a compost bin every day •Charge every car in every street in Kingston in summer that is not a resident – this will encourage use of Kingston's great and accessible public transport along the beach to Frankston. I estimated \$5million is being lost per weekend because of conjection •**Provide more bike paths**. Give preference to cars and buses using renewable energy. Ban diesel vehicles •**increase our blue carbon along our bay and in wetlands**, protect our green wedge and stop greedy developers •substantial loss of trees everywhere when houses are replaced with a large new build or many apartments •This is of such high importance, **vest responsibility for the plan in the CEO's contract** •really important to have clear actions laid out in poster or brochure format for people to take - as not everyone would be aware of steps they can take towards the goals. Posters on trains and buses? •improve public transport. Currently trains are often late and really packed, and every bus should be a Smart Bus. **If public transport was reliable, more people would use it** •more about protecting our beaches; consideration of solar roads; use of recycled materials in playgrounds and green spaces; and composting bins in park spaces and streets •More community vegetable gardens or free or rebated home vegetable garden growing help. **Sustainable food education programs** - focusing on plant-based diets •new walking/bike paths along railway line are great •better access for pedestrians everywhere overpasses over busy roads •wider and well maintained public access to reduce reliance on cars •prefer rates to be spent on roads, rubbish and other local council services. Climate change is not part of local council responsibilities •put solar panels on all council buildings to offset electricity usage •increase the size of water tanks on council buildings to capture rainfall to be used in toilets and for garden watering systems •provide financial assistance to households to instal rainwater tanks to be used for toilets •provide financial assistance to schools and sporting clubs or other buildings with large roof areas to capture rain water to be put in an underground tank (like the MCG did a few years ago) to water playing fields or gardens •replace public toilets with composting toilets •insist property developers include roof eaves of sufficient size to minimise the effect of direct sunlight onto the walls of houses and businesses •ascertain how many houses don't have insulation or lagging around water pipes •Include in the Plan **measurable and achievable annual objectives**, for each year to 2025, then for 2030, 2040 and 2050. Ensure current **CEO and senior manager accountability** for meeting the objectives, commencing with the present - 2025 timeframe. Aim for the highest possible reduction in carbon emission by 2030, informed by world best practice •formulate a plan of action •Implement more recycling collection •Work with VBA to ensure larger adoption of passive housing •Some roof structures are not solar panel friendly. Organize a competition where designers can come up with creative ideas for more flexible north facing panel installations, for difficult roof structures, such as elevated metal frames and so on •**TREES TREES TREES TREES TREES**. Where oh where have you mentioned TREES. NONE of this will make a zacks worth of worth if you do not prevent tree removal and facilitate new tree planting and growth. Get one thing fixed before its too late. Take care of the trees, and the rest will follow and be easier •It seems the response is placed on the individual rather than the business who create such problems •more encouragement for recycling (10c cans), and responsibility placed on businesses for unnecessary or excessive packaging •easy systems for essentials- cheap stand rates for fruit and veg market sellers, more regular markets, places where you can buy direct •stronger focus on reducing emissions from electricity, plan to transition to electric transport and **transition completely away from Gas** •the plan is a soft start and could do with some more progressive ideas to kick-start what will prove to be a very big goal (net-zero by 2030) •**continue to lobby, advocate, to State and Federal levels of government**. Do not overstep Council's remit. Continue plant giveaways. Step up its installation of solar panels and continue replacing street lights with the low energy options. Strong and urgent consideration of solar panel banks in the Green Wedge. Plant out the green wedge to create 'urban forests' to mitigate the 'urban heat island effect'. ensure the water quality of the bay is kept healthy to enable our bay to be a functioning major carbon sink system. Remove the water outlet drain(s) at Mentone Beach or install gross pollutant traps. the Mayor and Councillors must show true leadership and set a genuine example. discontinue use of vehicles for all Council related activities, including council meetings •interim targets, and **key performance indicators in the CEO's contract of employment**, as well as shared responsibility. Environmentally sustainable design and energy efficiency with incentives for builders. Re-wilding areas and more street trees. Advocacy: State, Federal and International. Education and Incentivisation to encourage those who can best afford to support these transitions to do so. Minimise offsets. encourage rooftop solar. Encourage batteries. pumped hydro •assist people to access fresh, nutrient dense, locally grown food. Council has a clear leadership role in this area and phasing out single use plastics. Mordialloc Food and Wine festival 100% waste free •doing out bit to mitigate against further climate change required us to reduce overall emissions to zero as quickly as possible •inspire the community to go with it in achieving its 2030 goal •a myriad of actions are required to reach net zero •concurrently address overlapping social problems such as loneliness, gambling addiction, poverty, self harm, obesity,

depression •fund and implement planning principals such as the 20-minute city •prioritise cycling, walking and shared open spaces •other challenges can be addressed by taking climate action •**A KPI/Accountability matrix sitting with the CEO to drive aligned action** •**An independent climate expert on the Audit and Risk Committee** •**measurable performance standards (interim and overall targets) in the CEOs employment contract** •Opportunity for community oversight on the plan and its progress •Greater community engagement on climate disaster and its direct effects •Involvement of more consultants and external expertise in a forum/roundtable and on an individual basis to inform action •take more risks •empower and trust residents to make important decisions about matters that will effect them and their loved ones •Charge the new deliberative assembly with the task of overseeing and monitoring the implementation of priority actions •Local ward committees with their own Climate Emergency committees established under the same random selection process tasked with undertaking their own consultative meetings •kitchen table conversations – these draw on existing local networks and knowledge and build resilience and trust •**a standing body of Kingston residents charged with the responsibility of reviewing the execution of the Response Plan with powers to make recommendations to Council** •greater level of oversight and accountability from top to bottom •endorse the plan and take prompt action the six priority areas •projects should have timelines • does council management truly understand the problem and what is required of them? •Priority Area 4 should start immediately to show leadership • deliver a number of projects/ threads of the plan concurrently •relabel costs as “investments” •identify ongoing savings and benefits of climate action •Eliminate emissions from fossil fuel production of electricity – source all electricity in Kingston from renewable sources •install solar and batteries on all residential, commercial, industrial, council buildings •only source electricity from energy retailers that can prove they source electricity from truly renewable sources •accelerate the community approach to roof top solar •**eliminate emissions from use of gas** •replace all gas equipment with electric equivalents which source renewable energy •many zero emission alternatives are profitable •many care homes are already electric for health & safety reasons •emissions can be significantly reduced by a range of building efficiencies and standardisations •eliminate emissions from use of petrol and diesel •Kingston council leadership, education and actions will speed up the adoption of improved technologies like EVs •**electric garbage trucks, electric vans** •Facilitate the installation of EV charging infrastructure •we posses the means and the potential to achieve great things •Eliminate support of fossil fuel industries •eliminate support of animal farming •the question of how is best left to experts and the community and for council to ratify and support these decisions •eliminate indirect emissions that are produced outside of Kingston •draw down emissions •remove CO2 and other greenhouse gases from the atmosphere •planting trees is one of the best and cheapest ways of drawing CO2 out of the atmosphere •ambitious urgent action with interim targets •follow the science and apply drastic measures – like Covid •Zero by 2030 is a moral responsibility – we owe it to our children •decarbonise the economy •ensure the contractors and subcontractors Council employs have no involvement/work/projects with fossil fuels •divest: ensure council finances are not invested in any banks lending/investing in fossil fuels projects •use Insurers who do not insure fossil fuel projects or infrastructure •protect arable land •green our streets •develop our urban forest •reduce urban sprawl and high density areas •**zero carbon homes** •**more green vehicles** •incentivise solar and batteries •ban gas •support active transport •plant trees along the median strip of south road •public forums with climate experts •clear information in s Council’s newsletters and emails •hope and optimism is useless if not backed up by strong commitment and urgent meaningful action •**where are the measurable targets?** •**not an action plan** •include strategies to address access to fresh, nutrient dense, locally grown food •food security! •phase out single use plastics across council •waste free events •**the Local Government Act defines councils responsibility to mitigate and plan for climate change risks – councils don’t just do roads, rate and rubbish** •encourage the construction industry to be less wasteful, build more liveable homes that recycle materials and have passive ventilation systems •encourage renewable energy in all sectors of the community via incentives, education / information/ partnerships •carbon offsets must be greater than or equal to the carbon emissions that are being offset •drawdown by retaining and increasing vegetation and soil carbon, not by technical and chemical ‘fixes’ •encourage, educate and support business and industry, particularly small business to reduce emissions •electric vehicles must be powered by renewable energy •stop dissecting suburbs and green spaces with roads and freeways •develop industrial clusters served by efficient public transport •consider supply chain emissions and embedded energy in council operations and services •Adapting is key – phase out development close to the foreshore, waterways or land subject to inundation, flood retarding basis are key, rock walls are a poor substitute for natural coastal processes, textile sandbags and revegetation with indigenous species are better •Mandate minimum 20% of natural green landscape with canopy trees per lot and per development •ban astroturf •focus on the action that will result in the biggest emissions reductions •make big gains quickly - and then use them as examples to others •focus on community engagement- the community is the biggest source of emissions •people best take on board messages they hear from people they know and trust •misinformation and confusion must be dispelled by council to get cu through •everyone must take action •councillors should use leadership skills to communicate councils commitment to Zero by 2030 •a clear goal or mission statement will maintain the broad community- wide commitment needed •council training of volunteers to conduct kitchen table conversations •industry involvement in ‘kitchen table’ conversations •find community champions to inspire others to take action •**always include Council vision of Net Zero by 2030 in council marketing and promotion** •include impacts on emissions as an agenda item for all council decision making •appoint a climate expert to councils Audit and Risk committee •why doesn’t council only let half the cars drive on the road each day – like they do in other counties? •would toilet paper free toilets help reduce deforestation- a huge contributor to global warming and biodiversity loss? •why isn’t Kingston 100% renewable? •60L in Carlton is a great example of a green/ sustainable office building •drawdown a high priority •build fewer roads •advocate for zero waste supermarkets •rewild old landfills •more trees everywhere •support “friends” groups to plant more tress/ propagate seedlings and grow the urban forest •Recover, Renew and Restore like the Australian Conservation Foundation •renewable energy only Electric vehicles •Kingston Buy Swap Sell •divest from fossil fuels – also look at insurers •review the priorities given to actions in the plan •advocate to the state government to provide incentives to households and industry to get off gas •electrification of the grid powered by renewable energy •Electrification of transport, with biofuels for certain uses but ultimately powered by renewable energy •Get off gas – completely •Environmentally sustainable design and energy efficiency with incentives for builders •Circular economy, including nutrients in food with re-use of sewage waste to create

WHAT KINGSTON HEARD

a sustainable food cycle •re-wilding areas and more street trees •Advocacy: State, Federal and International •Education and Incentivisation to encourage those who can best afford to support these transitions to do so and sharing stories of those who have already acted to inspire further action •minimise offsets and purchase locally where unavoidable •electrify the economy – and source only renewable forms of electricity •encourage roof top solar – its local and keeps jobs and money in our economy •create funding arrangements that allow people to install rooftop solar with little or zero up front cost •create funding arrangements that allow people to install batteries with little or zero up front cost •encourage batteries at micro, neighbourhood and grid scale •support pumped hydro and off and on shore windfarms •rewilding •native food plants have lifestyle and carbon sequestration benefits •Kingston as a world leader •incentivise staff to catch public transport and commute using bikes •education throughout council leading to commitment and ownership by all of the emergency and their role in responding to it •capability and capacity building needs more prominence •encourage the community to take action once council is showing leadership •plastic and waste free events •rewrite the council plan, don't just update it •KPIs for council staff, starting with the CEO, with specific dates •get the urban forest strategy done now •plan should be more action orientated eg council buildings and council fleet •re-write some parts of the response plan •Reduce waste, recycle, reuse. If council has less of your rubbish to deal with, rates might do down •Reduce the population! •What if EVERY nature strip had a tree •Reduce car emissions by getting traffic moving, restrict development and deforestation. Check trees that are poisoned so they can be removed by developers •Nothing practical will happen. Let's reduce pollution by not allowing over development, reducing fuel emissions by letting the traffic flow along one way streets and safeguarding the trees on the large blocks of land. A quick and relatively inexpensive start •Reduce the population and stop dual occupancy. Multiplying population density multiplies social friction. The purpose of dual occupancy is increased rates and backhanders from the real estate and building industries! •Great idea - start with removing speed humps and synchronising traffic lights to remove traffic pollution. Then ban open fires and internal wood fires to reduce greenhouse gases. If you're serious, reduce the pages of council minutes to save paper and trees •How about knowing the capabilities of waste disposal companies before you give them the contract? Still using plastic bin liners on recycling bins! Ridiculous! How many bins in Kingston? How many large plastic bags going to landfill daily? •How about a local recycling plant instead of shipping our recycling rubbish to China •Consider keeping nature and the larger sized suburb blocks 'as they are', without building multiple unit blocks on them. If people want to live on top of each other, plenty of empty space in the high-rise city apartments. Keep the suburbs 'green' and with 'live-able sized blocks of land' for young families appreciate

What can I do?

•Community participation events – local produce market clothes markets stimulating circular economy³ •An event/activity to bring the community together – fun/family⁵ •A community forum. Fun/music, activities of cooking/growing/energy that are easy to reduce emissions⁵ •Install solar PV on all available sites, including rooftops & ground mount solar PV on appropriate land⁸⁴ •Form or join a community group to investigate opportunities for community energy³⁷ •Plan for the replace of inefficient appliances (heating and cooling)⁷² •Aim for net zero energy when building a new home⁴⁸ •Allow for maximum tree retention and consider green infrastructure when building a new home⁷³ •Future-proof your home for electric vehicle charging⁵¹ •Establish a co-operative to sell/share solar power³⁶ •Advocate to banks and other entities to divest from listed 'environmentally damaging' activities, primarily thermal coal⁵⁷ •Use public transport⁶⁴ •Participate in active transport (walking and cycling) over private car use⁶⁵ •Consider using car share programs²⁸ •Eat less meat⁷⁰ •Shop locally⁸⁹ •Buy renewable energy⁶² •Buy fewer disposable products, reduce waste, use your organics bin and recycle⁹⁴ •Offset air, other travel, freight and other unavoidable emissions⁴⁵ •Plan for increased extreme weather events such as heatwaves and flooding³⁸ •Consider purchasing an electric or low-emissions vehicle through an incentive scheme⁶⁷ •Install solar photovoltaics (PV) on all available sites, including rooftops and ground mount solar PV on appropriate land² •Achieve net zero annual energy use for regulated building services ahead of National Construction Code changes³ •Utilise Environmental Upgrade Finance to improve energy efficiency of commercial and industrial buildings⁴ •When building a new premises, future-proof for electric vehicle charging³ •Replace inefficient and expensive heating and cooling appliances⁵ •Trial use of low carbon recycled priority materials (glass, plastic, rubber, paper or cardboard) and recycled civil materials (e.g. soil, rock, crushed concrete, recycled asphalt pavement) in infrastructure projects⁵ •Source energy from renewable technology such as onsite solar photovoltaics (PV) installations or biomass boilers, or through purchased renewables² •Replace gas powered machinery with viable low-carbon alternatives² •Transition lighting at industrial sites away from high-pressure sodium and metal halide to LEDs² •Improve the energy efficiency of industrial plants and equipment through refurbishment, replacement, optimisation and more frequent maintenance² •ongoing involvement in Council's climate and ecological emergency response⁷⁴ •would love to buy an electric car but costs are too high •leading questions driven by minority groups eg. eat less meat - REALLY!!!! •a key point is missing for individuals. Smoking causes massive health and environmental issues • Enforce no-smoking laws, education and fines as a key priority. Cigarette filters are the number one ocean plastic • More promotion of the impact of a **plant-based diet** on the environment, as well as for people's health •a climate "watchdog" or Community Assembly composed of residents whose responsibility would be to make sure the climate actions are implemented and milestones achieved according to Plan •adopting a plant based diet is a positive thing! •adopt a mission mindset that matches the scale of the challenge, inspires action, overcomes delay, builds trust and develops unity •We'll be surprised by what we can achieve •Adopt a mission mindset •action must match the scale of the challenge we are facing •plan for the worst in order to create resilient communities •Its up to each and everyone of us now, acting together towards the common goal of creating a truly sustainable community •reducing emissions to zero is within our grasp •our behaviour drives demand •supply chain emissions must be considered and action taken •lets look back and say "we did it" •encourage others to take action •kitchen table conversations can build groups of like minded people to take action both

personally and within the community •want to be involved in helping council achieve these ambitious targets •together we can be strong advocates for change and sustainability – our future depends on it •A Priority Area includes meat consumption!

Key:

Orange = Workshop

Green = Survey

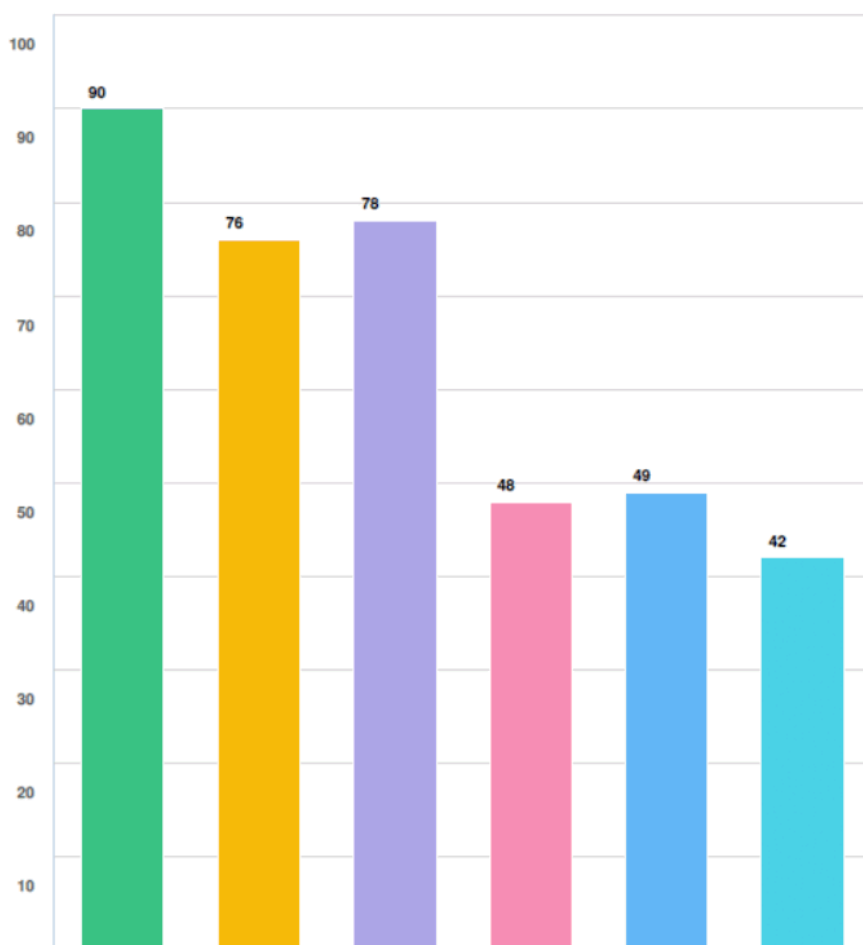
Purple = Letters/ emails

Blue = Facebook

WHAT KINGSTON HEARD

Appendix 2

Council has identified the following priority areas. Please choose the three areas you think are most important in terms of climate and ecological emergency response.

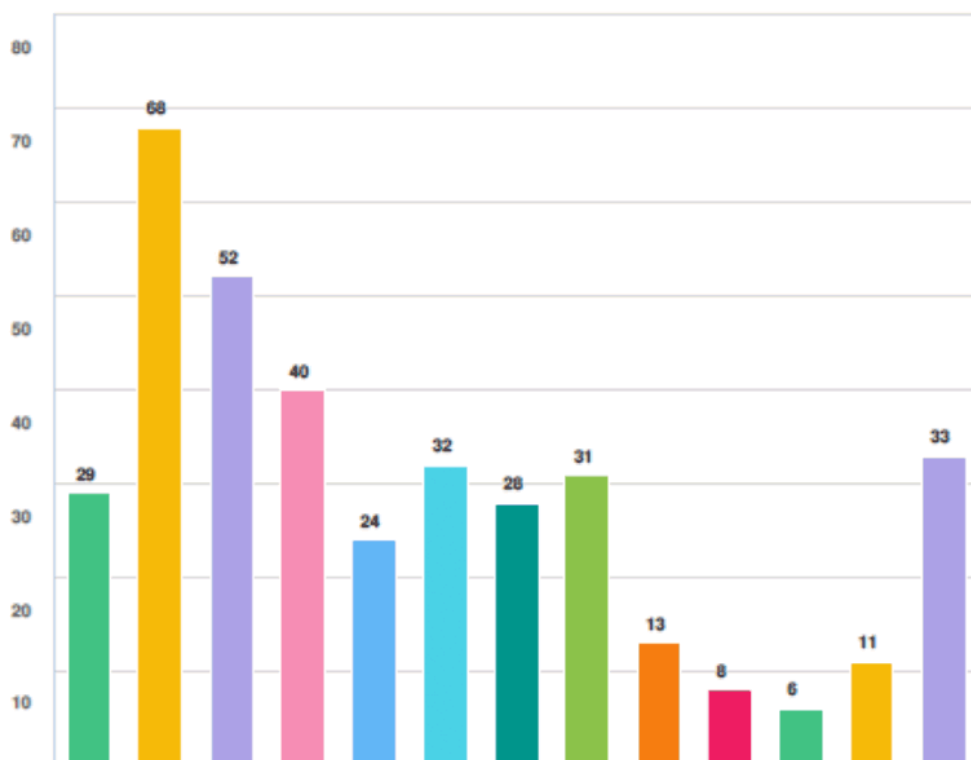


Question options

- Priority Area 1: Support low carbon living
- Priority Area 2: Future-proof business and industry
- Priority Area 3: Transition to sustainable transport
- Priority Area 4: Transform Council operations
- Priority Area 5: Draw down or capture carbon from the atmosphere
- Priority Area 6: Adapt to the impacts of climate change

Optional question (135 response(s), 9 skipped)

Which are the three things you think are the most important for Council to implement to best support the community to reduce emissions?



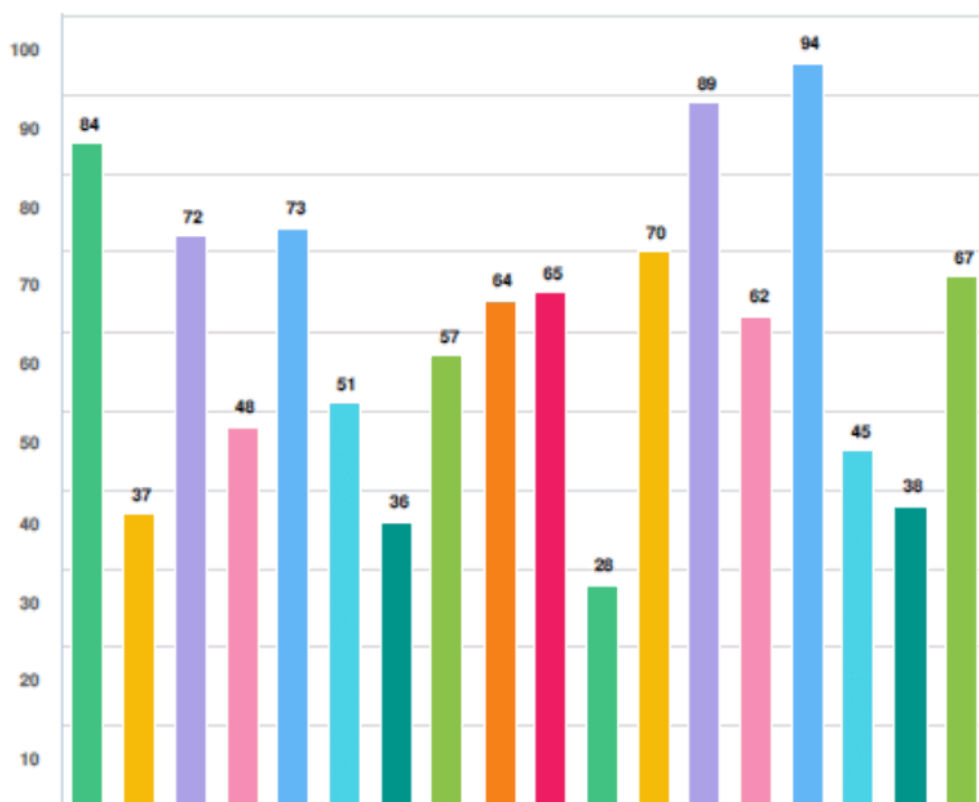
Question options

- Work with developers to better understand and apply Council's existing sustainable design requirements
- Work with the State Government to phase in requirements for all new developments to achieve net zero emissions or be net zero emissions ready
- Better enforce regulations to ensure a consistently high standard of ecologically sustainable development is implemented
- Provide incentives to encourage developers to submit planning applications that meet a high standard of ecologically sustainable development
- Facilitate a solar scheme for renters
- Support administration of community-led renewable energy projects
- Engage a specialist facilitator to support business and industry to transition towards more energy efficient technology and away from gas as an energy source
- Contribute to the planning of a rapid electric vehicle charging network and map across the South East region
- Identify and set aside land for electric vehicle charging points, including select parking spaces
- Facilitate installation of an electric vehicle charging network by private charging companies
- Provide policy support for car share programs
- Provide an education program that supports electric and other low carbon vehicle uptake
- Other (please specify)

Optional question (139 response(s), 5 skipped)

WHAT KINGSTON HEARD

Please think about the action you or your household can take and tick which of the below you are already doing or would be prepared to do



Question options

- Install solar PV on all available sites, including rooftops & ground mount solar PV on appropriate land
- Form or join a community group to investigate opportunities for community energy
- Plan for the replace of inefficient appliances (heating and cooling)
- Aim for net zero energy when building a new home
- Allow for maximum tree retention and consider green infrastructure when building a new home
- Future-proof your home for electric vehicle charging
- Establish a co-operative to sell/share solar power
- Advocate to banks and other entities to divest from listed 'environmentally damaging' activities, primarily thermal coal
- Use public transport
- Participate in active transport (walking and cycling) over private car use
- Consider using car share programs
- Eat less meat
- Shop locally
- Buy renewable energy
- Buy fewer disposable products, reduce waste, use your organics bin and recycle
- Offset air, other travel, freight and other unavoidable emissions
- Plan for increased extreme weather events such as heatwaves and flooding
- Consider purchasing an electric or low-emissions vehicle through an incentive scheme

Optional question (127 response(s), 17 skipped)



JUNE 2021

CLIMATE & ECOLOGICAL
EMERGENCY RESPONSE PLAN



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Other Acknowledgements

During an emergency there is no time to reinvent the wheel and this plan has drawn on the content of existing emergency response plans from Melbourne and around the world. Council would like to thank the other SECCA councils; Bayside, and Frankston City Councils, Bass Coast, Mornington Peninsula and Cardinia Shires and the Cities of Greater Dandenong, Port Phillip and Casey for their generosity – sharing their time, expertise and the content of their plans. Also, the Yarra, Maribyrnong and Stonnington city councils and Brighton & Hove (in the UK). Council would especially like to acknowledge Kathryn Davidson and her colleagues for their careful examination of the attributes of successful climate emergency response, the work of SECCA and the Northern Alliance for Greenhouse Action (NAGA) for their resources and Mary Crooks from the Victorian Women's Trust. Finally, the incredible Kingston community without which, meaningful change would not be possible.

Acknowledgment of Country

Kingston City Council acknowledges the Traditional Custodians of the land that Council and our community is on. We pay our respects to Indigenous Elders past, present and emerging.

As we strive to work towards a climate-just world, we acknowledge there is no climate justice without First Nations justice. We recognise that the knowledge and wisdom of Country has always been here, and it is our vital responsibility to listen, learn and stand in solidarity.

Council will seek to collaborate with Traditional Owners on our Climate and Ecological Emergency response and integrate actions into Council's Reconciliation Action Plan.

Council now has a clear vision. We understand where and how we need to accelerate and support existing work to respond to the Climate Emergency, and what we can do to facilitate the scope and scale of reduction within the community needed to bring about meaningful change.

We know we need to target certain industries, grow our capability and capacity to lead effective and sustained climate programs and advocacy and that barriers to change need to be removed.

During early 2021, Council sought feedback on a draft version of this plan via a range of channels. At least 200 individuals provided feedback which was summarised and used to inform this final version.

- Council's Climate and Ecological Emergency response will remain focused on the following priority areas:
- Support low carbon living
 - Future proof business and industry
 - Transition to sustainable transport
 - Draw down or capture carbon from the atmosphere
 - Adapt to the impacts of climate change
 - Transform Council operations

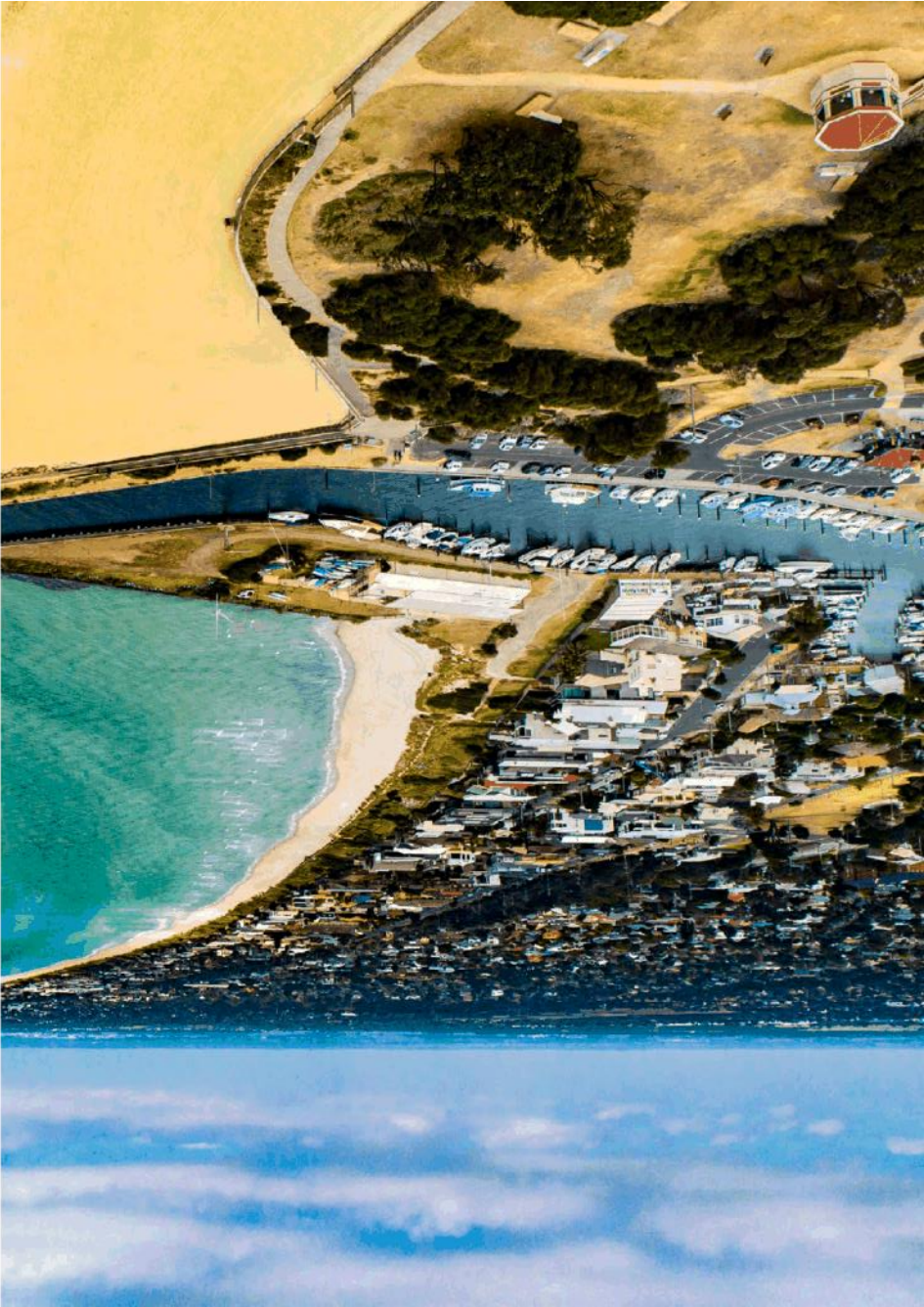
Summary

Council plays an important leadership role within the City of Kingston, supporting local action and influencing the transition to a more sustainable future, but we need to do more.

While Council has been working for some time to reduce its own emissions and support the community to live more sustainably, it is time to accelerate our emissions reductions, strengthen protection of our natural environment and ramp up the ways we support our community.

Council's Climate and Ecological Emergency response will support community and economic recovery efforts following the COVID-19 pandemic. A return to 'business-as-usual' is no longer an option and a focus on building back better will support climate action and help build a stronger and more connected community and a more resilient local economy. Industry, business, representative organisations, community groups, households, individuals and Council have already taken steps to reduce emissions. Despite this, we are amongst the highest greenhouse gas emitters per capita in the world. We have a strong foundation from which to scale up our collective action to achieve net zero by 2030, but the magnitude of change is huge.

Everyone needs to consider their impact, how they can reduce carbon emissions, protect the natural environment and also adapt to the impacts of climate change.



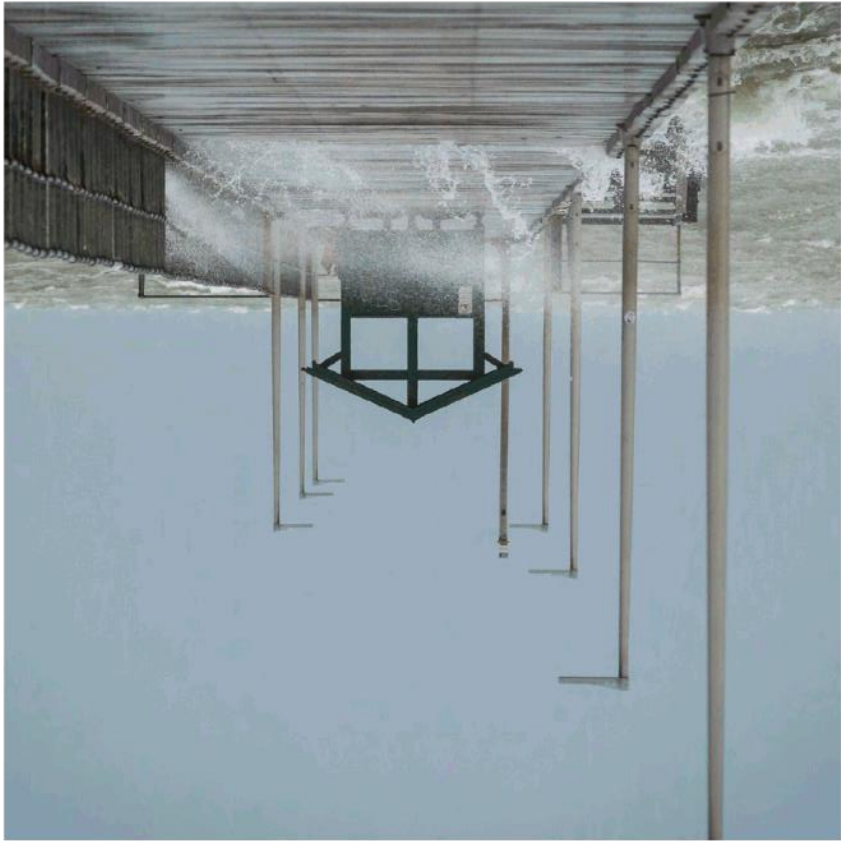


Figure 1. Storm at Mordialloc Pier

1. Declaring a Climate & Ecological Emergency

1.1 CLIMATE IMPACTS

Over the past 100 years, global surface air temperatures have risen by almost 1.4°C¹ and 2019 was Australia's hottest year on record.

Both the atmosphere and the oceans have warmed. Human activity is causing climate change through the release of greenhouse gases from the burning of fossil fuels, land use change and agriculture. Atmospheric concentrations of carbon dioxide are now more than 40% higher than they were before industrialisation. In the Greater Melbourne region, the rate of warming has increased since 1960. Rainfall has declined since the 1950s, especially in autumn. The sea level today in the Melbourne region is approximately 225 mm higher than in 1880^{2,3}.

Climate change is not just an environmental problem. The effects of climate change present substantial risks to our health and wellbeing, economy and society. These impacts are likely to include loss of life, physical and mental health impacts, reduced primary production, property damage, coastal inundation and loss of power, disruption of transport and communications infrastructure. There will also be significant adverse impacts on biodiversity, habitat, health of ecosystems and significant changes to our waterways⁴.

At a local level, the effects of climate change are already being felt with an increase in hot days and heatwave events, more intense rain and flooding and storm surge and sea-level rise. The City of Kingston manages 13km of low-lying foreshore that is increasingly vulnerable to sea-level rise. There is development pressure for tourism, recreation, residential and commercial uses both on and adjacent to the foreshore. The impacts of climate change are likely to reshape the Bay, Sea-level rise, combined with wave action and storm surges will alter sand movements and increase erosion rates. Combined with population pressures, catchment degradation and ageing infrastructure the impacts on our coastline will escalate in coming years.

Increased flooding as a result of major storm events also poses a significant risk to Kingston with the projection of more intense rain events and flooding. This poses a risk to Council infrastructure, private and business assets and community health and safety. The frequency and severity of heatwaves is anticipated to increase, posing a serious threat to vulnerable members of our community including the elderly and those on low incomes. Coupled with rising electricity and gas prices it is expected that this will have a significant impact on the ability for some members of our community to heat and cool their properties.

And these changes are escalating.

Climate change is already resulting in very real impacts for Kingston (Figure 1).

The global community is on track to reach 2°C of global warming before 2050.

Maximum and minimum daily temperatures will continue to increase over this century (very high confidence).



By the 2030s, increases in daily maximum temperature of 0.8 – 1.6°C (since the 90's) are expected.



Rainfall will continue to be very variable over time, but over the long term it is expected to continue to decline in winter and spring (medium to high confidence) and autumn (low to medium confidence), but with some chance of little change.



Extreme rainfall events are expected to become more intense on average through the century (high confidence) but remain highly variable in space and time.



By the 2050s, the climate of Melbourne could be more like the current climate of Wangaratta.



Source: Kingsford's Climate Change Strategy, 2018-2025

In January 2020, Kingston joined with 85 local councils across Australia and resolved to declare a Climate and Ecological Emergency. A copy of the January Council resolution is [available here](#).

The Council resolution was the result of two community petitions. This followed a truly unprecedented fire season in 2019/20 where it is reported that:

- More than 24 million hectares or 20% of the total area covered by Australian forests – excluding Tasmania – was burnt. This figure contrasts dramatically with the proportion of forest burnt in any season on any other continent in that time frame, which for most continents and forest types was 4-59%.
- 33 people died and extensive smoke coverage across much of eastern Australia may be responsible for many more deaths and chronic illness.
- Over 3,000 homes were destroyed.
- Estimates of the national financial impacts are over \$10 billion.
- Nearly three billion animals were killed or displaced and many threatened species and other ecological communities, were extensively harmed.

There is also compelling evidence that natural disasters give rise to increased rates of stress, depression, anxiety, post-traumatic stress disorder (PTSD), alcohol and substance abuse, aggression and violence, suicide, and exacerbation of other underlying mental health problems.

Predictions are dire.

The global community is on track to reach 2°C of global warming before 2050. We're already experiencing the impacts of a 1.4°C increase. Between 1.5°C and 2°C, a non-linear, irreversible, self-sustaining warming may be triggered.

This action plan is a direct response to these and other predicted impacts.



Source: *Artid Anthony Hearsey's* visualisation of data of locations where fire was detected collected by NASA's Fire Information for Resource Management System.



1.4 EQUITABLE

Council recognises that any major transition needs to occur in a fair and socially equitable way. The most vulnerable people have typically made the least contribution to the problem and often have less capacity to respond and cope with the impacts. A just transition, ensuring our most vulnerable community members are not disadvantaged is a priority of the plan.

1.5 IMPLICATIONS OF THE PANDEMIC

It is now accepted that pandemic recovery represents a unique opportunity to address the threats of climate change. Each of the priority areas in our action plan presents opportunities to build back better, support pathways to employment for young people, modernise manufacturing, support local food and beverage production, and generate commercial and professional service opportunities in the industries of the future. These will be identified throughout the plan.

Kingsion has a long history of responding to climate change. The Energy Efficiency Strategy 2012-2017 focussed on reducing Council's own energy use, Kingsion's Climate Change Strategy 2018-2025 set a clear framework to guide Council and the community towards reduced energy use and carbon emissions and adaptation to climate change. Council's initial target of a 30% reduction in corporate emissions by 2020 has now been achieved.

But it's not enough.

We recognise that transformational change is needed to rapidly reduce carbon emissions and draw down emissions from the atmosphere in order to restore a safe climate. This change must occur across society and the economy. It requires large-scale action across all levels of government, businesses and the community to both cut carbon emissions and adapt to living on a hotter planet.

Our plan leverages Council resources and spheres of influence to support and accelerate our community response to the Climate Emergency and remove barriers to change.

Community focussed action will continue and it will be evidence based (see Section 5). In addition, Council's target of a 20% reduction by 2025 has been increased to 40%.

Our ultimate target is net zero community emissions by 2030.

Our plan recognises the importance of capacity building, professional development and accountability. It has a strong advocacy component and there is also an emphasis on monitoring and reporting. This will create opportunities to learn from real projects on the ground, to adjust our response and to share these learnings both internally and with other councils to ensure future project outcomes are not missed.

Did you know...
In April 2020, Victoria's new Local Government Act came into effect. This makes 'mitigation and planning for climate change risks' and planning for 'the economic, social and environmental sustainability of the municipal district' a legal requirement for Council.

2. Kingston's Greenhouse Gas Emissions Profile

Also, due to insufficient data available, emissions could not be calculated for Moorabbin Airport. Whilst work in other jurisdictions has indicated that air travel emissions are relatively low, Kingston will continue to collaborate with Moorabbin Airport Corporation as part of our Climate and Ecological Emergency response.

Kingston's Scope 1 and 2 emissions in the 2018/19 Financial Year were 2,625,000 tCO₂e across a range of sources. The largest source of emissions is electricity use in the industrial sector, which coupled with gas is responsible for 39% of the municipality's total emissions. The proportion of industrial electricity emissions is notably higher for the region as a whole. On road transport is responsible for 21%. Residential and commercial energy use is also substantial, contributing 18% and 14% respectively. Product use and water and solid waste disposal are just 4% and 3% (Figure 2).

Scope 3 (supply chain or other out-of-boundary) emissions are not included in the emission profile boundary as they are generated outside the municipality and will be 'counted' as part of another city's scope. Whilst 'counted' elsewhere, Council recognises its role as a source of demand, and supply chain emissions will be a focus of our Climate and Ecological Emergency response through a range of actions.

Figure 2.
Emissions within the
Kingston Municipality



Source: City of Kingston Opportunities Report 2021, Benchmark Sustainability





Kingston's linear emissions reduction trajectory to meet our target is very steep. Since 2018, the municipality's emissions have decreased by approximately 3%. At this pace, Kingston would wildly overshoot the science-derived target and our contribution to limiting Global temperatures to 1.5°C above pre-industrial levels would not be met.

Whilst understanding the necessity of meeting this target, it is also important to understand Council's level of accountability. Reducing municipal greenhouse gas emissions is a whole of community effort and by working with representative organisations, the state and federal government and other councils in the SECCCA region, Kingston has an opportunity to leverage Council resources more effectively. Section 4 of this plan details Council's approach.

The remaining budget for the City of Kingston is the total amount of carbon that the region can emit if it is to make a fair contribution to limit the temperature increase to 1.5°C. The remaining budget for the City of Kingston is 20,952,264 tCO₂e from 2018/19.

The "Runway" or Remaining years without change (71 years) calculates how long this carbon budget would last, based on the emissions released in 2018/19. If the region were to significantly reduce annual emissions this runway would extend as Kingston would not be "spending" its carbon budget as rapidly.

The Required annual reduction and Required rate of reduction shows that Kingston's emissions need to reduce by 205,095 tCO₂e (7%) per year until 2035, if the carbon budget is to be used linearly over this time. To give an idea of the scale of action required, this is roughly the same as taking half the cars off the road in Kingston, each year up to 2035.

Did you know...

In May 2021 the Victorian State Government announced Victoria's climate targets for the next decade. Targets aim for a 28-33% reduction in carbon emissions by 2025, a 45-50% reduction by 2030 and net-zero emissions by 2050.

3. Kingston's Science-derived Target

Since the adoption of the Paris Climate Agreement in 2015 there have been ongoing discussions in scientific communities and the climate sector to determine whether the over-arching targets are strong enough to maximise the chance of avoiding catastrophic climate change. While these issues will continue to be discussed, it is clear that the central aim of the Paris Agreement is to limit the increase in the global average temperature to well below 2°C above pre-industrial levels and pursue efforts to limit the temperature increase to 1.5°C above pre-industrial levels".

The Paris Agreement, which entered into force in November 2016, explicitly recognises and engages local and subnational governments and their critical role in supporting the climate action, including setting goals and strategies aligned with the science. The development of a target for the Kingston Local Government Area enables us to understand the scale of action that is required at a municipal level to align with the commitments of the Paris Agreement.

Kingston as a member of the South East Councils Climate Change Alliance (SECCCA), recently advocated to the Victorian State Government to adopt a 1.5°C target. This was based on the interpretation of regional and global impacts of an increase of well below 2°C being an unacceptable risk to SECCCA councils and communities and an acknowledgement of the role Victoria, and indeed Australia can play as a well-resourced, developed nation in reducing emissions. The calculated science-derived target for remaining within 1.5°C for the City of Kingston is provided in Table 1.

Table 1.
Scaled science-derived 1.5°C target for the City of Kingston

Remaining budget (tCO ₂ -e)	20,952,264
"Runway" years - Remaining time without change (years)	71
Required linear annual reduction 2021 – 2035 (tCO ₂ e per annum)	205,095
Required linear rate of reduction 2021 – 2035 (%)	7%

4. Approach

We are in a climate emergency and Kingston's response will reflect the scope, scale and urgency of that emergency.

4.1 CLIMATE VISION

Kingston's vision is to leverage Council resources and spheres of influence to support and accelerate our community response to the Climate Emergency and remove barriers to change.

The question of how to do this is faced by every council that declares a climate emergency. Kingston is no exception. In developing a response plan, Kingston sought out available resources from a community of like-minded councils. We then drew on existing climate emergency plans from around the world and reviewed an analysis of their effectiveness. We now understand that a best practice approach to climate emergency action exists and we can learn from others. Kingston is prepared to fail as long as we learn from our mistakes and change course as required. But we must act quickly and every decision and action must count.

4.2 APPROACH

For decades, Australian local governments have been at the forefront of climate action, even in the face of challenging federal and state policy environments. Councils have implemented energy efficiency and renewable energy projects which have led to the abatement of millions of tonnes of greenhouse gases. Kingston Council has achieved a 30% reduction in emissions since 2016¹. Communities have also mobilised to join the challenge. Kingston's community has reduced emissions by approximately 3% since 2018².

Member councils of SECCCA have undertaken a range of projects. Individually and in collaboration they have achieved significant emissions reductions in their corporate operations. This includes upgrading residential streetlights to LEDs, implementing Ecologically Sustainable Development (ESD) guidelines to reduce emissions from buildings, commissioning building upgrades and trialling electric vehicles. There has also been work undertaken in community engagement and support for emissions reductions at the residential level.

But it's not enough. At the current rate of reduction, the global community is on track to reach 2°C of global warming before 2050. 2°C is considered extremely dangerous (see Section 1.1) and a non-linear, irreversible, self-sustaining warming may be triggered between 1.5 and 2°C³.

Working to reduce emissions as soon as possible is a clear intent of the plan. However, when considering reducing community emissions against a science-derived target, the scale of reductions required is exceptionally high. For this reason, it's important for councils to carefully consider how best to leverage resources. It must be acknowledged that most often, direct action by Council will not be the most efficient way to achieve the target. However, there are a number of ways that councils can engage and work with stakeholders and other levels of government to facilitate significant emissions reductions.

Where to start?

4.3 PRINCIPLES

- Whilst there is currently no definitive framework for putting a climate emergency declaration into practice, an accepted approach to best practice climate emergency response is emerging across the sector and is broadly summarised below:
- Business-as-usual is no longer acceptable.
- Acknowledgement of a climate emergency without significant, additional, urgent action is empty rhetoric.
- 'Low emission' and time frames longer than 10 years are not part of an emergency response.
- A climate emergency mode away from business-as-usual includes:
 - Clarity of action (near term targets)
 - Institutional resource mobilisation, including:
 - Whole of organisation action
 - Inclusion in Council's risk management framework
 - Adequate funding for action
 - Senior management accountability (Figure 4 overleaf)
 - Leadership
- The active acknowledgement that failing is not an option
- Council will hold itself accountable to the above and use it to support decision making and project design across Council. Kingston's Climate and Ecological Emergency Response Plan has been informed by the above and other best practice guidance and is:
 - Evidence based;
 - Just (ensuring that those most vulnerable in the community are not disadvantaged); and
 - Has a strong advocacy and engagement focus. Upwards, sideways, inwards and outwards (Figure 3).



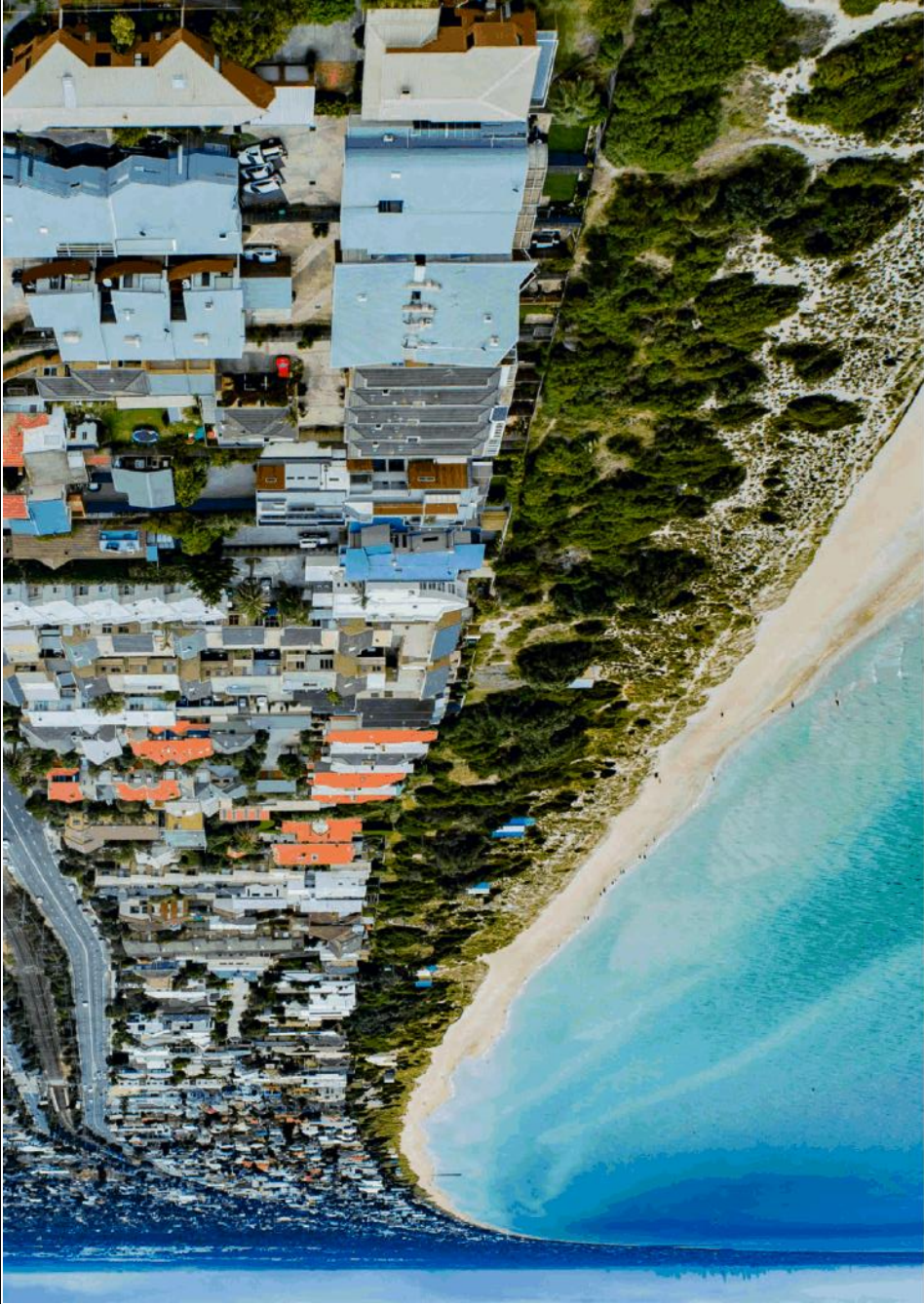
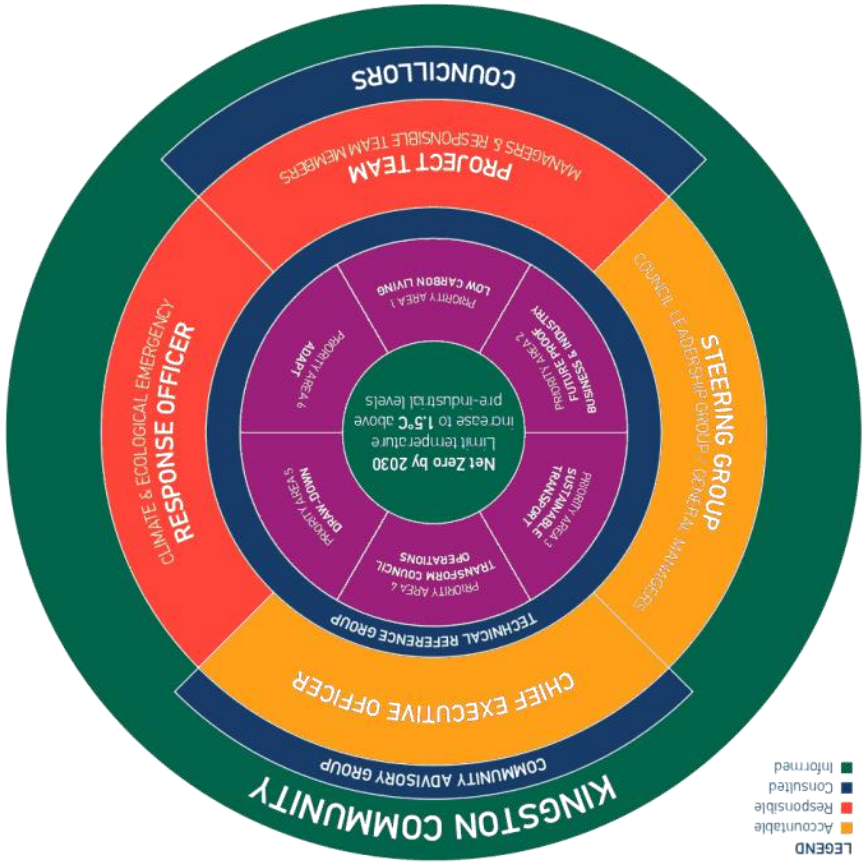


Figure 4.
Organisational
Accountability



Note:
Organisational Accountability is indicative and the name, structure and terms of reference for each group are yet to be determined and may be subject to change

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4.6 CLIMATE ACTION

Minimising Council's own emissions now represents the minimum expected of Council. There is a clear community expectation that Council will take two types of action:

- **Supporting community:** Council will leverage resources to support residents, businesses, and organisations across Kingston to reduce emissions
- **Corporate:** Council will reorientate its operations to respond holistically to the climate emergency

As detailed above, Council has considered a range of actions across most sources of emissions and a number of priority actions have been analysed to understand their possible impact on emissions trends with Kingstons. It is now understood, that through the priority council actions identified, Kingstons has the capacity to achieve ongoing reductions in municipal emissions of around 2.2 million tonnes to 2020 (Figure 6). The estimated cost of achieving this is around \$3.5 million over the next seven to ten years. It should be noted that this budget allocation and emissions reductions represent the maximum, and that for many programs a lower budget allocation is possible, but will result in lower emissions savings.

Priority council actions aimed at reducing community emissions are based on stakeholder collaboration and will be required to align with specific stakeholder needs and changes. This may result in changes to the overall cost of the program.

4.5 GOALS

Council is committed to three main goals

and a range of targets:

1. Reduce sources of emissions in line with our science-derived target

- Support the community to reduce emissions by 40% by 2025 and achieve net zero by 2030
- Reduce Council's corporate emissions to achieve net zero by 2025
- Expand waste services to further reduce waste to landfill and increase organic waste collection
- Improve sustainable building design
- Support low emission transport

2. Support sinks that reduce emissions and absorb carbon simultaneously

- Offset residual Council corporate emissions
- Encourage the community to offset
- Grow our Urban Forest
- Investigate opportunities to draw down or sequester greenhouse gas emissions

3. Involve and benefit communities

- Campaign alongside other local councils, partners and the community to drive advocacy outcomes
- Prepare for the impacts of climate change
- Include climate change risks in Council's Public Health and Wellbeing Plan

Did you know...

From July 2021 mixed plastics are banned from export from Australia. In 2020 Kingston City Council began work with 16 other councils on the procurement of advanced waste processing services aimed at maximising resource efficiency and reducing waste.

4.4 COMMUNITY ACTION PLANNING

When planning for action on climate change, it's critical to consider pathways to emissions reductions that will be effective and efficient. How we can reduce emissions beyond the current business-as-usual, either by making them happen earlier or by greater extent, should also be considered. In order to do this, it's important to understand the emissions reductions that are already happening in the community and try to find ways that we can move more quickly to accelerate them. A program for targeted monitoring and evaluation, review and learning is needed to

In early 2020, Kingstons City Council began working with the North West Sustainability on a Community Action Planning process. We now have a thorough understanding of how we can support community emission reductions. We have committed to a series of actions that can facilitate community emissions reductions. Facilitating community actions at the emissions level increases the scale of opportunity and cost effectiveness. Implementation is detailed in Section 5.

“...a radical, urgent notion of economic and social resources at an abnormal level of intensity and scale or to appropriately address the scale of the reduction required and ensure a safe climate”

David Spratt's

4.7 COSTS AND BENEFITS

The total investment required to deliver the actions outlined below is unknown at present. Costs associated with program delivery, personnel, capital and ongoing operations have been estimated and are subject to change:

- **Low** – <\$50,000 or absorbed within existing Council operating costs and capital works
- **Medium** – \$50,000 - \$500,000. A Council resolution is required to support initiative
- **High** – >\$500,000. A Council strategy or plan is required to support initiative

Whilst the impact of council action has been modelled to 2030, it is assumed that actions will have rolling commencement dates from 2021 and have a duration of 3-4 years depending on the project type. Given our declaration of a Climate and Ecological Emergency, high priority actions (those with the highest emission abatement potential) will commence in the next 12 months, medium priority actions by 2023 and low priority actions by 2025.

4.9 WHO WILL TAKE ACTION?

Areas of council with clear responsibility for certain actions have been identified.

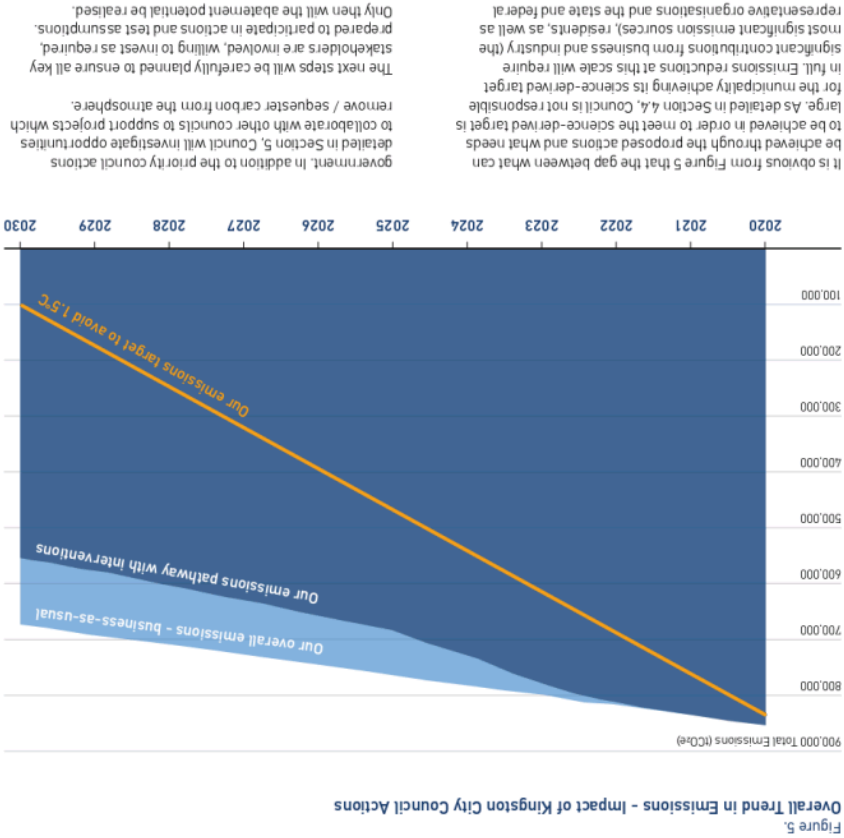
The very real, climate related impacts for Kingsdon are detailed in Section 1.1.

Australian companies are also under increasing pressure to disclose their exposure to climate-related risks and articulate their strategies to ensure resilience and competitive advantage in a net zero world⁷.

are fast running out of opportunity¹⁸.

investment. The benefits of acting are huge, but we modernises our economy and uniteshes business that Australians need policy and regulatory reform that lose \$3.4 trillion in economic opportunity. Deloitte concludes keeping global warming to 1.5°C could shrink the Australian economy by 6%, remove 880,000 jobs from the economy and inconsistent with a target of net zero emissions by 2050 and A recent study by Deloitte Access Economics found policies Council also recognises the enormous cost of inaction.

4.6 CLIMATE ACTION CONT



| We do so much more than roads, rates & rubbish

CLIMATE AND ECOLOGICAL EMERGENCY RESPONSE PLAN • PAGE 22					
Your community	Libraries	Volunteering	Theatre and arts	Grants	Community centres
					Environmental education
Roads and safety	Roads, footpaths & drains	Car parks	Street lighting	Crossing supervisors	Emergency management
					Street trees
Sport and leisure	Sports grounds	Swimming pools	Leisure centres	Parks and gardens	Festivals and events
					Coastal & foreshore management
Your home	Planning permits	Building permits	Pet registrations	Rubbish and recycling	Graffiti removal
					Major projects
Health and wellbeing	Disability & youth services	Home maintenance	Home & community care (AccessCare)	Meals on wheels	Food safety
					Open space
Children and families	Childcare	Kindergarten	Maternal & child health	Playgroups	Immunisation
					Playgrounds

Council provides a range of services that prepare us for the future.



The actions detailed below have the potential to abate over 2.8 million tonnes of CO₂e before 2030.

Whilst this will make a significant contribution towards zero carbon by 2030 in Kingston and the SECCCA region, as detailed above significant contributions from business and industry (the most significant emission sources), residents, as well as representative organisations and the state and federal governments remain essential.

Communications will be developed to support the response plan to drive awareness regarding the urgency of the Climate and Ecological Emergency for Kingston and create a vision for the community of a different future. A focus on education and inspiring positive behavior change will remain critical.

Kingston will endeavour to collaborate with other SECCCA councils on most if not all actions detailed below. This will increase the abatement potential of actions and reduce costs. More information on the benefits of collaboration is provided in the technical report that informs this plan.

5. Implementation

This section details priority areas and a series of actions that are understood, at the time of writing, to best leverage Council resources to reduce emissions at a meaningful scale.

Initial tasks for Council officers responsible for priority areas of the plan will be:

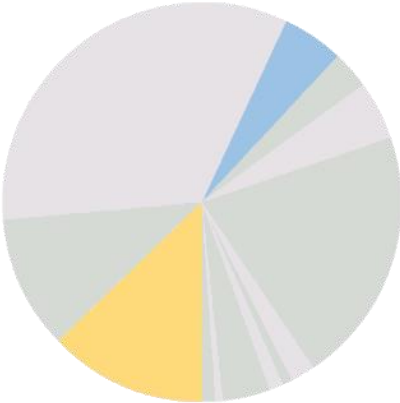
- Engagement with specific stakeholders to ensure the actions are scalable, robust and cost effective, and;
- A process of detailed design to determine if actions address specific barriers or need to be updated

This will be co-designed alongside a program of monitoring, review, evaluation and reporting (Section 7) to establish performance indicators and identify trigger points.

Council acknowledges that action across a number of priority areas must be taken concurrently in order to accelerate reductions required.

An implementation plan with targets, responsibilities and budget will be developed and regularly updated once the detailed program design is complete.

Figure 2
Emissions within the Kingston Municipality



Priority Area 1 Support Low Carbon Living

The actions detailed in this Priority Area have the potential to abate approximately 913,000 tonnes of CO2e before 2030.

Residential sector description:
The City of Kingston is a large middle-ring municipality. It houses approximately 163,430 people in an area of 91 square kilometres, and the population is growing and changing. The State Government's Victoria in Future (Vf) population projection forecasts Kingston to grow to 201,090 people by 2036¹. In 2016 the majority of dwellings in Kingston were separate houses (58.2%), however new forms of medium and high density residential development are becoming more commonplace in locations close to transport. Housing affordability is a growing issue within Kingston. Kingston's residential community comprises a large number of individuals with a diverse range of values, skills and resources, which makes scalable initiatives difficult.

Sector emissions: 18%
Total abatement potential to 2030: 913,000 tCO2e
Approximate cost to 2030: \$810K



Priority Area 1

Support Low Carbon Living

Aim		Priority Actions		Emissions abatement potential		Responsible area		Priority (low,med, high)		Estimated cost (low, med, high)	
Low emissions buildings through design		Working within existing regulations		710K tCO ₂ e		Planning & Development		High		High	
		- Council planning teams work to ensure a consistently high standard of interpretation and implementation of the existing local planning ESD requirements and train all staff to be consistent in the assessment of planning applications.									
		- Work with developers to understand this consistent interpretation and application of existing ESD requirements, in doing so, developers will be better able to plan buildings and prepare applications to meet this high ESD standard.									
		Developing new regulations									
		- Undertake a planning amendment that requires all new buildings that are subject to planning approval to achieve net zero emissions or be net zero emissions ready. This may be via CASBE or a Kingston specific amendment.									
		- Expand consideration of transport emissions through the requirement for installation (or readiness for installation) of private Electric Vehicle charging infrastructure.									
		Enforcing regulations									
		- Enforce planning conditions to ensure consistent implementation of a high standard of ESD.									
		Designing and delivering incentives									
		- Council planning teams design and deliver planning "incentives" to further encourage developers to submit planning applications that meet a high standard of ESD.									
		- Draw on case studies from other municipalities and in collaboration with all relevant teams (parking, local laws, compliance, finance etc)									
		- Consult with large developers and construction associations that are active within the municipality to provide industry insights.									
Solar schemes for renters		Facilitating a rental solar scheme		160K tCO ₂ e		Planning & Development		Low		Medium	
		- Research existing programs that target this action.									
		- Consult with real estate agents, renters groups, strata committees or other relevant local property consultants.									
		- Engage with existing solar loan providers on financial mechanisms and payback scenarios.									
		- Incorporate successful elements of other schemes and lessons learned into program design.									
		- Investigate partnerships with other greenhouse alliances, the state government and representative bodies such as the Municipal Association of Victoria (MAV) to establish the legal, financial and market mechanisms to support this program.									
		- Once mechanisms are established, connect local market operators offering solutions for multi-unit dwellings or rental properties to rental organisations operating within the region.									
		Did you know...									
		The City of Kingston, together with other Victorian Councils have developed a consistent and transparent sustainable design assessment process in relation to Planning Applications. The SDAFP (Sustainable Design Assessment in the Planning Process) program refers to the inclusion of 10 key environmental performance considerations into the Planning Permit approval process in order to achieve a more sustainable building outcomes for the long-term benefit of the wider community. Large and medium developments are required to address these criteria in order to receive planning permission.									

Priority Area 1 Support Low Carbon Living

Priority Actions				Aim
Priority	Responsible area	Emissions abatement potential	Estimated cost (low, med, high)	Energy efficiency retrofits for homes (including social housing)
				Educational workshops with service providers <ul style="list-style-type: none">- Research existing similar programs that target this action.- Engage with relevant local businesses through workshops that train professionals on the benefits of energy efficient appliances.- Consider of working with professional associations such as Master Builders, Master Plumbers and Master Electricians.
Priority	Responsible area	Emissions abatement potential	Estimated cost (low, med, high)	Low emissions infrastructure <ul style="list-style-type: none">- Build on the results of trials already undertaken in Kingston and other municipalities to increase acceptance and build confidence.- Discuss with service provider the capacity of existing supply chains and understand the barriers.- Ensure existing Department of Transport (DOT) requirements are included in Council's infrastructure guidelines and implemented.- Work with DOT to improve road and pathway building requirements.
				Community renewable energy <ul style="list-style-type: none">- Facilitate planning approval.- Support the administration of these projects.- Facilitate stakeholder engagement and connections.- Facilitating services to community groups interested in community renewable energy projects. These services could include:<ul style="list-style-type: none">- Developing legal templates.- Providing meeting locations.- Establishing virtual networks.- Providing information and resources relevant to community renewable energy projects.

Did you know...

Council's Green Wedge Management Plan identifies opportunities for large scale solar within Kingston.

Future Proof Business and Industry

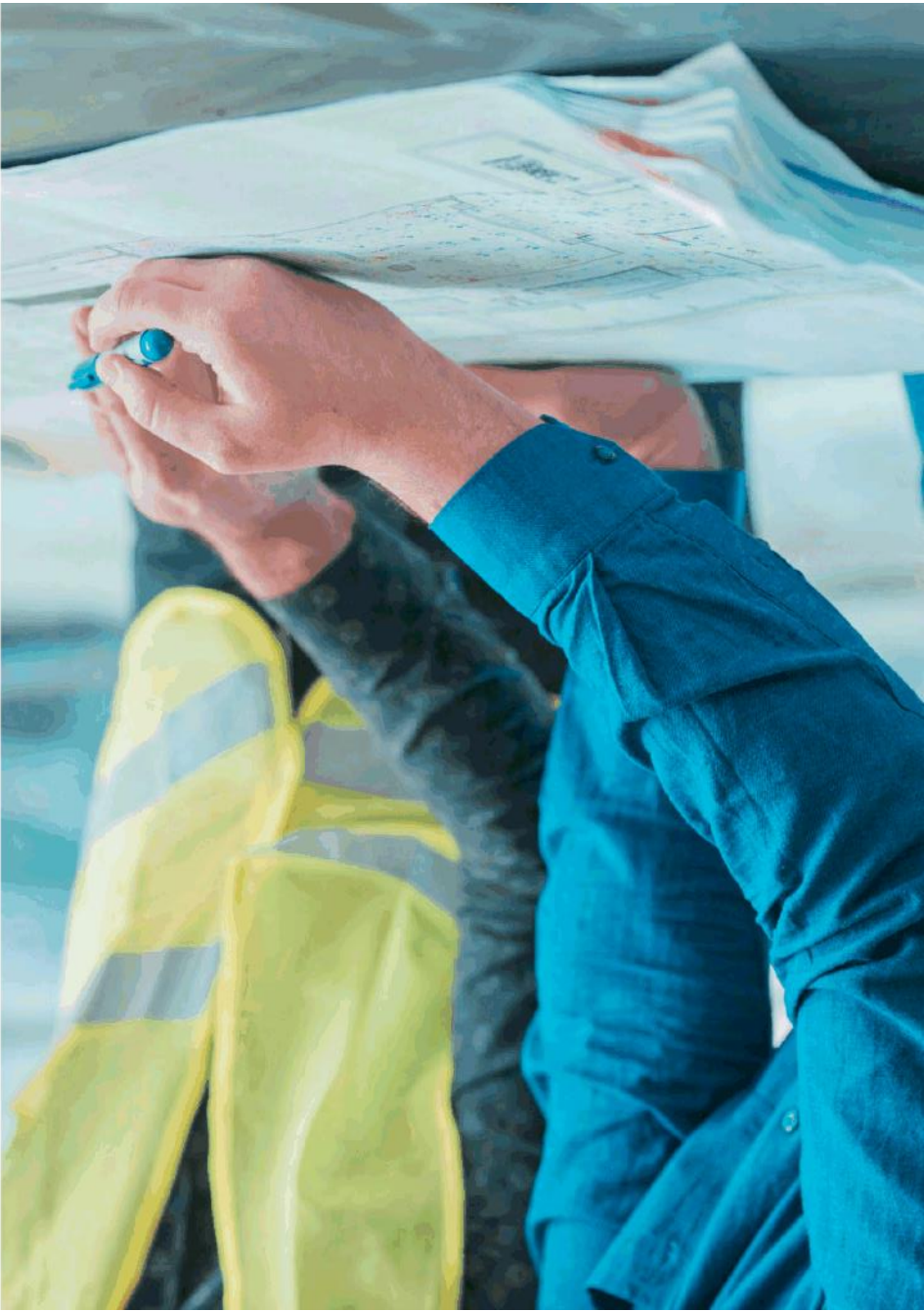
Priority Area 2

Kingston's industrial sector is one of the largest and most concentrated in the State. There is also a significant retail and service-based economy in Kingston anchored by a regional shopping centre at Southland, several major activity centres and numerous smaller local and neighbourhood shopping precincts. The manufacturing sector is the largest employer followed by retail trade and wholesale trade'. This sector is characterised by a smaller number of large organisations and numerous small to medium sized enterprises (over 17,000). Industrial zoned land covers an area of 12.38 square kilometres.

Sector emissions: Industrial (39%) and Commercial (14%)
Total abatement potential to 2030: 810,000 tCO₂e
Approximate cost to 2030: \$510K

Figure 2
Emissions within the Kingston Municipality

- 34% Electricity Industrial
- 11% Electricity Commercial
- 5% Gas Industrial
- 3% Gas Commercial



Aim	Priority Actions	Emissions abatement potential	Responsible area	Priority (low,med, high)	Estimated cost (low, med, high)
Transitioning business and industry towards more energy efficient technology and away from gas as an energy source	Engage a specialist facilitator to:	810K tCO ₂ e	Planning & Development	High	High
	- Develop regional working group or groups. Groups will be based on types of industries or industries with similar operations or energy use and begin with those with the highest emissions. - Seek expertise, advice and support from collaborators in the research, business or sustainability. - Use resources such as Beyond Zero Emissions Electrifying Industry (2018) or DELWPs				
	Electrification Opportunities in Victoria's Industrial Sector (2019), which include specific examples of alternative technologies based on industrial sub-sector, to start discussions with industrial stakeholders around energy efficiency and decarbonisation.				
Electrifying industry from renewable sources	- Bring technology specific service providers or research institutions on board to provide more in-depth information and feasibility studies. - Facilitate onsite power generation and sharing via rooftop solar and batteries. - Bring energy market experts to the table to explore group Power Purchase Agreement (PPA) opportunities. - Support access to finance mechanisms e.g. EUTF loans for business and Energy Performance Contracts.				
	As part of SECCCA				
	- Co-ordinate a regional approach for SECCCA councils. - Leverage SECCCA's existing and other business networks. - Seek funding and support from the State Government for program delivery that aligns with the State's target of net zero by 2050. - Work with the Federal Government on program deployment within the region e.g. the Business Energy Advice Program. - Advocate to the South East Melbourne Manufacturer's Alliance (SEMAA) and Greater South East Melbourne (GSEM) group to manage these working groups and take an active role in supporting local businesses to implement emissions reduction actions. - Develop case studies and showcase positive examples from across the region				
	Sustainable economic development				
	- Embed Kingston's focus on sustainable economic development and a strong circular economy into Council policy and process.				

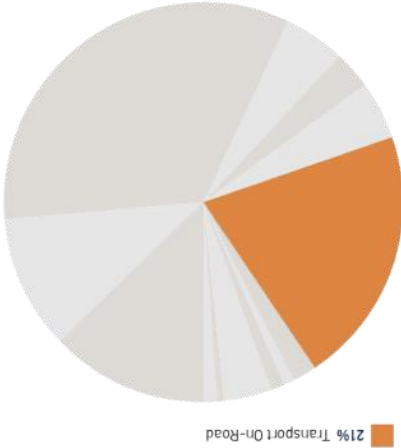
Priority Area 2
Future Proof Business and Industry

Priority Area 3 Transition to Sustainable Transport

Kingston's Integrated Transport Strategy (ITS) was adopted in September 2020 and is provided here. A background report was prepared to inform the ITS and includes detailed information on Kingston's population, land use, transport modes, car ownership, road safety, work profile, income, wellbeing and housing type. Almost 69% of Kingston residents travel to work by car, which is higher than neighbouring councils and median car ownership in Kingston is 1.6 cars per dwelling. The below actions align with a number of actions in the ITS. Decisions in relation to car parking will be considered in the context of the actions below. Collaboration with Moorabbin Airport Corporation is ongoing.

Sector emissions: 21%
Total abatement potential to 2030: 1.1M tCO₂e
Approximate cost to 2030: \$930K

Figure 2:
Emissions within the Kingston Municipality



Priority Area 3					Transition to Sustainable Transport	
Aim	Priority Actions	Emissions abatement potential	Responsible area	Priority (low,med, high)	Estimated cost (low, med, high)	
Expand the Electric Vehicle charging network	Strategic planning	500K tCO ₂ e	Planning & Development	High	High	
	<ul style="list-style-type: none">- Contribute to the planning of a rapid charging network and map across the SECCCA region.- Identify and set aside land for charging points, including select parking spaces.- Review Council's current strategic approach to parking and requirements for parking in new developments.- Deliver an updated parking policy.					
	Facilitate installation by private charging companies					
	<ul style="list-style-type: none">- Encourage electric vehicle (EV) charging companies to install infrastructure at key sites.- Ensure electricity distribution businesses have network connections at relevant sites.- Work with developers or car park managers to ensure that additional space is made available to charging companies for infrastructure.					
	Advocacy					
	<ul style="list-style-type: none">- Work with SECCCA on a regional approach.- Work with other Victorian Climate Alliances.- Assist businesses to trial new technologies.					
Implement key aspects of the Kingston Integrated Transport Strategy	Policy support for car share programs	210K tCO ₂ e	City Assets & Environment	Medium	High	
	<ul style="list-style-type: none">- Prioritise sustainable transport modes over private cars through a 'road user hierarchy'.- Allocate more road space to sustainable modes (bus, cycle, pedestrian).- Install bike lanes, paths and other cycling infrastructure throughout Kingston which link key public transport routes and destinations.- Adopt a Council policy that promotes car share programs through provision of dedicated parking for car share vehicles.- Facilitate discussions with car share companies.					
Supporting electric and other low carbon vehicle uptake	Community education about sustainable transport	350K tCO ₂ e	City Assets & Environment	Medium	Medium	
	<ul style="list-style-type: none">- Use existing environmental education channels to promote active transport (walking and cycling).- Implement community education to promote sustainable transport (walking and cycling).- Education, incentives and procurement support for EVs.- Provide an education program that addresses barriers around misinformation and range anxiety regarding the functionality of EVs.- Promote EV benefits and location of charging infrastructure through Council's website and other communication channels.- Use existing education channels to promote the uptake of EVs to the broader community.- Provide incentives for the uptake of EVs for example via the provision of reserved car parking spaces for EVs.- Deliver an updated parking policy.					

Priority Area 4
Transform Council Operations

In order to deliver on the evidence-based actions aimed at supporting the community (detailed above), Council is committed to re-orienting its operations to respond holistically to the climate emergency. Organisational accountability will be co-ordinated via Council's Governance team and structured to ensure senior leaders hold their departments and each other to account (Figure 4).

Total abatement potential: The below actions have not been modelled so the abatement potential is unknown. However, it is understood that they are either pivotal for supporting delivery of the modelled actions detailed above or another aspect of Kingston's Climate and Ecological Emergency response, or understood to be a minimum expectation of the community.

Priority Actions			
Aim	Accountability	Corporate Services	High
	Financial	Corporate Services	High
	Governance	Corporate Services	High
Responsible area			
Priority (low,med, high)		Estimated cost (low, med, high)	
Corporate Services		Low	

- Complete a gaps and opportunities assessment of Council's existing policies, strategies and action plans to highlight how Council can accelerate and support existing work to respond to the Climate Emergency and remove barriers. Key focus areas will be:**
- Develop a strategy which sets out Kingston's plan to avoid lending, investing in or buying from commercially damaging activities, primarily thermal coal.
 - Quantify the investment opportunities, financial benefits and employment opportunities associated with well planned, proactive climate emergency action for both Council and the community
 - Develop a strategy which sets out Kingston's plan to avoid lending, investing in or buying from commercially damaging activities, primarily thermal coal.
 - Regularly update Council's Audit & Risk Committee with relevant climate change information.
 - Include Climate Emergency Key Performance Indicators for the Leadership Team.
 - Commit to Climate Emergency Action in the new Council Plan.
- Accountability**
- Report on Council's response to the Climate and Ecological Emergency through Council's Quarterly Reporting to the community.
 - Review and evaluate Kingston's community emissions reduction action plan using the modelling conducted to develop the plan.
 - Consider use of the United Nations Sustainable Development Goals (SDGs) as a framework through which climate action alongside other Council priorities can be viewed during business planning and Council decision-making.
- Financial**
- Develop a strategy which sets out Kingston's plan to avoid lending, investing in or buying from commercially damaging activities, primarily thermal coal.
 - Quantify the investment opportunities, financial benefits and employment opportunities associated with well planned, proactive climate emergency action for both Council and the community
 - Develop a strategy which sets out Kingston's plan to avoid lending, investing in or buying from commercially damaging activities, primarily thermal coal.
 - Regularly update Council's Audit & Risk Committee with relevant climate change information.
 - Include Climate Emergency Key Performance Indicators for the Leadership Team.
 - Commit to Climate Emergency Action in the new Council Plan.
- Governance**
- Establish a community advisory group focused on climate action aimed at ongoing, two way consultation.
 - Report on Council's response to the Climate and Ecological Emergency through Council's Quarterly Reporting to the community.
 - Review and evaluate Kingston's community emissions reduction action plan using the modelling conducted to develop the plan.
 - Consider use of the United Nations Sustainable Development Goals (SDGs) as a framework through which climate action alongside other Council priorities can be viewed during business planning and Council decision-making.

Priority Area 4
Transform Council Operations

Priority Actions				Aim
Economic development	Responsible area	Priority (low,med, high)	Estimated cost (low, med, high)	- Embed Kingstons focus on environmentally sustainable economic development to enable a strong circular economy that significantly reduces environmental impact of business operations.
				- Facilitate emission reduction activities in the industrial and business sector through engagement with regional, state and federal agency programs.
Zero waste	City Assets & Environment	Medium	High	- Advocate for business to adopt climate risk disclosure and net zero planning as standard practice.
				- Include requirements to address environmental impacts in leases of Council property, specifically energy and water use and waste management.
Capacity building and professional development	Corporate Services	High	Medium	- Finalise Kingstons Resource Management Strategy, specifically:
				- Phase out single use plastics across Council's operations.
Operations	All areas	Medium	High	- Further engage the community to reduce plastics.
				- Support organic recycling across businesses and industry.
				- Implement state and federal government legislative requirements aimed at significantly reducing waste to landfill, increasing glass recycling, minimising e-waste and streamlining plastic processing.
				- Negotiate waste contracts that maximise resource efficiency and reduce waste.
				- Develop and implement training for staff focussed on Council's response to the climate and Ecological Emergency and their role. The initial focus will be on staff with purchasing power and contractor and event management responsibilities.
				- Embed competencies relevant to climate emergency action into staff roles and responsibilities and performance planning.
				- Collaborate with Traditional Owners on Council's Climate and Ecological Emergency response.
				- Recognise the Climate and Ecological Emergency in Council's Reconciliation Action Plan.
				- Continue climate action already in progress across a range of Council programs including:
				- Energy efficiency upgrades across Council buildings.
				- Renewable energy procurement including for Council's small market sites.
				- Transition away from gas.
				- Reduce Council's fleet (number, size and fuel use) and transition away from vehicles with internal combustion engines.
				- Programs and services detailed in Council's Urban Cooling Strategy that mitigate and build community resilience to the heat impacts of climate change.
				- Support and education for the community about the importance of biodiversity and the role they can play in contributing to green infrastructure and restoration of natural processes.
				- Up-to-date, practical and evidence based environmental education for the community to stay informed, connected and take action in response to the Climate and Ecological Emergency.
				- Participation in ASPiRE and support for local businesses to work together to exchange waste as a resource.
				- Low carbon community grants for organisations and initiatives that prioritise low emissions.
				- Zero waste Council events.

Did you know...

By 2030 a new 4-bin waste and recycling system will be standard for households across Victoria. And by 2022-23 a container deposit scheme will exist to facilitate the swapping of empty cans and bottles for cash

Priority Area 4 Transform Council Operations

Aim	Priority Actions	Responsible area	Priority (low,med, high)	Estimated cost (low, med, high)
Advocacy		Corporate Services	Medium	Low

Develop and implement Council's advocacy priorities to address the Climate and Ecological Emergency via an endorsed Council position. Specific advocacy initiatives may include:

- A plan to avoid lending, investing in or buying from commercial entities engaged in listed environmentally damaging activities (yet to be developed).

Future proofing business and industry:

- Encourage industry organisations such as the SEMMA to investigate new technologies, educate their members and facilitate renewable energy PPAs for their members.

Low carbon living:

- Work with other levels of government and various agencies to identify ways to improve comfort and energy costs of housing for low-income and vulnerable communities.
- Collaborate to drive improved planning and building permit compliance.
- Collaborate with other local councils, via CASBE to improve local and State planning policy requirements especially in relation to ESD.

Supporting sustainable transport:

- Work with other levels of government to support a second hand electric and other low emission vehicle market.
- Determine specific improvements to the public transport network that could result in increased uptake, and advocate to the State Government for these changes.
- Determine specific improvements to the public transport network that could lower emissions (e.g., electrification), and advocate to the State Government for these changes.
- Advocate to private operators and the State government to support deployment of electric buses (including school buses).

Communications and engagement:

- Implement a communications and engagement plan aimed at supporting the inwards and outwards aspects of councils advocacy work (see Section 6).

Did you know...

Council has already minimised investments in financial institutions that fund the fossil fuel industry while maintaining compliance with the Investment Policy Risk Management Guidelines which form part of the Local Government Act opportunities to place additional funds with 'sustainable' financial institutions while still enabling Council to diversify its investment portfolio and minimise financial risks are always being examined

Priority Area 5 Draw Down or Sequester Carbon from the Atmosphere

Priority Actions			
Aim	Urban Forest		
Responsible area	Scope, commission, finalise and implement Council's Urban Forest Strategy aimed at significantly expanding vegetation and tree canopy cover across Kingston.		
	Specific objectives include: - Protecting existing vegetation and canopy cover (private and public land) - Expanding vegetation and canopy cover (private and public land) - Strengthen biodiversity and habitat using appropriate native species, and restore natural resource area ecosystems where possible - Reducing urban heat island effects - Contributing to draw down (the removal of carbon from the atmosphere)		
Offset	Note: the full scope of Council's Urban Forest Strategy is still being developed and is subject to change Offset residual Council emissions (gas supplied sites, Council fleet, contractor vehicle emissions, waste, corporate travel, etc) via Climate Active (formally the National Carbon Offset Scheme (NCOS))		
	Corporate Services	Low	High
Draw down	Note: 'local' offsets are preferred Investigate opportunities to collaborate with other councils to support projects which maintain and enhance carbon 'sinks' that remove / sequester carbon from the atmosphere (forests, sea grass, freshwater wetlands etc)		
	City Assets & Environment	Medium	High

Did you know...
In 2020 Council removed approximately 1,500 trees but planted over 2,800. During the same period Council planted more than 27,000 plants. We know we need to do more, so we'll continue to focus on protecting and expanding vegetation and canopy cover on all suitable private and public land.

Priority Area 6 Adapt

Aim	Priority Actions	Responsible area	Priority (low,med, high)	Estimated cost (low, med, high)
Adapt to the impacts of climate change	Develop and deliver a Climate Adaptation Plan which will include: - Assess the vulnerability to climate change impacts of Kingston's built, natural and coastal environment, and our community. - Identify pathways to address vulnerabilities in our natural and built environment over time, including planning for sea level rise impacts in our low-lying coastal areas. - Strengthen the resilience of our community to the impacts of climate change including food security. - Develop Council's climate adaptation capabilities. - Work in partnership with Federal and State Government agencies, neighbouring local governments, industry and the community to implement regional climate adaptation programs. Note: the full scope of Council's Climate Adaptation Plan is yet to be developed and is subject to change	Planning & Development	Medium	Medium
Health & Wellbeing	Develop and deliver Council's Public Health and Wellbeing Plan which includes climate change considerations. Sustainability indicators for inclusion in the plan and tracked over time may include: - Understanding of climate change and biodiversity loss. - Patterns of shopping . - Plant based diets. - Transport choices. - Climate vulnerability and related impacts on physical and mental health.	Community Sustainability	High	Medium

Did you know...
Community feedback has provided Council with a clear mandate: prioritise protection of existing trees from damage; prevent tree removal and facilitate new tree planting and growth on public and private land.

Did you know...

Getting involved in public conversations, educating yourself on the issues and engaging with politicians at all levels can shift the public policy agenda – from business as usual to the real issues people are concerned about

Priority Actions			Aim
Priority (low,med, high)	Estimated cost (low, med, high)	High	Industry
			- Source energy from technology such as on-site solar photovoltaics (PV) installations or biomass boilers, or through purchased renewables. - Replace gas powered machinery with viable alternatives. - Transition lighting at industrial sites away from high-pressure sodium and metal halide to LEDs. - Improve the energy efficiency of air compressor systems, refrigeration systems and other pieces of industrial plant through refurbishment, replacement, optimisation and more frequent maintenance. - Install solar PV and batteries on all available sites, including commercial building rooftops and other structures, and ground mount solar PV on appropriate land. - Implement suggested changes to the National Construction Code (NCC) (achieve a level of thermal comfort equivalent to 7 stars NatHERS and net zero annual energy use for regulated building services, i.e. space conditioning, heated water systems, lighting and pool and spa pumps). - Utilise Environmental Upgrade Finance to improve energy efficiency. - When designing and building a new premises, future proof for EV charging. - Implement communications program (NABERS) to raise public awareness of the emissions footprint of new buildings. - Replace inefficient and expensive heating and cooling appliances. - Trial use of low carbon recycled priority materials (glass, plastic, rubber, paper or cardboard) and recycled civil materials (e.g. soil, rock, crushed concrete, recycled asphalt pavement) in infrastructure projects. - Install solar PV and batteries on all available sites, including residential building rooftops and other structures, and ground mount solar PV on appropriate land. - Form or join a community group to investigate opportunities/ decide on revenue mechanisms for community energy. - Plan for the replacement of inefficient appliances (heating and cooling). - Aim for net zero energy when designing and building a new home. - Allow for maximum tree retention and consider green infrastructure when building a new home. - Future proof your home for electric vehicle charging . - Research electric and other low emission vehicle benefits, location of charging infrastructure and government and other incentives. - Consider purchasing an electric vehicle.
Low	Low	Low	Individuals
			- Advocate to banks and other entities to divest from listed 'environmentally damaging' activities. - Use public transport. - Research the convenience and practicality of using car share programs. - Adopt a plant based diet. - Shop locally. - Buy renewable energy. - Buy fewer disposable products, reduce waste, use your organics bin and recycle. - Offset air, other travel, freight and other unavoidable emissions. - Plan for increased extreme weather events such as heatwaves and flooding.



6. Communications and Engagement

Council's response plan will be underpinned by engagement which helps communicate to the community:

- Council is taking significant, urgent action and we need the community to join us.
 - Everyone in Kingston can do their fair share, to maintain a safe climate.
 - We're part of the net-zero carbon movement taking off around Victoria and the world.
 - We can do better than business-as-usual.
- This will be delivered alongside promotion of a series of inclusive, accessible, targeted and deep engagement programs involving specific stakeholder groups designed to drive positive behaviour change.

The Kingston community wants to be empowered with a vision of Kingston in 2030 as a healthy, renewable and connected place to be. Council's communications and engagement team will support delivery of this vision.

7.

Monitoring, Evaluation, Review and Learning

This will contribute to growing the knowledge base in local government, enable others to learn from Kingston's program and ensure emissions reductions are well targeted and effective in future.

7.1 PROGRESS MONITORING

7.2 IMPACT MONITORING

7.3 EVALUATION TRIGGER

7.4 EVALUATION, REVIEW AND LEARNING

<p>Progress monitoring refers to internal monitoring of the implementation of the plan. This confirms that the response plan has been implemented as intended, however it does not measure the success of the plan in tCO₂e abated.</p> <p>Once budget, resources and timelines have been allocated, a detailed analysis should be conducted. Tracking against the timelines and budget estimations in the plan will ensure that projects are implemented in a timely fashion and within the expected budget.</p> <p>Actions and key performance indicators (KPIs) set out in the Council Plan and departmental business plans will be monitored via approved internal and external reporting processes.</p>	<p>Impact monitoring measures the success of the plan in tCO₂e abated. It is used to understand whether an action is effective and to what degree. Impact monitoring must be conducted at regular periods during the implementation of the plan. If this monitoring demonstrates that an action is not having the anticipated effect (by meeting a certain trigger point), a more detailed analysis should be conducted into the effectiveness of the action. Council can then use this information to decide whether to change or remove the action from the program.</p> <p>Please note that the implementation period of an action refers to the time that the action is expected to be active in reducing emissions. For example, emission reductions as a result of action focused on "Low Emissions Buildings Through Design" will not be measured from when engagement between teams commences but when the various planning changes come into effect.</p> <p>Monitoring of corporate emissions reduction projects will occur through the ongoing collection of data. This may be via an independent third party platform provider or Council's own systems. By analysing changes to the overall corporate greenhouse gas inventory and monitoring particular, relevant sources such as bills for specific sites, cost savings and emissions abatement will be evident.</p> <p>Monitoring the impact of action in the community emissions trajectory is much more complex because Council does not have access to accurate, real time data. Instead, Council may be required to collect and assess data from particular sources and compare it to a cohort municipality – that is, another Australian municipality with similar characteristics that is not implementing the program. By comparing the data, it will be evident whether there is a change in emissions that is occurring beyond business-as-usual.</p> <p>A monitoring tool in excel format which will be used for impact monitoring has been prepared.</p>
<p>Through regularly collecting and completing data analyses, Council will essentially be undertaking minor evaluations. Initially, this evaluation will be a simple assessment of whether the program outcomes are within the acceptable threshold or whether a trigger point has been reached. If a trigger point is reached, Council will need to investigate why the project has deviated from what is expected. Based on this information, Council will then need to decide whether to continue with revised expectations, adjust the program itself, or abort the program and focus resources on a different area.</p> <p>At the conclusion of the implementation of each action, Council will compile monitoring data and conduct a full evaluation of program effectiveness. Using data collected throughout the implementation together with further research and review of information from other local government areas, Council will be able to establish an understanding of the relative effectiveness of the program. This is an incredibly important contribution to growing the knowledge base in the local government sector and enabling others to learn from Kingston's program and ensure emissions reductions are well targeted in future.</p> <p>Climate related risks and issues, captured in Council's strategic risk profile will also be monitored.</p> <p>Finally, learning. The information gathered through the monitoring and evaluation process will be shared so that it can contribute to continuous learning and improvement, both internally within Council teams and externally, for other local governments. Council will continue to seek out avenues for sharing information.</p>	<p>In any case, when an evaluation trigger is reached, it is a sign that more detailed analysis must be undertaken to determine the future of the action.</p> <ul style="list-style-type: none">• The business-as-usual trajectory for the action is considerably different to anticipated. In this case, Council should re-evaluate how it interacts with this action.• Action is having higher-than-anticipated impact. In this case, an increase in scope of this action may be considered. Or, this may mean that there are external factors at play.• Action is having a lower-than-anticipated impact. This may result in significantly lower emissions reductions, meaning the action may not be effective. If so, Council should explore whether it is valuable to continue directing effort to this action.

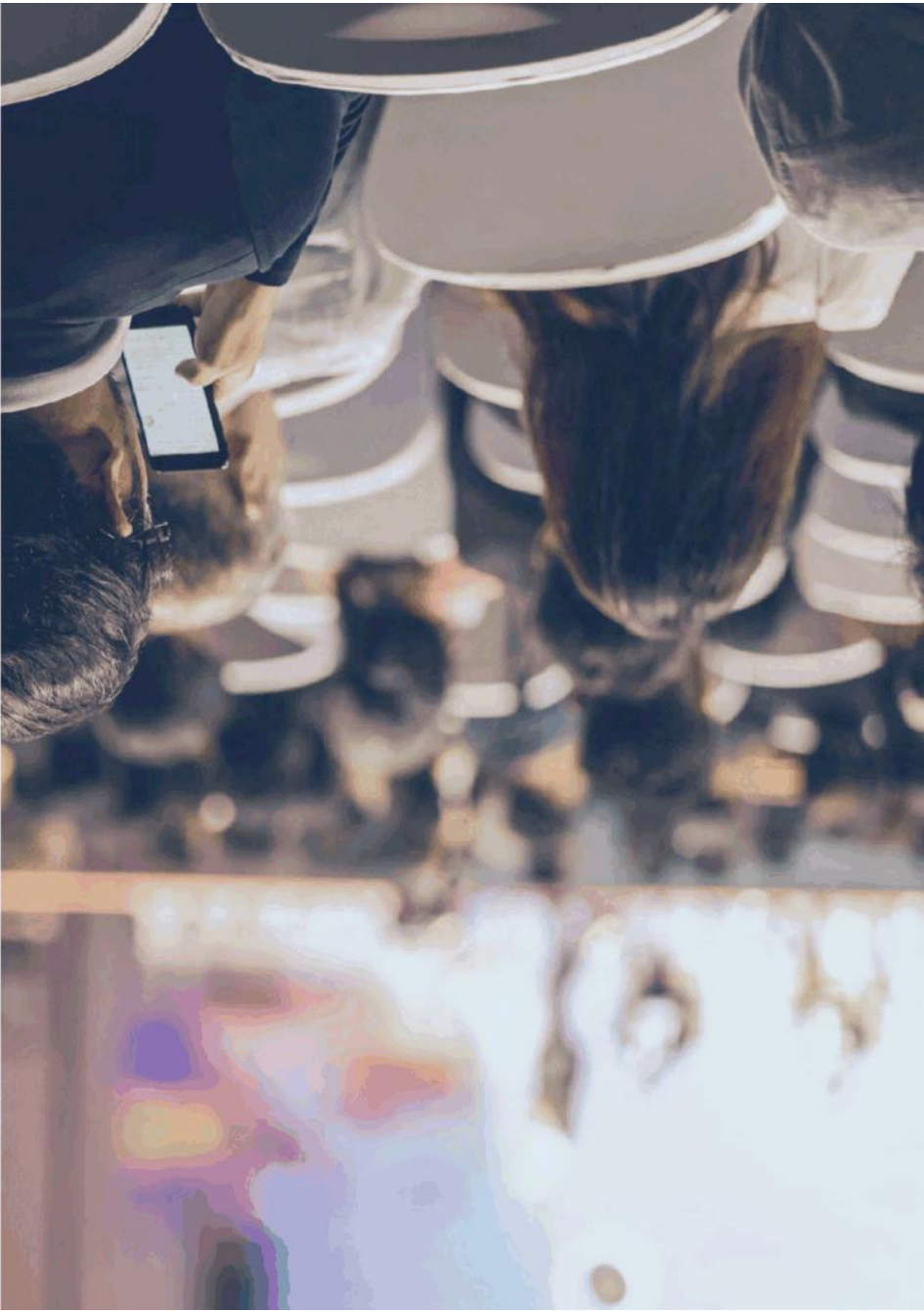
8. Consultation

Council welcomes feedback on how we're tracking against our ambitious targets and is always open to ideas about how to reduce emissions in line with our science derived emissions reduction target.

In July 2020, Kingsdon was involved in a Regional Emissions Reduction Stakeholder Workshop involving stakeholders with the greatest potential to support emissions reductions in the SECCCA region. More than 20 businesses, industry and government stakeholders participated and contributed to discussions about emissions reductions. The workshop was focused on hearing from business and industry stakeholders about their emissions reduction projects and priorities and barriers they face in achieving large-scale and long lasting emissions reductions. A summary is provided here. Stakeholder feedback was captured in the analysis undertaken by Ironbark Sustainability.

During early 2021, Council sought feedback on a draft version of this plan via a range of channels. At least 200 individuals provided feedback which was summarised and used to inform this final version.

Specific actions suggested via feedback have been captured and a community advisory group will be established focused on climate action aimed at ongoing, two way consultation. In the immediate term, modelled actions that will support significant stakeholders' emission reduction efforts such as working collaboratively with industry and connecting stakeholders will remain the focus of ongoing Council action. Council will continue to engage with relevant stakeholders to discuss future collaboration opportunities. As we develop strategies and actions we will check back with stakeholders about their appropriateness and likelihood of success.



10. References

8 Spratt, David. Unravelling the myth of a carbon budget for 1.5C. September 2016 Retrieved from, <http://www.climatecodebook.org/2016/07/unravelling-myth-of-carbon-budget-for.html>

9 Note, figures are slightly different to those available in Kingston's Climate Change Strategy and via <https://snapshotsclimate.com.au/locally/austalia/victoria/kingston/2018/fy>. There are many reasons why a profile can change over time including changes in emissions sources, updates to methodology and more accurate data sources. More information is available via the snapshot website

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4 Recent trends in and preparedness for extreme weather events. August 2013 Retrieved from, https://www.aph.gov.au/Parliamentary_Business/Committees/Senate/Environment_and_Communications/Completed_inquiries/2010-13/extremeweather/report/c03

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Draw down
Use of permanent trees and other woody biomass and well managed soil to remove carbon dioxide from the atmosphere. Other draw down techniques (beal and blue carbon sequestration) and carbon capture technologies are being researched.

SECCCA
South East Councils Climate Change Alliance. SECCCA region is used to refer collectively to the seven councils participating in this project. These include Bayside City Council, Cardinia Shire Council, City of Casey, Frankston City Council, City of Greater Dandenong, City of Kingston and Mornington Peninsula Shire. SECCCA councils that are not participating in this project have been excluded from all calculations, charts, and modelling.

Scope 1 and 2 emissions
Scope 1 emissions are direct emissions from owned or controlled sources for example, generator sets and bottled gas (usually smaller). Scope 2 emissions are indirect emissions from the generation of purchased energy (our major source of emissions)

Scope 3 (supply chain or other out-of-boundary) emissions
All indirect emissions (not included in scope 2) that occur in the value chain of the reporting entity, including both upstream and downstream emissions

Zero carbon
Causing or resulting in no net release of carbon dioxide into the atmosphere

Adaptation
A response to climate change, that seeks to reduce the vulnerability of social and biological systems to change and thus reduce the impacts of climate change. Adaptation generally occurs locally as a response to local impacts.

Community
The individuals and businesses that reside, work and operate within the City of Kingston.

City/ municipality
These terms are used interchangeably to refer to the total area within a given municipal boundary and under the jurisdiction of the presiding local government of that area.

Community emissions
Greenhouse gas emissions attributable to the community and outside of operational control of Kingston City Council as an organisation.

Corporate emissions
Greenhouse gas emissions attributable to Council's own operations and with the direct operational control of Kingston City Council as an organisation.

Mitigation
Actions to limit the magnitude or rate of long term climate change. Climate change mitigation generally involves reducing the source of human emissions of greenhouse gases and enhancing capture of emissions.

Offset
A carbon offset (or carbon credit) is generated from an activity that prevents, reduces or removes greenhouse gas emissions from being released into the atmosphere to compensate for emissions occurring elsewhere.

Drawdown
The future point in time when levels of greenhouse gases in the atmosphere stop climbing and steadily start to decline. Drawdown is a milestone in reversing climate change, and eventually reducing global average temperatures.

9. Glossary

Adaptation
A response to climate change, that seeks to reduce the vulnerability of social and biological systems to change and thus reduce the impacts of climate change. Adaptation generally occurs locally as a response to local impacts.

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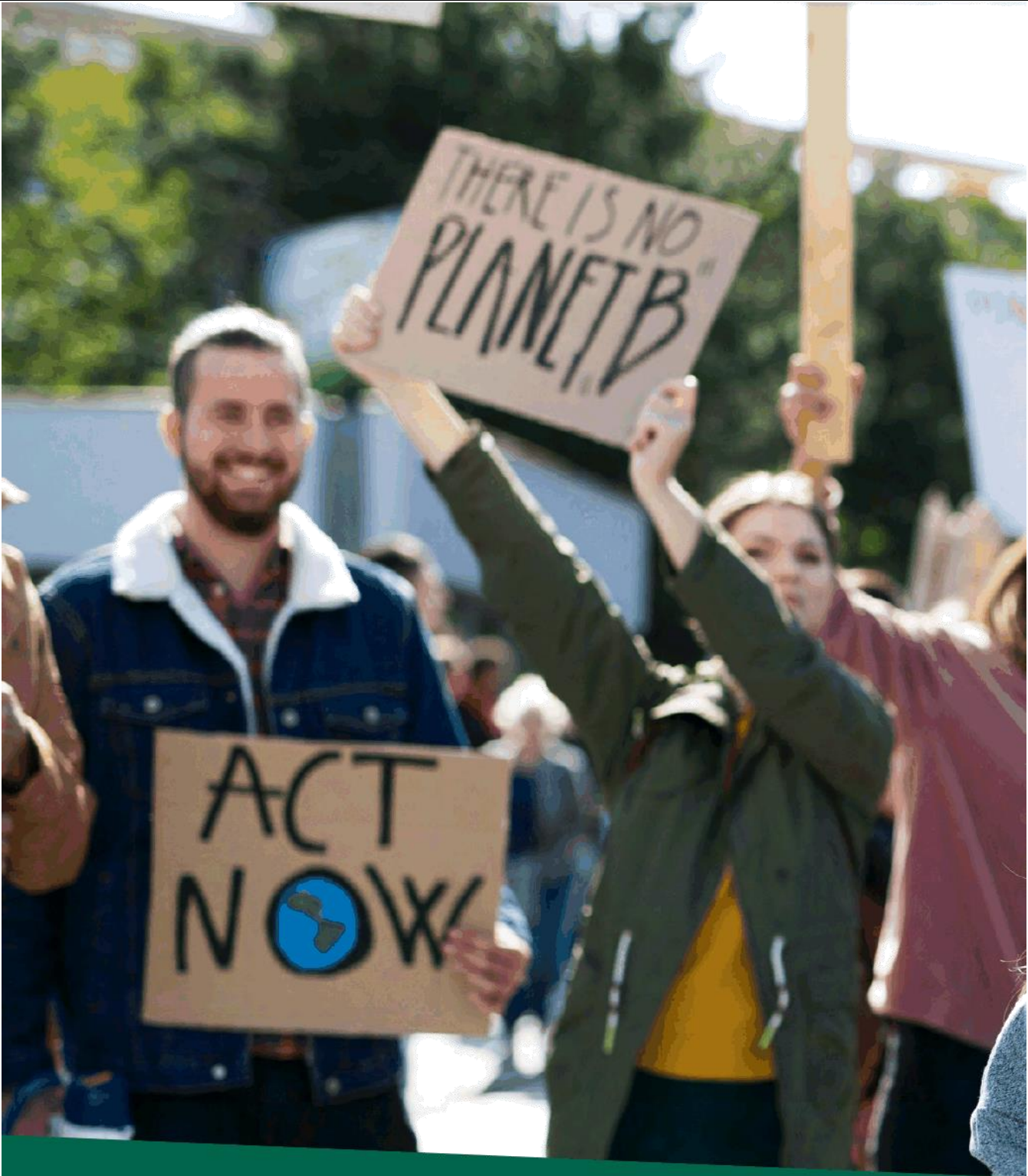
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18 City of Kingston, 2020. Retrieved from: <file:///C:/Users/Kerns1/Downloads/20-150631-27-July-2020-Ordinary-Council-meeting-Housing-Neighbourhood-Character-Strategy.pdf>

19 City of Kingston, 2020. Retrieved from: <https://www.kingston.vic.gov.au/Business/Business-Support-and-News>

20 In this context "technology agnostic" refers to an unbiased use of different technology tools to solve different problems. The electric vehicle landscape is rapidly developing. The technology of today may not be appropriate for the future and this needs to be planned for.



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Communications & Engagement Plan

Background information	Project title	Climate and Ecological Emergency Response Communications & Engagement
	Project manager	Susannah Kenny - Climate and Ecological Emergency Response Officer
Key information	Background	<p>Council plays an important leadership role within the City of Kingston, supporting local action and influencing the transition to a more sustainable future, but we need to do more. While Council has been working for some time to reduce its own emissions and support the community to live more sustainably, it is time to accelerate our emissions reductions, and strengthen protection of our natural environment.</p> <p>Council has a strong foundation from which to scale up our collective action to achieve our target of net zero by 2030 - but the magnitude of change is huge. Business as usual is not enough.</p> <p>We understand where and how we need to accelerate and support existing work to respond to the climate emergency, and what we can do to facilitate the scope and scale of emissions reduction within the community needed to bring about meaningful change. We know we need to target certain industries, grow our capability and capacity to lead effective and sustained climate programs and advocacy and that barriers to change need to be removed.</p> <p>Council's climate and ecological emergency response will focus on the following priority areas:</p> <ul style="list-style-type: none"> • Support low carbon living • Future-proof business and industry • Transition to sustainable transport • Draw down or capture carbon from the atmosphere • Adapt to the impacts of climate change • Transform Council operations



Communications & Engagement Plan

Purpose of communications and engagement	Engagement objectives	<p>Climate and ecological emergency response communications and engagement will aim to:</p> <p>Phase 1. Drive awareness regarding the urgency of the climate and ecological emergency for Kingston, educate and inspire positive behaviour change.</p> <p>Phase 2. Promote a series of inclusive, accessible and targeted deep engagement programs with specific stakeholder groups designed to drive positive behaviour change, alongside the ongoing awareness campaign</p>		
Level of engagement	Determine the maximum level of engagement for your project using the IAP2 Spectrum.	<p>Phase 1</p> <p>X Inform <input type="checkbox"/> Consult <input type="checkbox"/> Involve <input type="checkbox"/> Collaborate <input type="checkbox"/> Empower</p> <p>Phase 2</p> <p><input type="checkbox"/> Inform <input type="checkbox"/> Consult <input type="checkbox"/> Involve X Collaborate <input type="checkbox"/> Empower</p>		
	Internal stakeholders	<ul style="list-style-type: none"> - All staff - Councillors - All GMs - Relevant managers (likely to be most) 		
	External stakeholders	<p>Critical</p> <ul style="list-style-type: none"> -Kingston residents -Small and large-scale 	<p>Essential</p> <ul style="list-style-type: none"> - External agencies, partner and representative organisations, community groups: 	<p>Interested</p> <p>Media</p>



Communications & Engagement Plan

	developers	-Community groups
	-Commercial businesses	*Zero Kingston 2030, *Transition Kingston, *Bayside Climate Action Committee
	-Industrial businesses	-Friends groups
	-State government	-Associations: *Master Builders Association *Victorian Building Association *South East Melbourne Manufacturers Alliance *Greater South East Melbourne (Economic Development Forum) *Real Estate Associations *Clean Energy Council *Public Transport Users Association *Bicycle Victoria *Electric Vehicle Council *Energy Efficiency Council, Greenhouse Alliance, *Australian Industry Group *VECCI <i>^This is not an exhaustive list. Program Officer will be responsible for additional research and engagement</i>



Communications & Engagement Plan

<p>Campaign</p>	<p>Phase 1:</p> <p>Campaign hook:</p> <p>Imagine a net-zero carbon Kingston in 2030</p>	<p>Phase 1 Objective: Drive awareness regarding the urgency of the climate and ecological emergency for Kingston, educate and inspire positive behaviour change.</p> <p>Environmental Planning will work with the Communications, Design and Digital teams to develop an awareness campaign, to provide access to accurate information on the climate emergency and inspire positive behaviour change.</p> <p>A 'pledge' mini-site will provide the vehicle to educate and inspire, while capturing data regarding deemed greenhouse reductions, which can be used as further motivation in later communications.</p> <p>Results will be shared with the community via the mini-site to update the community on Council's progress</p> <p>If Council-approved, a 'community committee' will be promoted via the mini-site as well.</p> <p>Phase 2 Objective: Alongside the ongoing awareness campaign, promote a series of inclusive, accessible and targeted deep engagement programs with specific stakeholder groups designed to drive positive behaviour change, e.g., sharing of success stories</p> <p>These will be planned and delivered as part of the action plan implementation.</p>
<p>Key messages</p>	<p>Key messages to be used throughout</p>	<ul style="list-style-type: none"> • We acknowledge the climate emergency • Imagine a net-zero carbon Kingston in 2030 (what does that look like and how does that make you feel?) • Council is taking significant, additional, urgent action and we need you to join us • We can all do our fair share, here in Kingston, to maintain a safe climate • We are part of the net-zero carbon movement taking off around Victoria and the world • We can do better than business as usual



Communications Action Plan

Communications action – phase one (awareness)	Purpose	Date	Responsible
Methods			
CWU for Councillors	Brief outlining the campaign so Councillors have oversight	Campaign commencement date TBC	Environmental Planning
The Friday Catch-up with the Executive Team	Brief outlining the campaign so the Executive Team can talk to it and help bring staff along Kingston's Climate and Ecological Emergency Response journey	"	Environmental Planning
Governance Matters	Brief outlining the campaign so the Governance team can talk to it and help bring staff along Kingston's Climate and Ecological Emergency Response journey	"	Environmental Planning
FAQ document for Customer Care	Document outlining all the key FAQs should anyone enquire	"	Communications
Email signature	Build awareness, educate, inspire, encourage participation on the pledge mini-site	"	Communications
Message on hold for Customer Care (additional if major events approved)	Build awareness, educate, inspire, encourage participation on the pledge mini-site	"	Communications
Digital screens in Libraries, Customer Care, Leisure Centre and Hubs (additional if events approved)	Build awareness, educate, inspire, encourage participation on the pledge mini-site	"	Communications
Social media promotions (additional if major events approved)	Build awareness, educate, inspire, encourage participation on the pledge mini-site	"	Communications



Communications & Engagement Plan

Council website banners (additional if major events approved)	Build awareness, educate, inspire, encourage participation on the pledge mini-site	"	Communications
Pinboard and Knet	Build awareness, educate, inspire, encourage participation on the pledge mini-site	"	Communications
Relevant newsletters (e.g. Kingston News, Our Place Community eNews, Business Directions) (additional if major events approved)	Build awareness, educate, inspire, encourage participation on the pledge mini-site	"	Communications
Pull up banners for Libraries, Arts Centres	Build awareness, educate, inspire – no mention of mini-site so they can be used for years to come	"	Communications
Promotion throughout relevant Environmental Planning projects and programs	Engage audiences already prepped for taking action	"	Environmental Planning
Promotion via Council's major festivals and events such as Mordi Fest and Spring Fair	Build awareness, educate, inspire – key message regarding mini-site or major events, dependant on timing	"	Communications/Environmental Planning
Promotion through Kingston Arts' Optika photo exhibition (to be scoped)	Build awareness, educate, inspire	September 2021	Environmental Planning/Arts
Promotion through a new 'white night' style Kingston Arts event (to be scoped)	Build awareness, educate, inspire	Winter 2022	Environmental Planning/Arts/Events

Communications action – phase two (promotion of programs)	Purpose	Date	Responsible
Methods			
This section of the plan will be populated when programs have been developed		Dependant on Program Officer onboarding	

26 July 2021

Agenda Item No: 8.9

SUBURBAN RAIL LOOP - DESIGN ADVOCACY - COMMUNITY CONSULTATION

Contact Officer: Tara Bell, Place Manager
Justin Kelly, Urban & Sustainable Design Advisor

Purpose of Report

The purpose of this report is to provide Council with an overview of community consultation proposed to be undertaken on the design advocacy work for the Suburban Rail Loop (SRL) project. Feedback from the community will be sought on key principles and opportunities arising from early consideration of the project which will then inform the development of Council advocacy documents.

Disclosure of Officer / Contractor Conflict of Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That:

1. Council acknowledge the letter received from Minister Allan advising that the Delta site and surrounding properties to the east in Heatherton will be the only area progressed for the Southern Stabling Facility through the Environmental Effects Statement process.
2. Council undertake community consultation on the initial design principles and opportunities (Appendix 1) for the Cheltenham Suburban Rail Loop Station and Southern Stabling Facility.
3. Following consideration of any community feedback received, a further report and detailed advocacy documents be presented to Council for consideration in late 2021.

1. Executive Summary

On 24 August 2020 Council adopted an advocacy position outlining how it will seek to engage with the Suburban Rail Loop Authority (SRLA) on the Suburban Rail Loop project.

In January 2021 Council passed several resolutions regarding the SRL project, including rejection of the stabling facility at Heatherton, emphasising the importance of the Chain of Parks project and importance of further engagement with Council on key project outcomes.

In February 2021 Council wrote to the Premier requesting an integrated and policy aligned response from the State Government and the SRLA. The letter requested that the State Government revisit the stabling yard decision, deliver on election commitments for the Chain of Parks and ensure commencement of a whole of precinct approach for the SRL Station including consideration of the impact on Sir William Frey Reserve and Highett Gasworks site.

On 9 June 2021 Council received a letter from the Minister for Transport Infrastructure and Suburban Rail Loop Authority confirming that the Kingston Road site is the selected site for consideration through the Environment Effects statement (EES) and the reasons for this decision. Having now received this confirmation from the Minister for Transport Infrastructure, it is proposed that Council advocate on behalf of the community to optimise the design of the proposed stabling yards and seek to mitigate its impact on surrounding residents and the Green Wedge landscape.

Council has now assembled a team of consultants to assist in its response to the EES, through the technical reference group and recent advocacy work. The advocacy work will comprise the development of two precinct-based documents that will be developed for adoption in late 2021. The documents will speak to Council's expectation for design outcomes at the station precinct and stabling facility building upon previous advocacy work and feedback to the SRL.

Due to the confidential nature of the information provided to Council by the SRL, it is proposed that an initial community consultation period is undertaken through August seeking feedback on broad themes and opportunities to be explored through Council's advocacy work. This will enable community inputs to be sought on key aspirations and opportunities whilst maintaining Council's confidentiality obligations. A specific and detailed document will be developed post community engagement for final adoption when the detailed EES material is made public.

For the Cheltenham Station Precinct, the themes and opportunities will centre around:

- Regional Connections
- Local Connections and Interchange
- Open Space and the Public Realm
- Uses and activation
- Character and Identity
- Sustainability

For the Southern Stabling Facility, the themes and opportunities will centre around:

- Connectivity and maintaining the Chain of Parks
- Minimising amenity impacts (visual and noise)
- Sustainability and Bio-diversity

Community feedback is proposed to be sought through the Your Kingston Your Say platform, with information bulletins to be sent to the community within an 800m radius of each precinct and to key stakeholders.

2. Background

On 24 August 2020 Council adopted an advocacy position outlining how it sought to engage with the Suburban Rail Loop Authority (SRLA) on the Suburban Rail Loop project.

Since this time, officers have engaged consultants to prepare background reports for both the proposed Cheltenham SRL station at Sir William Fry Reserve and the Southern Stabling Facility

Officers are currently participating in the EES technical reference group, receiving reports in over 21 disciplines that are being reviewed by officers across the organisation.

Council has, on several occasions, provided correspondence to the State Government and to the SRLA seeking holistic precinct planning at Cheltenham and outlining its opposition to the selected stabling facility site in Heatherton. Council has recently been notified through correspondence from Minister Allan reinforcing the importance of a precinct-based approach.

Officers are progressing two design advocacy documents for the Cheltenham SRL Station and Southern Stabling Facility. Councillors were briefed on the early issues in March 2021 and introduced to the lead consultants with a more recent briefing held on 30 June 2021 in relation the issues and opportunities identified.

3. Discussion

3.1 Council Plan Alignment

Goal 4 - Our free-moving safe, prosperous and dynamic city

Direction 4.4 - Integrated accessible transport and free moving city

The suburban rail loop project has the potential to open up connectivity to the broader Melbourne region supporting access to jobs, services, education etc. The new Cheltenham Station presents the opportunity to consider broader precinct objectives of a highly connected major activity centre. Impacts on amenity and the strategic vision for the Green Wedge are critical considerations associated with the proposed stabling facility in Heatherton.

3.2 Consultation/Internal Review

Officers have engaged broadly across the organisation, seeking feedback through early advocacy work and on the development of key issues and opportunities. This has included Community Buildings, Property, Infrastructure, Open Space, Major Transport Projects, City Strategy, Active Kingston, Family Youth and Children's Services, Libraries Hubs and Partnerships, Accesscare, Communications, City Development, City Economy and Innovation.

Initial discussions have also been held with Scentre Group, Bayside City Council and Development Victoria regarding Cheltenham. Further meetings will be scheduled with these key stakeholders as the project progresses.

3.3 Operation and Strategic Issues

3.3.1 Cheltenham Station Themes and Opportunities

A broad overview of each theme is provided below noting that detailed content is contained in Appendix 2:

- **Regional Connections** - unlocking potential of greater connectivity, maximising interchange / transfer potential, boosting bus feeder services and developing the cycling network
- **Local Connections and Interchange** - ease of interchange between the stations and buses, convenient kiss and go facilities, delivery of a path network that supports cycling and walking to support it as the preferred method of local travel between the station and surrounding areas

- **Open Space and the Public Realm** - opportunities to offset lost open space, improving the quality and function of the reserve to meet demand, create of urban spaces and plazas and creating an urban boulevard along Bay Road
- **Uses and activation** - using the station entrance as an activator at street level, activated ground floor development to support vibrancy and safety, potential for a community hub and provision of housing for diverse needs
- **Character and Identity** - use of inspiring architecture for station buildings and services, consideration of gateway buildings, the importance of storytelling to share the history and treatments for temporary structures
- **Sustainability** - establishing the precinct as a world leader in ecologically sustainable design through integrated water management, zero carbon approach, enduring landscapes with greater canopy cover and infrastructure to minimise the need to use the private vehicle for travel

3.3.2 Southern Stabling Facility

- **Local and Regional Connections** - advocate for the Chain of Parks delivery, to maintain its connections by providing access over the infrastructure and through the site, particularly on the Old Dandenong Road alignment.
- **Amenity impacts** – advocate for suitable screening in the form of landform manipulation, such as landscaped mounds to block views of rail related infrastructure. Where necessary, enhanced vegetation screening will be proposed, this will also be beneficial for noise mitigation. The offsite impacts of lighting will be minimised for residential adjacencies but may be harnessed for publicly accessible locations.
- **Sustainability and Bio-diversity** - advocate for high quality wetlands with recreational access, to contribute to the Chain of Parks and to create enhanced habitat opportunities in the landscape and on built form with green walls and living roofs.
- **Productivity** - noting the likely contribution of 200 permanent jobs at the facility, we will advocate for built form within the facility to sit comfortably within the Green Wedge context and to minimise impacts on urban heat island and provide habitat to contribute to biodiversity.

3.3.3 Southern Stabling Council Resolution

Council resolved on 27 January 27, 2021, to reject the use of the 'Delta' site as the location for the Southern Stabling Facility and to promote the site's role in the Sandbelt Open Space - Chain of Parks Project and its proposed contribution to local and community sport. The Mayor wrote to the Premier of Victoria on 24 February 2021 to inform the Government of this resolution.

Recent correspondence, received from the Minister for Transport Infrastructure, The Hon Jacinta Allan MP has advised that the Government will be presenting only this one site for assessment through the Environment Effects Statement (EES). Council's focus will therefore be on credibly advocating for the best outcomes for the community at the southern stabling facility on the basis it were to proceed.

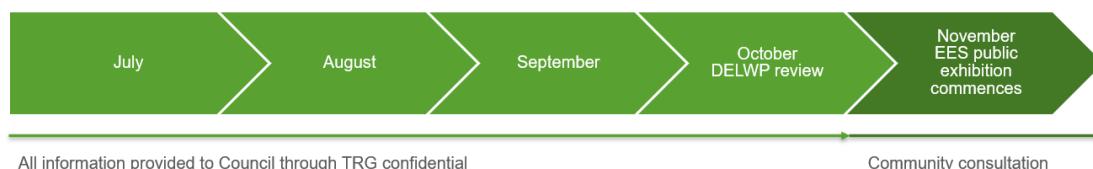
3.3.4 Engagement Process

Timing and content of the community engagement is constrained by the Environmental Effects Statement process and the confidentiality arrangements that Council has with the SRLA, as well as the terms of reference of the EES technical reference group. These arrangements preclude Council from engaging with the community on details such as concept / site arrangement plans as these have been informed by confidential information.

Feedback from the community will be sought on the principles and opportunities for the Station and Stabling Site to ensure Council's thinking on design advocacy is aligned with community aspirations. The feedback will be presented back to Council at CIS in October 2021.

Concurrent to community engagement, Council's consultant team will commence concept testing and will combine this with community feedback to inform the final concept plans and guidelines which will be presented to Council in November, once the EES material is public.

SRLA Environment Effects Statement timetable



KCC Design Advocacy timetable



This schedule will enable Council to adopt its design advocacy position for both sites during the public exhibition, informing its submission to the EES process and providing a public platform to inform the community of its position.

As per the attached communications plan (Appendix 1), the engagement process will:

- Run for four weeks through the month of August
- Seek feedback from the community through the Your Kingston Your Say Platform
- Include an information bulletin being sent to the Cheltenham / Highett and Heatherton Communities within a 800m radius of the precincts and key stakeholders. This bulletin will outline where we are at in the process, the intent of council advocacy and the direct the community to the YKYS page
- Promotion on Kingston webpage and social media

4. Conclusion

It is recommended that Council commence community consultation to seek community feedback on the principles and opportunities for the Cheltenham SRL station and Southern Stabling Facility through August. This feedback will then be used to inform the final design advocacy documents to be presented to council in late 2021, aligned with the release of the Environment Effects Statement.

4.1 Environmental and Social Implications

The design advocacy work will focus on the final design of the station, precinct and stabling facility, seeking to drive the best possible outcomes in relation to:

- Access and connectivity
- Public realm design and open space provision
- Landscape and vegetation
- Built form design quality, identity and character
- Sustainability and local economy
- Mitigation of amenity impacts such as visual impact, ambient light pollution and noise

4.2 Resource Implications

To assist with the advocacy work, Council has assembled a consultant team comprising urban design, landscape architecture and transport consultants. The project also requires the contributions of a broad range of departments.

Council has also engaged the services of consultants for ecology, arboriculture, noise and vibration, ground water, ground movement, recreation planning and integrated water management to support advocacy through the EES process.

4.3 Legal / Risk Implications

A key risk of the advocacy work is managing the confidentiality agreements that bind Council. The development and engagement process have been shaped to manage this risk.

Developing the documents prior to the EES period will enable council to set clear expectations on the delivery of the SRL project during the exhibition period, mitigating risks associated with time to consider the project, capacity to assemble consultant teams and capacity to advocate to a broad range of stakeholders.

Appendices

Appendix 1 - SRL comms and engagement plan (Ref 21/169497)  [Download](#)

Appendix 2 - Consultation Summary – Cheltenham and Heatherton (Ref 21/176565) 

[Download](#)

Author/s: Tara Bell, Place Manager
Justin Kelly, Urban & Sustainable Design Advisor

Reviewed and Approved By: Paul Marsden, Manager City Strategy
Jonathan Guttmann, General Manager Planning and Development

8.9

SUBURBAN RAIL LOOP - DESIGN ADVOCACY - COMMUNITY CONSULTATION

1	SRL comms and engagement plan	317
2	Consultation Summary – Cheltenham and Heatherton.....	323

Background information	Project title	Suburban Rail Loop
	Project manager	Tara Bell/Justin Kelly
	Your consultation dates	August (exact dates TBA)
Key information	Project summary:	<p>The Suburban Rail Loop (SRL) is a new 90-kilometre rail line that will connect Melbourne's metropolitan train lines from the Frankston Line in the east to the Werribee Line in the west. The first stage of the SRL program is the south-east segment from Cheltenham to Box Hill.</p> <p>Suburban Rail Loop Authority (SRLA) is managing the project on behalf of the Victorian Government.</p> <p>There are two main precincts – Sir William Fry Reserve, Highett (Cheltenham Station precinct) and the Delta Site, Old Dandenong Road, Heatherton (stabling yards). These sites have been confirmed by the Victorian Government as the preferred sites.</p> <p>The SRL presents a range of issues and opportunities for Council.</p> <p>Council's role is to capitalise on the positive benefits of the SRL to ensure the project supports the growth and opportunity for the local community, enhances accessibility to jobs and housing, promotes a sustainable place, enhances safety and security and contributes positively to community infrastructure and amenity, and supports the preferred character and values that make the affected areas special.</p> <p>Council has developed a set of preferred outcomes for each precinct is seeking community input and feedback on some of its ideas to help inform a formal submission as part of the government's Environmental Effects Statement.</p>

<p>Key issues</p>	<p>Identification of issues:</p>	<ul style="list-style-type: none"> • Council is privy to confidential information that is not yet in the public realm. This will impact the depth of information Council can present to the public to provide context around its preferred outcomes. • Council has publicly called on the government to consider alternate sites for the stabling yards. We will need to balance this with advocating for the best outcomes for the community. • There is community resistance to the stabling yards being located in the Green Wedge. • There is community resistance to losing open space in Sir William Fry Reserve. • With developments earmarked for nearby locations (such as the former Gasworks site) there will be increased pressure on open space in Cheltenham/Highett. • Business/community resistance to potential property acquisition. • The community does not understand Council's limited role/control over decisions for the project. • Confidential plans include development sites at Sir William Fry above the station, which the community are likely to object to particularly if they are tall.
<p>Purpose of engagement</p>	<p>What are your engagement objectives?</p>	<ol style="list-style-type: none"> 1. Educate and inform the community that this is a state government project 2. Demonstrate that Council is advocating for the best outcomes for the community 3. Obtain feedback and gauge the level of support that the community has for Council's preferred outcomes to help inform its submission to the EES
	<p>Determine the maximum level of engagement for your project using the IAP2 Spectrum.</p>	<p><input type="checkbox"/> Inform <input checked="" type="checkbox"/> Consult <input type="checkbox"/> Involve <input type="checkbox"/> Collaborate <input type="checkbox"/> Empower</p>

Project stakeholders	Ward Councillors	Cr Davey-Burns		
	Internal stakeholders	CEO, Councillors, GM – Planning and Development, Strategic Planning, Planning, Traffic, Comms, Parks and Open Space, Business Directions		
	External stakeholders	Critical	Essential	Interested
		Development Victoria Sir William Fry Farmers Market Vista Apartments Highett Residents neighbouring Delta site Neighbouring businesses	Bayside CC Scentre Group Southland Striders Walking Group Sucker Punch Fitness	VicRoads Park visitors Dog park users Skate park users Kingston residents Media
Methodology	List your engagement techniques	Your Kingston Your Say (YKYS) page Online survey Information bulletin Fact sheets Signage Social media KYC/KingstonNews eDMs Mayor video		

Reporting, analysis and evaluation	How will you record the feedback received?	Feedback will be collated and reported in the YKYS survey analysis tool
	Where will you store the data collected?	Feedback will be stored in YKYS during the consultation period with a copy of the results transferred to TRIM following reporting
	How and who will collate and analyse the data?	City Strategy will collate and analyse the data
	What will you report on and to whom?	We are seeking the community's feedback on Council's preferred outcomes and will provide a report to Council outlining their views. Feedback will be used to help inform Council's submission to the EES.
	What evaluation techniques will you use and when are you going to evaluate your engagement?	We will evaluate the engagement's success via YKYS visits and survey submissions, and views/opens via our other channels. We will also monitor the participation levels throughout the engagement, providing us with the opportunity to add additional methods if necessary.

Communications Action Plan

Message/purpose	Audience	Channel	Date	Responsible
Endorsement to go out for consultation	Councillors	Councillor briefing	19 July	City Strategy
Information bulletin to key stakeholders and the local community – have your say and help inform Council's submission to the state government	Highett/Cheltenham residents Heatherton residents Key stakeholders	Information bulletin	Early August	Comms/City Strategy
Consultation open	All	YKYS page/survey Information bulletin Signage Fact sheets KYC article/KingstonNews Social media Edms (email updates) Media release Mayor video	August	Comms/City Strategy
1 week to go until consultation closes, next steps	All	Social media Edms (email updates)	August	Comms/City Strategy
Thank you for your feedback and next steps	All submitters	YKYS email Direct mail (hard-copy submissions) Website update	September	Comms/City Strategy
Draft submission	Councillors	CIS/Council meeting	November	City Strategy
Close the loop	All participants	YKYS email Direct mail (hard-copy submissions) Website update	November	Comms/City Strategy

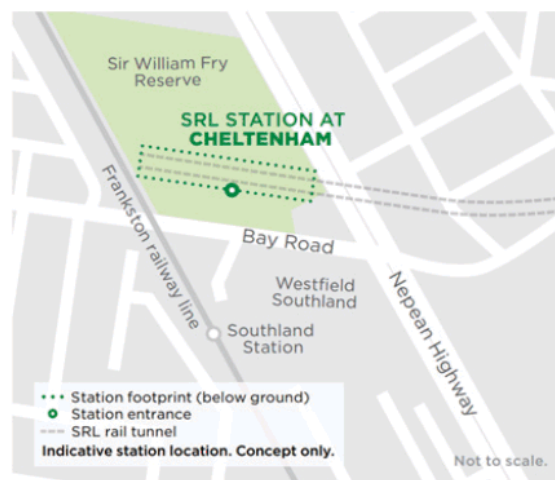
Victorian Government's Suburban Rail Loop Project

Working with our community to drive the best outcomes for the Cheltenham Precinct

The Victorian Government's Suburban Rail Loop (SRL) is coming to Kingston.

The SRL is a new 90-kilometre rail line that will connect Melbourne's metropolitan train lines from the Frankston Line in the east to the Werribee Line in the west. The first stage of the SRL program is the south-east segment from Cheltenham to Box Hill.

Initial and early works on Stage One from Cheltenham to Box Hill will get underway in 2022.



What is Council's role?

While Council is not responsible for planning this project or its delivery, we are speaking up on behalf of our community to make sure we get the best outcomes for Kingston.

We need your input to help make sure this once-in-a-generation project is delivered with the best results for the community.

What will we do with your feedback?

Your feedback will be used to help inform Council's formal submission to the Victorian Government's Environmental Effects Statement process.

Our submission will detail all the things we'd like to see to ensure the success of the precinct for years to come. We have some ideas about what this could potentially look like – let us know what you think!

CONNECTIVITY

- Create a new network of cycling and pedestrian paths to help people get to the stations, around the precinct and link key areas such as the Highett shopping strip and Cheltenham Shopping strip; and surrounding residential areas in the catchments
- Explore opportunities to provide a direct underground pedestrian connection between the SRL station and Southland
- Construct protected cycling and walking paths along Bay Road to Sandringham and the Bay Trail
- Explore opportunities to create shared shopping and commuter car parking that minimises the impacts of parking and traffic on local streets
- Frequent bus service connections along Bay Road to link Sandringham Station and the SRL
- Design a new bus interchange that is close to station entrances and avoid locating bus bays directly in front of local shops and cafes
- Minimise the walking distance between SRL and Southland Stations and make the walk safe, attractive and comfortable at all times of the year
- Incorporate safe and convenient kiss and go/ride facilities.

Draft prepared for Councillor briefing

CONNECTIVITY CONTINUED**OPEN SPACE**

- Increase public open space at the Highett Gasworks site and connect it to Sir William Fry Reserve to make up for the loss of open space created by SRL
- Replace the skate park and construct informal sports courts and a tan track
- Improve the existing playground
- Incorporate board walks and/or water activities around a reimagined lake
- Plant more trees and increase habitat opportunities
- Reimagine Bay Road to create a people friendly street with activation on both sides and a boulevard of trees
- Create a series of well-designed station plazas and community meeting spaces for farmers markets, events and meeting spots with access to retail and hospitality venues
- Limit vehicle access between the station precinct and Sir William Fry Reserve, for uninterrupted pedestrian access.

Draft prepared for Councillor briefing

OPEN SPACE CONTINUED

Indicative image only

**USES AND ACTIVATION**

- Provide multiple entrance points to the station including at street level on Bay Road to create a focus of activity on the street edge
- Improve the ground level entrances into Westfield Southland to encourage pedestrian access
- Incorporate increased passive surveillance into new building designs including retail activation at ground level
- Consider the opportunity for a Community Hub within the precinct
- Include social and affordable housing and key worker housing within the precinct.



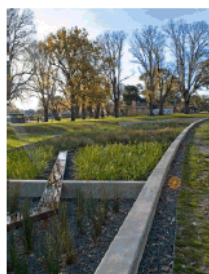
Draft prepared for Councillor briefing

CHARACTER AND IDENTITY

- Inspiring station architecture to present the station as a pavilion in the park
- Design new buildings and spaces over the rail to respond to the park context and connect the park and Bay Road
- Introduce story telling of indigenous history and identity through landscaping, building design, materials and public art
- Incorporate art and viewing panes into temporary gantries and hoardings.

**SUSTAINABILITY**

- Establish the station precinct as a world leader in ecologically sustainable design including integrated water management and a zero-carbon approach
- Use the existing landscape to transport rainwater from the roofs of the station and buildings into the lake
- Integrate green walls and green roofs into new development within the precinct to ensure no contribution to localised urban heat island
- Establish high sustainability targets and requirements in all new developments.

**How do I get involved?**

You can find out more, provide feedback and let us know what do you think of Council's proposed ideas for the Suburban Rail Loop via:

Web: yourkingstonyoursay.com.au/SRL

Phone: 1300 653 356

Email: strategic.planning@kingston.vic.gov.au

Mail: strategic.planning@kingston.vic.gov.au

Consultation will run throughout August 2021

Further information:

For more information on the Suburban Rail Loop project, please contact the Victorian Government's Suburban Rail Loop team on:

Website: suburbanrailloop.vic.gov.au

Call: 1800 105 105 (available 24/7)

Email: contact@srla.vic.gov.au

Victorian Government's Suburban Rail Loop Project

Working with our community to drive the best outcomes for the Heatherton Precinct

The Victorian Government's Suburban Rail Loop (SRL) is coming to Kingston.

The SRL is a new 90-kilometre rail line that will connect Melbourne's metropolitan train lines from the Frankston Line in the east to the Werribee Line in the west. The first stage of the SRL program is the south-east segment from Cheltenham to Box Hill.

While Council has called on the Government to reconsider, the SRL has announced it plans to use the Delta site at Old Dandenong Road in Heatherton for the proposed location for the SRL stabling yards.

Initial and early works on Stage One from Cheltenham to Box Hill will get underway in 2022.

What is Council's role?

Council is not responsible for planning this project or its delivery, however we are speaking up on behalf of our community to make sure we get the best outcomes for Kingston.

We need your input to help make sure this once-in-a-generation project is delivered with the best results for the community.

What will we do with your feedback?

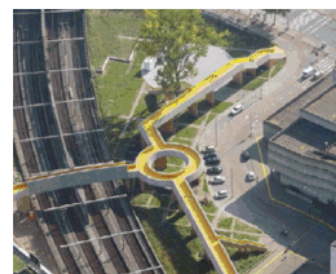
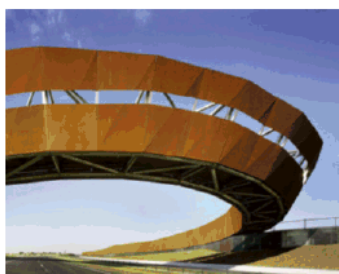
Your feedback will be used to help inform Council's formal submission to the Victorian Government's Environmental Effects Statement process.

Our submission will detail all the potential impacts of the decision to use the Dela site as stabling yards. It will also propose a range of measures and ideas to ensure the most favourable outcome for the local community.

We have some ideas about what this could potentially look like – let us know what you think.

CONNECTIVITY

- Advocate for the delivery of the long-awaited Chain of Parks – providing pedestrian connections via elevated pathways and bridges through and over the stabling yards
- Shared path 'country lane' routes with trees on either side to buffer the stabling yard infrastructure
- Maintain the existing connection on – or as close as possible to Old Dandenong Road
- Safely and conveniently connect the Henry Street path with the Elder Street underpass along Old Dandenong Road
- Consolidate bus stops along Kingston Road into fewer, but higher quality stops incorporating improved shelters and lighting for bus users
- Incorporate written information/captions on the project/engineering in interesting ways for visitors and pedestrians to read and discover



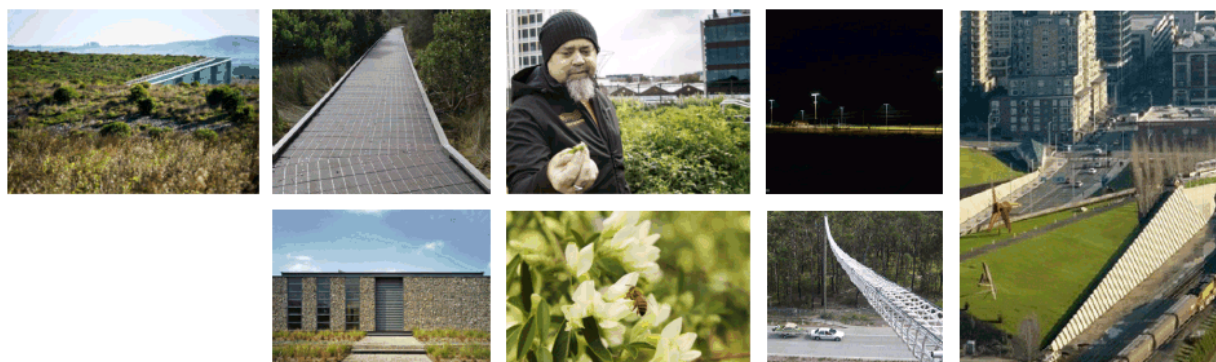
Draft prepared for Councillor briefing

AMENITY

- Implement suitable screening such as mounds, vegetation or non-intrusive walls to deflect noise and conceal security fencing and views into the stabling yards
- Build green roofs to create space for biodiversity and soften the industrial nature of the stabling yards
- Make buildings a feature rather than an eyesore, using high quality materials with natural qualities to reflect parkland character
- Minimise light spillage and glare by reducing reflective surfaces and using state-of-the-art LED lighting.

**SUSTAINABILITY AND BIODIVERSITY**

- Foster high quality wetlands with recreational access, to contribute to the Chain of Parks
- Generate enhanced habitat opportunities in the landscape and on built form with green walls and living roofs
- Incorporate habitat linkages through use of fauna crossings and habitat structures
- Create a 'grassy woodland' character through plantings
- Provide opportunities for community participation to maintain gardens and landscapes
- Ensure built form is sympathetic to the Green Wedge environment and minimises impacts on urban heat islands.



<p>How do I get involved?</p> <p>You can find out more, provide feedback and let us know what do you think of Council's proposed ideas for the Suburban Rail Loop via:</p> <p>Web: yourkingstonyoursay.com.au/SRL Phone: 1300 653 356 Email: strategic.planning@kingston.vic.gov.au Mail: strategic.planning@kingston.vic.gov.au</p> <p>Consultation will run throughout August 2021</p>	<p>Further information:</p> <p>For more information on the Suburban Rail Loop project, please contact the Victorian Government's Suburban Rail Loop team on:</p> <p>Website: suburbanrailloop.vic.gov.au Call: 1800 105 105 (available 24/7) Email: contact@srlla.vic.gov.au</p>
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Draft prepared for Councillor briefing

9. Community Sustainability Reports

26 July 2021

Agenda Item No: 9.1

COMMUNITY GRANTS PROGRAM 2021 - 2022 FUNDING RECOMMENDATIONS FOR PARTNERSHIP GRANTS AND ANNUAL GRANTS ALLOCATIONS

Contact Officer: Dominic McCann, Coordinator Community Wellbeing

Purpose of Report

To present Council with recommended funding allocations for the 2021-2022 Community Grants Program to enable the distribution of the approved funding from the 2021-2022 budget. The recommendations relate specifically to the funding streams of Partnership Grants and Annual Grants.

Disclosure of Officer / Contractor Direct or Indirect Interest

James Prideaux - Acting Team Leader Sport and Recreation declared a direct conflict of interest in one application:

- 1) Carrum Surf Life Saving Club, where he is a member of the Club.

Dominic McCann - Coordinator Community Wellbeing declared a conflict of Interest due to personal friendship that may be perceived to create a conflict:

- 1) Italian Social Club City of Moorabbin, where he is a friend of the Secretary/Treasurer of the Club.

Neither officers took part in assessing these applications and excused themselves from the Assessment Panel deliberations when these applications were tabled for discussion.

No other Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council:

1. Approve the Partnership Grants and Annual Grants' funding allocations as recommended in Appendices 1- 3.
2. Approve the transfer of identified Annual Grants' recipients to Partnership Agreements as recommended in Appendix 4.
3. Approve the late applications as listed in Appendix 6 and allocates \$63,748.88 Annual and Partnerships Grants' funding as recommended.
4. Approve funding of \$26,400 to Scouts Victoria to install security systems at its eight facilities in Kingston.
5. Approve additional Partnership Grant funding of \$10,000 to Pantry 5000 to help cover costs of increased demands on its welfare services.

1. Executive Summary

The 2021-2022 Community Grants Program attracted 74 Partnership and 119 Annual grant applications (total 193).

Full details of the assessment of the 2021-2022 Partnership and Annual grants' applications are provided respectively in Appendices 1 - 3.

1.1 Budget Summary

As part of its recent budget deliberations, Council allocated funding of \$1,498,239 to the 2021-2022 Community Grants budget for Annual, Partnership, and Irregular Grants. Irregular Grants are not subject to this report as they are processed throughout the financial year.

The following table summarises the financial details for all categories of the 2021-2022 Community Grants program:

Category	2021/2022 Allocated Budget	2021/2022 Recommended Allocation	Comments
Partnership Grants			
• <i>Community Centres/ Neighbourhood Houses - Partnership Agreements</i>	\$555,720	\$503,827.43	\$51,892.57 Unallocated
• <i>Other Organisations - Partnership Agreements</i>	\$590,232	\$548,652.61	\$41,579.39 Unallocated
• <i>Community Event Grants - Partnership Agreements</i>	\$25,237	\$25,237	Full budget allocated
Total - Partnership Grants	\$1,171,189	\$1,077,717.04	\$93,471.96 Unallocated
Annual Grants	\$315,100	\$298,157.13	\$16,942.87
Irregular Grants	\$11,950	\$0	\$11,950 Unallocated *
Totals	\$1,498,239	\$1,375,874.17	\$122,364.83 Nett unallocated**

Notes:

* Irregular Grants will be considered throughout the financial year 2021-2022 as requests are submitted and approved by Council

** Unallocated funds may be distributed to the community throughout the year as requests are submitted and approved by Council.

2. Background

Council offers a range of opportunities for groups and individuals that service the municipality to apply for financial assistance by way of a Community Grant. Grants are primarily offered to:

- Enable not-for-profit organisations to deliver services, programs, special events and other activities to the community which would not otherwise be provided; and

- Enable the community to participate in a broader range of activities than those directly funded by Council, through full or partial funding of costs.

The categories of all grants for the Community grants program and their nominated 2021/2022 budget allocations are:

- Partnership Grants (\$1,171,189)
- Annual Grants (\$315,100); and
- Irregular Grants (\$11,950).

In addition to the categories above, the following grant categories and budgets provide an overall indication of the access to Council funding available to community based organisations:

- Individual Development Grants (\$26,199);
- Schools Development Grants (\$8,694);
- Arts Grants (\$22,279); and
- Cultural Diversity Meals Grants (\$69,415).

Overall, budgeted Council grants to the community total \$1,624,826 for the 2021/2022 Financial Year. The recommendations in this report relate only to funding recommendations for Partnership Grants and Annual Grants.

A summary of all applications received and the recommended grant allocations across the Council Grants' categories for submitting organisations, are provided in Appendix 5.

The major grants category descriptions are:

Partnership Grants

- Partnership Grants provide secure and longer term (three years) funding support to community centres, neighbourhood houses, emergency services, social welfare organisations and seniors and multicultural groups to address organisational operational requirements and it includes festivals and events components.

Annual Grants

- Annual Grants are for multiple neighbourhood area groups and organisations and designed to provide funding for one-off activities that have municipal significance. The maximum funding available for an Annual Grant is \$10,000 per application. A maximum limit of \$2,000 per application is available for the purchase of equipment; and a maximum of \$5,000 per application is available for minor capital works. For minor capital works, groups are required to match funds provided.

2.1 Process

Applications for the 2021-2022 Community Grants program were open from 28 January 2021 until 28 March 2021. The program was promoted through:

- Kingston Your City.
- Council's website.
- Social media including Council digital information notice boards and Facebook advertising.
- Emails to all groups that applied for grants in the previous three years.
- Mail out to all organisations on Council's Social Development database.
- Mail out to organisations that expressed a wish to be on a mailing list.
- Media releases.

- Public notices in local newspapers.

Council continued to use the online application process this year which has improved the application process for many applicants. For those applicants who had no access to the internet, hard copy applications were made available and these were entered electronically by Council officers.

Individual help sessions were also offered to applicants, particularly those who had difficulties with the on-line application process. Two organisations took up this opportunity for one-on-one support, while many other groups received telephone support.

Of the 193 grants applications, 74 were received for the Partnership Grants program, and 119 for the Annual Grants program. All applications were registered and reviewed by Council officers to ensure that they complied with the funding guidelines and where applicable, and as is the normal practice, applicants were provided with an opportunity to supply further information.

Numbers of applications to the 2021-2022 program were consistent with previous years.

As the community and Council deals with the fallout from Covid19, Council officers applied a pro-active 'enabling approach' to the community grants program to keep entry barriers low for groups and to ensure their submitted applications were compliant and eligible for consideration.

All groups were sent reminders that the Grants program was proceeding, extensions to the closing date were provided and requirements to have appropriate documentation - quotes, insurance policies, letters of support, etc. were relaxed, and groups experiencing difficulties were supported through the process with phone and electronic support. Six groups were unable to complete their applications prior to the closing date and were provided with extensions. (Appendix 6).

Details of support provided are listed below:

- 72 applicants were contacted during the application process.
- 47 were contacted after the applications closed to seek further information and to discuss and support their applications.
- 21 groups received more intensive one-on-one support with their hard copy applications which were then registered on Smartygrants by the Community Grants & Networks Officer and Coordinator Community Wellbeing – because of Partnership Grants this year.
- Additional face to face meetings were conducted with 2 groups.
- 6 applications were received after the closing date.
- 14 groups had their applications re-opened to allow for the inclusion of further information and documentation.
- Over 60% of all applicants were supported through the process.

3. Discussion

3.1 Council Plan Alignment

Goal 3 - Our connected, inclusive, healthy and learning community
Direction 3.4 - Promote an active, healthy and involved community life

Community Grants enable the provision of funds to enhance opportunities for groups and individuals to provide strong, cohesive, and engaged communities under Goal 3:

Our connected, inclusive, healthy, and learning community; and in particular Key Directions and Objectives:

3.4 Promote an active, healthy, and involved community life.

3.4.1 Provide festivals and events that encourage community connections and local participation.

3.4.3 Strengthen community participation and connections by supporting community groups and networks; and

3.4.4 Celebrate and encourage social, cultural, and spiritual diversity.

3.2 Consultation/Internal Review

3.2.1 Annual Grant Applications

Annual applications were distributed for expert comment from relevant Council Departments and teams including: Community Buildings; Property Services; Libraries and Social Development; Children's Services; Sport and Recreation; Environmental Planning; and Parks. The following cross departmental staff assessment panel was formed to assess the Annual Grant applications in accordance with Council's Grants Policy:

- Dominic McCann - Co-ordinator Community Wellbeing Social Development.
- Kathryn Scarpella - Community Grants and Networks Officer Social Development.
- Justin Gayner - Team Leader Arts & Cultural Services.
- James Prideaux - Sport and Recreation Response Officer.
- Antoinette Cesario - Administrative Officer Property Services.
- Jane Yang - Volunteer Development Officer Social Development.
- Hayley Gniel - Team Leader Financial Accounting.
- Kirsten Palfrey - Operations Officer Hubs and Partnerships.
- Cathrine Kimber - Children's Services Partnerships Co-ordinator.

3.3 Operation and Strategic Issues

3.3.1 Recommended allocations to seniors/multicultural groups

Applications to the Annual Grants Program were received from a range of seniors/multicultural groups for ongoing operational costs associated with regular weekly activities such as the provision of lunches and various social, cultural and recreation activities.

Of the 22 seniors/multicultural groups that applied for Annual Grants for regular weekly social activities, 3 groups - Cosenza Senior Citizens of Kingston Inc Melbourne, Shwetambar Jain Sangh Inc., and United Filipino Elderly Association Inc (UFEA) (as per Appendix 4) - will this year qualify under the Grants Policy to transition to Partnership Grants as they will have completed three years of consecutive Annual Grant allocation.

The remaining 19 groups will over time qualify and transition to Partnership Grants. Eventually, subject to Council approval, all existing seniors and multicultural groups will transfer to Partnership Grants.

To ensure equity of funding to these groups, the funding formula approved by Council applies. This formula is based on the number of Kingston residents participating in each of the groups and provides a series of thresholds for grants as per Table 1 below.

Table 1 – Nos. of groups assessed under the Funding Formula for seniors and multicultural groups

No. of Kingston residents	Funding level	Current No. of groups
0 - 50	\$900	10
51 - 100	\$1,200	8
101+	\$1,500	4

3.3.2 Transfer of identified Annual Grants to Partnership Agreements

In accordance with the Community Grants Policy adopted by Council on 23 February 2015, all community groups that have been receiving funding consecutively over a three-year period will proceed through to the Partnership Grants program.

Transferring these groups to Partnership Agreements provides greater certainty for community groups in planning activities and will reduce the administrative burden of having to apply each year for grants for activities that they deliver on a regular basis. The activities provided are predominantly related to multicultural and seniors' groups and their communities.

The programs and activities delivered by these groups have been successfully and consistently delivered over a three-year period and are considered a valuable contribution to the wellbeing of their communities.

To financially accommodate this group over a three-year period, funding would be transferred from the Annual Grants budget to the Partnership Grants budget.

3.3.3 Unsuccessful applications

Appendix 3 attached provides Councillors with grant applications that were assessed not suitable and/or ineligible. 18 groups were assessed as not eligible for funding for a variety of reasons such as: inadequate planning, organisation based outside of Kingston, low level community benefit, no quotes, insufficient information on finances and budgets, adequate resources of its own, or the group was in receipt of another grant such as a Partnership Grant or Kingston Charitable Fund Grant for similar projects.

3.3.4 Late applications

Council received requests from six community groups to consider late applications. Because of Covid-19 these groups had difficulties accessing documentation such as quotes or were unable to meet to collaborate on the applications. Officers acknowledged the unusual circumstances and extended the closing date for these groups to submit their applications. These requests are outlined in Appendix 6 attached.

It is recommended that Council allocates \$63,748.88 to these groups as outlined in Appendix 6.

3.3.5 Groups in receipt of Kingston Charitable Foundation (KCF) Grants

Table 2 below provides details of four groups that are requesting funding from the Annual Grants' program and who are also in receipt of a Grant from Kingston Charitable Foundation.

As per the Community Grants Policy, Council will ‘... consider if the applicant is already in receipt of other support through Council or the Kingston Charitable Fund’; and ‘not accept duplicated allocation and expenditure of Council funds to the same cause or activity in any one year....’

It is recommended that Annual Grants funding be allocated as per the details in Table 2 below.

Table 2 - Groups requesting an Annual Grant and in receipt of funding from Kingston Charitable Foundation

Organisation Name	Partnership Grant	Annual Grant	Kingston Charitable Fund
Christian Resource Care Limited	\$0	\$8,000 (Emergency relief funding)	\$5,000 (Christmas Dinner for vulnerable families)
Make A Difference Dingley Village Inc	\$30,251.87 (Operational requirements)	\$10,000.00 (Emergency relief Funding – not recommended. Funding is for same purpose as Kingston's Charitable Funds (KCF))	\$5,000 (Emergency relief Funding)
Special Olympics Australia	\$0	\$1,000 (Hire of tennis courts)	\$1,000 (Awards Ceremony Catering)
Chelsea Community Support Service Inc.	\$99,320.07 (Operational requirements)	\$0	\$5,000 (Chelsea Community Christmas New Beginnings Program)
Mentone Life Saving Club Incorporated	\$0	\$2,000 (Marquees)	\$6,050 (Multi-purpose trailer)
Melbourne Anglican Benevolent Society Inc (Pantry 5000)	\$15,148.59 (Operational requirements)	\$0	\$5,000 (Pantry 5000 - Christmas Hampers)
South East Community Links	\$18,150.93 (Operational requirements)	\$0	\$10,000 (Promoting Gender Equality and Preventing Family Violence)

3.3.6 Community Welfare Organisations

Over the past few years Council has received an increasing number of grant applications from social welfare organisations for the provision of emergency relief measures to disadvantaged members of the community, and an increase in the funding required for the provision of emergency relief.

As per Council report of 22 July 2019 Council officers engaged with organisations working with vulnerable members of the Kingston community. As a result, an Emergency Services Welfare Network was established. The network set out to support and work with welfare groups in identifying community needs and demands on their welfare services models to enable them to provide effective support to Kingston residents in need.

Council continues to work with welfare organisations and provide support as required to enable effective service delivery to Council's most vulnerable members. This was even more critical during throughout 2020 with Covid19.

Table 3 provides a summary of the social welfare-based groups and organisations that receive a Partnership Grant, a Kingston Charitable Fund grant and the 2021-2022 recommended Annual Grant funding to support disadvantaged members of the community.

Table 3 – Community Social Welfare organisations

Organisation	Partnership Grant recommended funding 2021-2022	Annual Grant Recommended funding for emergency relief programs 2021-2022	Kingston Charitable Trust
Bayside Community Care Matt's Place Community Meals Program	\$0	\$5,000	\$0
Bayside Community Information and Support Services (BayCISS)	\$33,823.95	\$0	\$0
Bayside Community Emergency Relief	\$0	\$2,000	
Chelsea Community Support Services Inc.	\$99,320.07	\$0	\$5,000
Christ Church Dingley	\$0	\$1,500	
Christian Resource Care Centre	\$0	\$8,000	\$5,000
Community Care - (Chelsea Careworks - Churches of Christ Community Care Auspice)	\$0	\$10,000	\$0
Echo Community	\$0	\$10,000	\$0
Fare Share	\$0	\$1,945	\$0
Family Life	\$56,722.12	\$0	\$0
Longbeach Anglican Parish	\$0	\$8,000	\$0
Make A Difference Dingley Village Inc.	\$30,251.87	\$0	\$5,000
Mentone Community Assistance and Information Bureau Inc.	\$36,302.18	\$5,000	\$0
Pantry 5000	\$15,148.59	\$0	\$5,000
Peninsula Community Legal Centre	\$40,839.92	\$0	\$0
South East Community Links	\$18,150.93	\$0	\$10,000

St Vincent de Paul Society x 8 Branches	\$7,442	\$0	\$0
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3.3.7 Scouts Victoria - request for funding for security measures.

Scouts Victoria has applied for \$26,400 in funding to install lighting and alarms at all scouting facilities in Kingston. This request exceeds the limit allowed under the community grants policy although it is a global application for security measures at eight facilities and works out at \$3,300 per scouting club.

Scouts Victoria has reported that since 2018 scout halls and storage sheds in the City of Kingston have been the target of crime on five occasions.

In 2018 the Mentone Scout Group Storage Shed was broken into and a trailer was stolen. In February 2019 the 3rd Chelsea Air Scouts Hall in Whatley Street, Carrum, was broken into by arsonists and the facility burnt to the ground.

In September 2019 the Dingley Group Scout Hall was broken into and several thousand dollars' worth of camping equipment stolen from their Storeroom. In 2020 the storage shed at Cheltenham Scout Hall was broken into and a Rover Scout 'Mudbash' racing car was stolen (recovered by police - abandoned several streets away).

In February 2021 the Kingston District Scouts storage shed at Main Street, Mordialloc was broken into and a trailer containing a dis-assembled rope bridge was stolen.

In addition to these incidents, which have all reported to police, most scout halls in Kingston have been the target of graffiti vandalism. This criminal activity has cost scout groups in Kingston several thousands of dollars and seriously affects the District's ability to provide scouting to local youth.

The provision of sensor lighting and alarm systems to all of the eight scout premises will go a long way towards discouraging and preventing vandalism and burglaries.

It is recommended that Council allocates \$26,400 Annual Grant to Scouts Victoria to cover the security measures as requested.

3.3.8 Special request from Pantry 5000

As per discussions and email request to Cr Howe, Pantry 5000 submitted a request for additional Partnership Grant funding of \$10,000. (Appendix 7).

Pantry 5000 has reported an increase in demand for its services due to the current economic environment putting extra pressure on disadvantaged members of the community.

Pantry 5000 will receive \$15,148.60 in Partnership Grant funding for operational requirements in 2021-2022 as part of its current funding agreement, and will receive a grant of \$5,000 from the Kingston Charitable Fund for its emergency relief programs

There are unallocated funds in the budget that would enable an additional allocation to Pantry 5000.

It is recommended that Council allocates an additional \$10,000 of Partnership Grant funding to cover the request from Pantry 5000 as per Table 4 below.

Table 4 Additional Allocation – Pantry 5000

Grant Category	2021/2022 Projected Unallocated Grant Expenditure	Additional Request by Pantry 5000	Balance of projected Grant Unallocated
Partnership Grants	\$93,471.96	\$10,000	\$83,471.96
Annual Grants	\$16,942.87	\$0	\$16,942.87
Total	\$110,414.83	\$10,000	\$100,414.83

3.4 Options

3.4.1 Option 1a: Late applications

That Council approves the late applications as listed in Appendix 7 and allocates \$63,748.88 Annual and Partnerships Grants' funding as recommended. This allocation has been factored into the overall budget allocation.

3.4.2 Option 1b: Late applications

That Council does not approve the late applications as listed in Appendix 7.

3.4.3 Option 2a: Additional Partnership Grant funding to Pantry 5000

That Council approves additional Partnership Grant funding of \$10,000 to Pantry 5000 to help cover costs of increased demands on its welfare services.

3.4.4 Option 2b: Additional Partnership Grant funding to Pantry 5000

That Council does not approve additional Partnership Grant funding of \$10,000 to Pantry 5000.

4. Conclusion

Council's Community Grants Program provides essential financial assistance to a range of community groups and organisations. It is proposed that the Assessment Panel's recommended funding of \$1,375,874.17 for *Partnership and Annual Grants* be allocated to community groups and organisations for the 2021-2022 Community Grants Program. Funding will provide for positive community outcomes and fulfil community alignment with Council's strategic plans.

4.1 Environmental Implications

Environmental issues are considered within specific projects.

4.2 Social Implications

The funding provided to successful applicants demonstrates Council's commitment to working in partnership with local groups, enables Council to support events, projects, services and/or initiatives that are of benefit to the community and complements Council's service provision.

4.3 Resource Implications

4.3.1 Unallocated funds

The Irregular Grants budget of \$11,950 has not been allocated at this stage. It is intended that this will be made available to eligible groups and individuals throughout 2021/2022 to address irregular grant applications, if and when submitted.

Council's 2021-2022 budget allocation has a provision of \$1,498,239 to fund the Partnership, Annual and Irregular Grants program for 2021-2022. The current budget can accommodate the grants distribution to community organisations as recommended.

Should Council approve the community grant recommendations, and the additional funding request, as detailed in this report, an amount of \$100,414.83, as per Table 5 below, would be available to respond to other requests that come to Council outside the normal community grants process and timeframes.

These remaining funds would then be allocated as approved by Council in response to community needs and Council's priorities.

Table 5 – Unallocated funds








Grant Category	Unallocated	If approved - Extra funding requested by Pantry 5000	Unallocated Balance
Partnership Grants	\$93,471.96	\$10,000	\$83,471.96
Annual Grants	\$16,942.87		\$16,942.87
Total	\$110,414.83	\$10,000	\$100,414.83

4.4 Legal / Risk Implications

There are no legal implications. All groups that apply for funding are incorporated or are auspiced by an incorporated body and have their own public liability insurances.

It should be noted that officers will ensure that all successful applicants comply with the grants criteria - have current public liability insurance, have no outstanding debts to Council, have complied with any Approvals-in-Principle and have acquitted for any previous grants received - before they receive any of the approved funding in 2021-2022.

Appendices

- Appendix 1 - Community Grants Program 2021-2022 - Appendix 1 - Partnership - Recommended Funding (Ref 21/102409)  [Download](#)
- Appendix 2 - Community Grants Program 2021-2022 - Appendix 2 - Annual Grants - Recommended Successful Funding (Ref 21/97170)  [Download](#)
- Appendix 3 - Community Grants Program 2021-2022 - Appendix 3 - Annual Grants - Unsuccessful (Ref 21/96281)  [Download](#)
- Appendix 4 - Community Grants Program 2021-2022 - Appendix 4 - Multicultural Seniors Transfers from Annual to Partnership Grants (Ref 21/96852)  [Download](#)
- Appendix 5 - Community Grants Program 2021-2022 - Appendix 5 - All Grant Applications (Ref 21/97151)  [Download](#)
- Appendix 6 - Community Grants Program 2021-2022 - Appendix 6 - Applications received after closing date - (Ref 21/130214)  [Download](#)
- Appendix 7 - Community Grants Program 2021-2022 - Appendix 7 - request for additional Partnership Grant funding Pantry 5000 (Ref 21/136932)  [Download](#)

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9.1

COMMUNITY GRANTS PROGRAM 2021 - 2022 FUNDING RECOMMENDATIONS FOR PARTNERSHIP GRANTS AND ANNUAL GRANTS ALLOCATIONS

1	Community Grants Program 2021-2022 - Appendix 1 - Partnership - Recommended Funding.....	345
2	Community Grants Program 2021-2022 - Appendix 2 - Annual Grants - Recommended Successful Funding	353
3	Community Grants Program 2021-2022 - Appendix 3 - Annual Grants - Unsuccessful	361
4	Community Grants Program 2021-2022 - Appendix 4 - Multicultural Seniors Transfers from Annual to Partnership Grants	363
5	Community Grants Program 2021-2022 - Appendix 5 - All Grant Applications	365
6	Community Grants Program 2021-2022 - Appendix 6 - Applications received after closing date -.....	385
7	Community Grants Program 2021-2022 - Appendix 7 - request for additional Partnership Grant funding Pantry 5000	387

Appendix 1 - Partnerships Grants Funding recommendations 2021-2022 HPE CM 21/102409				
Organisation for Partnership Grants	Activity Description	Amount approved 2019-2020	Amount approved 2020-2021	Amount Recommended 2021-2022
Community Centres and Neighbourhood Houses				
Aspendale Gardens Community Service Inc.	Operational support	\$64,627.93	\$66,566.77	\$68,563.77
Chelsea Heights Community Centre	Operational support	\$64,627.93	\$66,566.77	\$68,563.77
Cheltenham Community Centre	Operational support	\$87,138.10	\$89,752.24	\$92,444.81
Dingley Village Neighbourhood Centre Inc.	Operational support	\$64,627.93	\$66,566.77	\$68,563.77
Longbeach Place Inc.	Operational support	\$64,627.93	\$66,566.77	\$68,563.77
Mordialloc Community Centre	Operational support	\$64,627.93	\$66,566.77	\$68,563.77
Mordialloc Neighbourhood House	Operational support	\$64,627.93	\$66,566.77	\$68,563.77
Sub-Total Community Centres and Neighbourhood Houses		\$474,905.66	\$489,152.86	\$503,827.43
Festivals and Events				
Hellenic Community of Moorabbin	Annual Greek Carnival	\$11,592.74	\$11,592.74	\$11,592.74
Mordialloc Brass Band Inc. (MOJO)	Big Band Sunset Festival	\$13,644.74	\$13,644.74	\$13,644.74
Sub-Total Events		\$25,237.48	\$25,237.48	\$25,237.48

Appendix 1 - Partnerships Grants Funding recommendations 2021-2022 HPE CM 21/102409				
Organisation for Partnership Grants	Activity Description	Amount approved 2019-2020	Amount approved 2020-2021	Amount Recommended 2021-2022
Community Welfare Service Organisations				
Bayside Community Information and Support Services (BayCISS)	Operational support	\$31,882.32	\$32,838.79	\$33,823.95
Chelsea Community Support Services Inc.	Operational support	\$93,618.70	\$96,427.26	\$99,320.07
Emerge Women and Children Support Network	Operational support	\$55,150.00	\$64,325.00	\$0.00
Family Life Ltd	Operational support	\$53,466.03	\$55,070.02	\$56,722.12
Make A Difference Dingley Village Inc.	Operational support	\$28,515.21	\$29,370.75	\$30,251.87
Mentone Community Assistance & Information Bureau Inc.	Operational support	\$34,218.29	\$35,244.84	\$36,302.18
Pantry 5000	Operational support	\$14,279.00	\$14,707.37	\$15,148.59
Peninsula Community Legal Centre	Operational support	\$38,495.54	\$39,650.41	\$40,839.92
South East Community Links	Operational support	\$17,108.99	\$17,622.26	\$18,150.93
St Vincent de Paul Society - Aspendale Conference	To provide financial assistance to disadvantaged residents	\$876.84	\$903.15	\$930.25
St Vincent de Paul Society - Clayton South Conference	To provide financial assistance to disadvantaged residents	\$876.84	\$903.15	\$930.25
St Vincent de Paul Society - East Parkdale Conference	To provide financial assistance to disadvantaged residents	\$876.84	\$903.15	\$930.25
St Vincent de Paul Society - Mentone	To provide financial assistance to disadvantaged residents	\$876.84	\$903.15	\$930.25

Appendix 1 - Partnerships Grants Funding recommendations 2021-2022 HPE CM 21/102409				
Organisation for Partnership Grants	Activity Description	Amount approved 2019-2020	Amount approved 2020-2021	Amount Recommended 2021-2022
St Vincent de Paul Society - Moorabbin/Bentleigh Conference	To provide financial assistance to disadvantaged residents	\$876.84	\$903.15	\$930.25
St Vincent de Paul Society - Mordialloc	To provide financial assistance to disadvantaged residents	\$876.84	\$903.15	\$930.25
St Vincent de Paul Society - Our Lady of the Assumption Conference, Cheltenham	To provide financial assistance to disadvantaged residents	\$876.84	\$903.15	\$930.25
St Vincent de Paul Society - St Joseph's Chelsea Conference	To provide financial assistance to disadvantaged residents	\$876.84	\$903.15	\$930.25
Sub-total Community Welfare Service Organisations		\$373,748.79	\$392,481.90	\$338,001.63
Community Interest Organisations				
Australian Wildlife Assistance and Rescue Education (AWARE)	Operational Support	\$3,182.70	\$3,278.18	\$3,376.53
Chelsea Historical Society	Operational support	\$3,090.00	\$3,182.70	\$3,278.18
Dingley Village Historical Society	Operational Support	\$3,090.00	\$3,182.70	\$3,278.18
Eisteddfod by the Bay	Operational support	\$23,953.32	\$24,671.92	\$25,412.08
Kingston Calisthenics College	Operational Support	\$0.00	\$7,500.00	\$7,725.00
Mordialloc Historical Society	Operational support	\$3,090.00	\$3,182.70	\$3,278.18
South Oakleigh Wildlife Shelter	Operational support	\$3,182.70	\$3,278.18	\$3,376.53

Appendix 1 - Partnerships Grants Funding recommendations 2021-2022 HPE CM 21/102409				
Organisation for Partnership Grants	Activity Description	Amount approved 2019-2020	Amount approved 2020-2021	Amount Recommended 2021-2022
Vital Volunteers	Operational support	\$3,182.70	\$3,278.18	\$3,376.53
Sub-total Community Interest Organisations		\$42,771.42	\$51,554.56	\$53,101.21
Brass Bands				
Chelsea Concert Band	Program costs	\$9,463.50	\$9,747.40	\$10,039.82
Mordialloc Brass Band Inc.	Program costs	\$9,463.50	\$9,747.40	\$10,039.82
Southern Area Concert Band Inc.	Program costs	\$9,463.50	\$9,747.40	\$10,039.82
Sub-total Brass Bands		\$28,390.49	\$29,242.20	\$30,119.46
VicSES				
Victoria State Emergency Service - Chelsea Unit	24 hour emergency service to the City of Kingston	\$47,934.07	\$49,372.10	\$50,853.26
Victoria State Emergency Service - Moorabbin Unit	24 hour emergency service to the City of Kingston	\$24,237.92	\$24,965.06	\$25,714.01
Sub-total VicSES		\$72,171.99	\$74,337.16	\$76,567.27
Multicultural and Seniors Groups				

Appendix 1 - Partnerships Grants Funding recommendations 2021-2022 HPE CM 21/102409				
Organisation for Partnership Grants	Activity Description	Amount approved 2019-2020	Amount approved 2020-2021	Amount Recommended 2021-2022
Anglo-Indian Australasian Association of Vic. Inc.	Senior Citizens Social Support	\$1,545.00	\$1,591.35	\$1,639.09
Argos and District Australian Greek Seniors Citizen Club of Kastoria	Senior Citizens Social Support	\$1,012.95	\$1,043.34	\$1,074.64
Associazione Pensionati Laziali di Monash Inc	Senior Citizens Social Support	\$1,012.95	\$1,043.34	\$1,074.64
Australia Greek Elderly Citizens Club of Mentone	Senior Citizens Social Support	\$1,350.61	\$1,391.13	\$900.00
Avellino Circolo Pensioners of Springvale Inc.	Senior Citizens Social Support	\$983.45	\$1,012.95	\$1,043.34
Carrum Community Activity Centre Inc.	Senior Citizens Social Support	\$5,000.00	\$5,150.00	\$5,304.50
Circolo Pensionati Campani Italiano Di Clayton	Senior Citizens Social Support	\$983.45	\$1,012.95	\$1,043.34
Circolo Pensionati Italiani Di Bentleigh Inc.	Senior Citizens Social Support	\$1,591.35	\$1,639.09	\$1,688.26
Circolo Pensionati Italiani di Oakleigh e Clayton Inc.	Senior Citizens Social Support	\$927.00	\$954.81	\$983.45
Clarinda Senior Social Club	Senior Citizens Social Support	\$1,200.00	\$1,500.00	\$1,500.00
Croatian Senior Citizens Group of Keysborough	Senior Citizens Social Support	\$1,236.00	\$1,273.08	\$1,311.27
Ethnic Discussion Club	Senior Citizens Social Support	\$983.45	\$1,012.95	\$1,043.34
Greek Elderly Citizens of Clayton and Districts Inc.	Senior Citizens Social Support	\$1,350.61	\$1,391.13	\$1,432.86
Greek Orthodox Community of Monash and Districts	Senior Citizens Social Support	\$1,012.95	\$1,043.34	\$1,074.64
Greek Senior Citizens Group of Moorabbin	Senior Citizens Social Support	\$1,350.61	\$1,391.13	\$1,432.86

Appendix 1 - Partnerships Grants Funding recommendations 2021-2022 HPE CM 21/102409				
Organisation for Partnership Grants	Activity Description	Amount approved 2019-2020	Amount approved 2020-2021	Amount Recommended 2021-2022
Greek Senior Citizens of Southern Eastern Regions and Districts	Senior Citizens Social Support	\$1,012.95	\$1,043.34	\$1,074.64
Greek Seniors and Pensioners Association of Clayton and District Inc.	Senior Citizens Social Support	\$1,012.95	\$1,043.34	\$1,074.64
Greek Women's Senior Citizens Club of McKinnon "Rhea"	Senior Citizens Social Support	\$1,012.95	\$1,043.34	\$1,074.64
Hellenic Community of the City of Moorabbin	Senior Citizens Social Support	\$1,688.27	\$1,738.92	\$1,791.09
Independent Hellenic Seniors Citizens Association of Clayton and Districts	Senior Citizens Social Support	\$1,350.61	\$1,391.13	\$1,432.86
Italian Senior Citizens Group of Moorabbin Inc	Senior Citizens Social Support	\$1,273.08	\$1,311.27	\$1,350.61
Kingston Chinese Senior Citizens Club Inc.	Senior Citizens Social Support	\$1,688.27	\$1,738.92	\$1,791.09
Kondia Limnos Senior Citizens Club	Senior Citizens Social Support	\$1,012.95	\$1,043.34	\$1,074.64
Lemnian Community of Victoria Limited	Senior Citizens Social Support	\$1,350.61	\$1,391.13	\$1,432.86
Maltese La Vallette Association Inc.	Senior Citizens Social Support	\$954.81	\$983.45	\$1,012.95
Multicultural Natures Guide	Senior Citizens Social Support	\$1,060.90	\$1,092.73	\$1,125.51
MultiCultural Senior Citizens Group of Kingston & Surrounds Region	Senior Citizens Social Support	\$1,500.00	\$1,500.00	\$1,500.00
Mythri Social and Cultural Association Inc.	Senior Citizens Social Support	\$1,545.00	\$1,591.35	\$1,639.09
Pilipino Elderly Association of South East Region	Senior Citizens Social Support	\$1,688.27	\$1,738.92	\$1,791.09
Ryan Group	Senior Citizens Social Support	\$1,545.00	\$1,591.35	\$1,639.09

Appendix 1 - Partnerships Grants Funding recommendations 2021-2022 HPE CM 21/102409				
Organisation for Partnership Grants	Activity Description	Amount approved 2019-2020	Amount approved 2020-2021	Amount Recommended 2021-2022
Senior Citizens Freccia Azzurra Inc	Senior Citizens Social Support	\$1,591.35	\$1,639.09	\$1,688.26
Shalom Association	Senior Citizens Social Support	\$1,311.19	\$1,350.53	\$1,391.13
Spanish Speaking Senior Club Of Clayton	Senior Citizens Social Support	\$983.45	\$1,012.95	\$1,043.34
St. Andrew's Parish Friendship Group.	Senior Citizens Social Support	\$983.45	\$1,012.95	\$1,043.34
Victoria Malayalee Seniors Association Inc.	Vishu celebration; Onam celebration (Festival of Kerala) seniors week celebration	\$1,311.19	\$1,350.53	\$1,391.13
Victorian Association of World War 2 Veterans from ex- Soviet Union	Senior Citizens Social Support	\$900.00	\$927.00	\$954.81
Sub-Total Multicultural and Seniors Group		\$46,772.68	\$49,986.17	\$50,863.04
Sub-Total Community Centres and Neighbourhood Houses		\$539,533.59	\$489,152.86	\$503,827.43
Sub-Total Festivals and Events		\$25,237.48	\$25,237.48	\$25,237.48
Sub-total Community Welfare Service Organisations		\$318,598.59	\$392,481.90	\$338,001.63
Sub-total Community Interest Organisations		\$42,771.42	\$51,554.56	\$53,101.21
Sub-total Brass Bands		\$28,390.49	\$29,242.20	\$30,119.46
Sub-total VicSES		\$72,171.99	\$74,337.16	\$76,567.27
Sub-Total Multicultural and Seniors Group		\$50,682.44	\$52,072.85	\$50,863.04

Appendix 1 - Partnerships Grants Funding recommendations 2021-2022 HPE CM 21/102409				
Organisation for Partnership Grants	Activity Description	Amount approved 2019-2020	Amount approved 2020-2021	Amount Recommended 2021-2022
Partnerships Grants Total		\$1,070,988.49	\$1,114,079.01	\$1,077,717.52

Appendix 2 - Annual Grants - Successful - Funding Recommendations 2021-2022 HPE 21/97170			
Group/organisation name	Activity title	Amount Requested	Amount Recommended
Acacia Avenue Preschool	Cubby House Installation	\$4,325.06	\$4,325.06
Archangel Michael Senior Social Club Oakleigh	Regular Social Activities	\$2,000.00	\$900.00
Aspendale Gardens Residents Association	Aspendale Gardens Community Fun Day	\$8,500.00	\$8,500.00
Aspendale North Kindergarten	IT & Tech Equipment for Staff	\$1,700.00	\$1,700.00
Aspendale Presbyterian Church - Playgroup	Playgroup Equipment	\$1,999.00	\$1,999.00
Aspendale Sporting Club	Female Community Soccer Carnival	\$5,433.00	\$5,433.00
Australian Coptic Families Social Club	Regular Social Activities	\$2,000.00	\$900.00
Australian Skateboarding Federation	Learn to Skate Kingston	\$3,000.00	\$3,000.00
Bayside Community Care	Matt's Place Community Meals Program	\$5,000.00	\$5,000.00
Bayside Community Emergency Relief	Essentials & Comfort Packs for Family Violence Victims	\$8,884.00	\$2,000.00
Bayside Cricket Club	Wicket Covers	\$2,700.00	\$1,350.00
BBQ Boys Carers Group Inc	Regular Social Activities	\$900.00	\$900.00
Carrum Surf Life Saving Club Inc	Expand Training, Educational Admin Capacity (Desktop Computer)	\$1,740.91	\$1,740.91
Chelsea & District Inter-Church Council	Community Christmas Carols	\$500.00	\$500.00

Appendix 2 - Annual Grants - Successful - Funding Recommendations 2021-2022 HPE 21/97170			
Group/organisation name	Activity title	Amount Requested	Amount Recommended
Chelsea Bowling Club Inc	Purchase Access Hand Rails	\$2,000.00	\$2,000.00
Chelsea Heights Community Centre	Upgrade Community Centre Equipment	\$2,000.00	\$2,000.00
Chelsea Heights Kindergarten	Water Play Station	\$1,400.86	\$1,400.86
Chelsea Pony Club	Repair Fences	\$5,000.00	\$5,000.00
Chelsea Probus Club Inc	Regular Social Activities	\$1,200.00	\$1,200.00
Cheltenham Junior Football Club	New Kitchen Equipment for Pavilion	\$5,000.00	\$2,000.00
Cheltenham Panthers Netball Club	Equipment/Uniforms	\$2,000.00	\$2,000.00
Christ Church Dingley	Care and Share Fund	\$1,500.00	\$1,500.00
Christian Resource Centre Ltd	Emergency Relief Provisions	\$8,000.00	\$8,000.00
Chu Chu Club - Seniors	Line Dancing	\$2,000.00	\$900.00
Clarinda & District Greek Senior Citizens Club	Regular Social Activities	\$900.00	\$900.00
Clarinda Tennis Club Inc	Court Seating	\$1,870.00	\$1,870.00
Community Care	Nurturing the Hungry	\$10,000.00	\$10,000.00

Appendix 2 - Annual Grants - Successful - Funding Recommendations 2021-2022 HPE 21/97170			
Group/organisation name	Activity title	Amount Requested	Amount Recommended
Cosenza Senior Citizens of Kingston Inc	Regular Social Activities	\$1,500.00	\$1,200.00
Country Women's Association Mentone	Labels	\$1,000.00	\$1,000.00
Cyprian Community of Southern Suburbs of Melbourne Senior Citizens Club	Regular Social Activities	\$1,200.00	\$1,200.00
Dingley Junior Football Club	Equipment for new Facility Chadwick Oval	\$2,000.00	\$2,000.00
Dingley Village Historical Society	Computers to manage cataloguing	\$2,000.00	\$1399.00
Dingley Village Men's Shed	Security Lighting	\$2,000.00	\$2,000.00
Echo Community (formerly Destiny Care)	Echo Community Hamper & Support Program	\$10,000.00	\$10,000.00
Edithvale Aspendale Netball Club	New Court Set up	\$1,978.00	\$1,978.00
Edithvale Life Saving Club	Rescue Equipment - AED	\$2,000.00	\$2,000.00
Edithvale-Aspendale Junior Football Club	Footballs for training juniors	\$1,936.00	\$1,936.00
FareShare Australia Inc	Kitchen Garden Program	\$1,945.00	\$1,945.00
Friends of Braeside Park inc	iPad Tablet for Covid Compliance	\$600.00	\$600.00
Friends of Edithvale Seaford Wetlands Inc	Bird Hide Signs - directions	\$600.00	\$600.00
Friends of Karkarook Park	Hi Vis Vests	\$1,278.00	\$1,278.00

Appendix 2 - Annual Grants - Successful - Funding Recommendations 2021-2022 HPE 21/97170			
Group/organisation name	Activity title	Amount Requested	Amount Recommended
Griefline Community & Family Services	Reducing Loneliness Training & Workshops	\$9,895.00	\$3,000.00
Highbury Football Club	New Padding for Goal Posts	\$2,000.00	\$1,408.00
Imvrians Society of Melbourne	Replace Social Room Carpet	\$2,320.00	\$1,160.00
Italian Social Club City of Moorabbin	Regular Social Activities	\$900.00	\$900.00
Jacks Avenue Kindergarten	Outdoors Sustainability	\$2,000.00	\$1,987.00
Keysborough Angling Club	Shade sail, uniforms & bbq upgrade	\$2,000.00	\$1,421.00
Kingston Billiards Senior Citizens Club	Regular Social Activities	\$900.00	\$900.00
Kingston for Human Rights	Annual Event International Declaration of Human Rights	\$5,900.00	\$5,900.00
Kingston Toy Library	Welcome Back to Kingston Toy Library	\$2,000.00	\$2,000.00
Ladies Probus Club of Cheltenham	Regular Social Activities	\$1,200.00	\$1,200.00
Ladies Probus Club of Kingston Heath	Social Activities	\$900.00	\$900.00
L'Chaim Chabad	Chanukah at the Foreshore	\$10,000.00	\$10,000.00
Le Page Park Cricket Club	Purchase of Essential Cricket Equipment	\$2,000.00	\$2,000.00
Legends of the Skies Theatre Inc	Legends of the Skies Series 9	\$5,000.00	\$5,000.00

Appendix 2 - Annual Grants - Successful - Funding Recommendations 2021-2022 HPE 21/97170			
Group/organisation name	Activity title	Amount Requested	Amount Recommended
Longbeach Anglican Parish	Winter Warmers Hampers	\$8,000.00	\$8,000.00
Melbourne Shwetambar Jain Sangh Inc	Paryushan Maha Parva 2021	\$10,000.00	\$1,500.00
Mentone Community Assistance & Information Bureau	Christmas Assistance Program	\$5,000.00	\$5,000.00
Mentone Cricket Club	Curation Equipment	\$1,103.00	\$934.00
Mentone Life Saving Club Inc	Sun Protection Marquees	\$2,000.00	\$2,000.00
Mentone Probus Inc	Regular Social Activities	\$1,200.00	\$1,200.00
Mentone Public Library	An Author for All Seasons	\$2,000.00	\$2,000.00
Mindful Makings	Mindfulness Mission	\$3,300.00	\$3,300.00
MLOC Productions Inc	Performance of Musical Theatre Productions	\$10,000.00	\$10,000.00
Moorabbin & District Radio Club Inc	Replacement of Meeting Room Chairs	\$2,000.00	\$2,000.00
Moorabbin Area Toy Library	Imaginative Play Toys for Health & Wellbeing	\$2,000.00	\$1,000.00
Mordialloc Bowls Club Inc	Provision sunshades & seat	\$4,794.30	\$4,794.30
Mordialloc Community Centre	One Billion Stars to End Violence Global Project	\$10,000.00	\$2,000.00
Mordialloc Lapidary Club Inc	Equipment	\$2,000.00	\$2,000.00

Appendix 2 - Annual Grants - Successful - Funding Recommendations 2021-2022 HPE 21/97170			
Group/organisation name	Activity title	Amount Requested	Amount Recommended
Mordialloc Motor Yacht Club	Let's Paddle	\$1,998.00	\$1,000.00
Mordialloc Neighbourhood House	Digital Literacy	\$10,000.00	\$4,000.00
Mordialloc Preschool	Indigenous Culture Play & Learning Resources Experiences	\$1,500.00	\$1,500.00
Nola Barber Kindergarten	Planter Boxes & plants	\$1,710.00	\$1,710.00
NTTF Alumni Association of Victoria	Catchup 2022	\$2,000.00	\$1,500.00
Oakleigh Coptic Senior Social Club	Regular Social Activities	\$2,000.00	\$900.00
Omega Cricket Club	New Junior Girls Cricket Team Equipment	\$2,000.00	\$2,000.00
Open Russian Education Hub (OREH SE)	Russian Cultural Events	\$2,000.00	\$1,200.00
Parkdale Gift	Beachside Gift (formerly Parkdale Gift)	\$10,000.00	\$10,000.00
Parkdale Preschool	Playground Shade Sail	\$5,000.00	\$5,000.00
Parkdale Secondary College	Kingston Koorie Mob	\$10,000.00	\$6,050.00
Parkdale Vultures Amateur Football Club	Advertising Platforms Social media	\$2,000.00	\$2,000.00
Patterson Lakes Combined Probus Club	Day Trip to Nagambie	\$900.00	\$900.00
Peninsula Dragonflies Inc	Dragon Boat	\$2,000.00	\$2,000.00

Appendix 2 - Annual Grants - Successful - Funding Recommendations 2021-2022 HPE 21/97170			
Group/organisation name	Activity title	Amount Requested	Amount Recommended
Probus Club of Dingley Central Inc	Regular Social Activities	\$1,500.00	\$1,500.00
Probus Club of Parktone	Regular Social Activities	\$1,200.00	\$1,200.00
Red Chamber Chinese Opera Group	YUE Opera Blooms	\$7,000.00	\$2,063.00
Riding for the Disabled Moorabbin	Computer and Notebook	\$2,000.00	\$2,000.00
Rotary Club of Mordialloc Inc	Gnome & Fairy Festival	\$4,000.00	\$4,000.00
Scope (Aust) Ltd	Kingston Recovery & Re-engagement	\$10,000.00	\$5,000.00
Scouts Victoria - Kingston District	Security Lighting	\$26,400.00	\$26,400.00
Senior Citizens of La Baracca Inc	Regular Social Activities	\$1,500.00	\$1,500.00
SKGA - Sangam Kala Group Australia	2022 SHMFA Spirit Harmony Festival	\$9,989.00	\$1,135.00
Southern Suburbs Orchid Society Inc	Annual Orchid Show & Sale	\$1,000.00	\$500.00
Special Olympics	Tennis venue hire	\$1,000.00	\$1,000.00
St Joseph's Care & Concern Group	Christmas Lunch	\$500.00	\$500.00
St Kilda Football Club	Growing with Gratitude Community Program	\$4,120.00	\$4,120.00
Trustee for NCJW Social Support Trust	Caring Mums	\$10,000.00	\$3,120.00

Appendix 2 - Annual Grants - Successful - Funding Recommendations 2021-2022 HPE 21/97170			
Group/organisation name	Activity title	Amount Requested	Amount Recommended
Unified Filipino Elderly Association Inc	UFEA 2021 Senior Music Festival	\$2,000.00	\$1,200.00
Valguarnera Italian Social Club	Regular Social Activities	\$1,500.00	\$1,500.00
Waterways Residents Association Inc	Waterways Community Festival 2021	\$10,000.00	\$10,000.00
Westall Social Tennis Club	Cardio Tennis for People with Disability	\$5,500.00	\$2,000.00
Total		\$459,534.38	\$298,157.13

Appendix 3 - Community Grants Program - Annual Grants - 2021-2022 - Unsuccessful			HPE CM 21/96281
Group/organisation name	Activity title	Amount requested	Amount recommended
1st Chelsea Heights Scout Group	Trailer LPG Safety Upgrade	\$650.00	\$0.00
7th Cheltenham Scout Group	State Camps and equipment	\$2,000.00	\$0.00
Aspendale Gardens Community Service	Adjustable Height Basketball Ring	\$2,000.00	\$0.00
Aspendale Primary School	Unique Learners Community Hub	\$4,021.00	\$0.00
Aspendale Tennis Club	Additional Funding works for Women's Toilets	\$5,000.00	\$0.00
Bayley House	Air conditioning	\$5,000.00	\$0.00
Calvary Health Care Bethelhem	Let's Talk Over Zoom with Home Delivery Kits	\$4,441.00	\$0.00
Chelsea Rotary	Maintenance Mobility Scooter x 11	\$9,405.00	\$0.00
Cheltenham Community Centre	Coffee Connection	\$7,775.00	\$0.00
Farm Road Kindergarten	Indigenous Art Mural	\$5,000.00	\$0.00
Friendship Square Childcare & Kindergarten	Warm up - outdoor heaters	\$1996.00	\$0.00
Lighthouse Foundation	Lighthouse Psychological Wellness Program	\$10,000.00	\$0.00
Make a Difference Dingley Village	Emergency Relief	\$10,000.00	\$0.00
Marine Mammal Foundation	Marvellous Marine Education: Inspiring Kingston School	\$9,750.00	\$0.00

Appendix 3 - Community Grants Program - Annual Grants - 2021-2022 - Unsuccessful		HPE CM 21/96281	
Group/organisation name	Activity title	Amount requested	Amount recommended
Sport & Life Training Limited (SALT)	SALT Wellbeing	\$12,000.00	\$0.00
STEM Incubators	Community Stewardship for young Australians	\$1,800.00	\$0.00
The Miranda Foundation	The Biggest Playdate - Fundraiser	\$10,000.00	\$0.00
Yesodei Hatorah College	School Play	\$1,847.00	\$0.00
Totals		\$102,685.00	\$0.00

Appendix 4 - Organisations proposed to transfer from Annual Grants to Partnership Grants					HPE CM 21/96852
Organisation	Activity	Amount Granted 2018-2019	Amount Granted 2019-2020	Amount Granted 2020-2021	Amount Recommended 2021-2022
Cosenza Senior Citizens of Kingston Inc	Regular Social Activities	\$900.00	\$1,200.00	\$1,200.00	\$1,200.00
Melbourne Shwetambar Jain Sangh Inc	Regular Social Activities	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00
United Filipino Elderly Association Inc (UFEA)	Regular Social Activities	\$900.00	\$1,200.00	\$1,200.00	\$1,200.00
Total					\$3,900.00

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
1st Chelsea Heights Scout Group							\$0.00
7th Cheltenham Scout Group							\$0.00
Acacia Avenue Preschool			\$4,325.06				\$4,325.06
Alexander Luciano Hudson				\$			\$0.00
Angharad Neil-Williams				\$			\$0.00
Anglo-Indian Australasian Association of Vic Inc	\$1,639.09						\$1,639.09
Anita Welller				\$			\$0.00
Anna Wheeler				\$			\$0.00
Archangel Michael Senior Social Club of Oakleigh			\$900.00				\$900.00
Argos & District Australian Greek Seniors Citizens Club of Kastoria	\$1,074.64					\$2,000.00	\$3,074.64
Aspendale Gardens Community Services Inc	\$68,563.77				\$750.00		\$69,313.77

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Aspendale Gardens Residents Association			\$8,500.00				\$8,500.00
Aspendale North Kindergarten			\$1,700.00		\$900.00		\$2,600.00
Aspendale Presbyterian Church			\$1,999.00				\$1,999.00
Aspendale Primary School							
Aspendale Sporting Club			\$5,433.00				\$5,433.00
Aspendale Tennis Club							\$0.00
Associations Pensionati la Ziali l'd Monash	\$1,074.64					\$1,500.00	\$2,574.64
Aurelien Gillfeather-Pham				\$			\$0.00
Australia Greek Seniors Club of Mentone	\$900.00					\$3,000.00	\$3,900.00
Australian Coptic Families Social Club Inc			\$900.00				\$900.00
Australian Skateboarding Federation			\$3,000.00				\$3,000.00

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Avellino Circolo Pensioners of Springvale Inc	\$1,043.34					\$3,000.00	\$4,043.34
AWARE (Australian Wildlife Assistance Rescue & Education Inc)	\$3,376.53						\$3,376.53
Bayley House							\$0.00
Bayside Community Care			\$5,000.00				\$5,000.00
Bayside Community Emergency Relief			\$2,000.00				\$2,000.00
Bayside Community Information Support Services (BayCISS)	\$33,823.95						\$33,823.95
Bayside Cricket Club			\$1,350.00				\$1,350.00
BBQ Boys Carers Group Inc			\$900.00				\$900.00
Bruthen Street Kindergarten				\$	\$1,000.00		\$1,000.00
Carrum Community Activity Centre Inc	\$5,304.50						\$5,304.50
Calvary Health Care Bethlehem			\$0.00				\$0.00

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Carrum Surf Life Saving Club Inc.			\$1,740.91				\$1,740.91
Chelsea Community Support Services Inc	\$99,320.07						\$99,320.07
Chelsea Concert Band	\$10,039.82						\$10,039.82
Chelsea & District Inter-Church Council			\$500.00				\$500.00
Chelsea Bowling Club			\$2,000.00				\$2,000.00
Chelsea Heights Community Centre	\$68,563.77		\$2,000.00		\$1,000.00		\$71,563.77
Chelsea Heights Kindergarten			\$1,400.86		\$427.27		\$1,828.13
Chelsea and District Historical Society	\$3,278.18						\$3,278.18
Chelsea Kindergarten					\$989.99		\$989.99
Chelsea Pony Club			\$5,000.00				\$5,000.00
Chelsea Probus Club Inc			\$1,200.00				\$1,200.00

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Chelsea Rotary			\$0.00				\$0.00
Cheltenham Community Centre	\$92,444.81		\$0.00		\$1,000.00		\$93,444.81
Cheltenham Junior Football Club			\$2,000.00				\$2,000.00
Cheltenham Panthers Netball Club			\$2,000.00				\$2,000.00
Christ Church Dingley			\$1,500.00				\$1,500.00
Christian Resource Centre			\$8,000.00				\$8,000.00
Chu Chu Club			\$900.00				\$900.00
Circolo Pensionati 'Don Bosco' Inc						\$750.00	\$750.00
Circolo Pensionati Italiani Di Bentleigh Inc	\$1,688.26					\$1,500.00	\$3,188.26
Circolo Pensionati Italiani di Oakleigh e Clayton	\$983.45					\$2,000.00	\$2,983.45
Circolo Pensionati Campani Italiano Di Clayton	\$1,043.34					\$3,000.00	\$4,043.34

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Clarinda & District Greek Senior Citizens Club Inc			\$900.00			\$3,000.00	\$3,900.00
Clarinda Senior Social Club	\$1,500.00					\$2,000.00	\$3,500.00
Clarinda Tennis Club			\$1,870.00				\$1,870.00
Community Care			\$10,000.00				\$10,000.00
Cosenza Senior Citizens of Kingston Inc			\$1,200.00			\$3,000.00	\$4,200.00
Country Women's Association of Victoria Inc (Mentone)			\$1,000.00				\$1,000.00
Croatian Senior Citizens Group Keysborough	\$1,311.27					\$2,000.00	\$3,311.27
Cyprian Community of Southern Suburbs of Melbourne Senior			\$1,200.00			\$3,000.00	\$4,200.00
Deakin University				\$			\$0.00
Delana Carbone				\$			\$0.00
Dingley Junior Football Club			\$2,000.00				\$2,000.00

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Dingley Village Historical Society Inc	\$3,278.18		\$1,399.00				\$4,677.18
Dingley Village Men's Shed Inc			\$2,000.00				\$2,000.00
Dingley Village Neighbourhood Centre	\$68,563.77						\$68,563.77
Echo Community (formerly Destiny Care)			\$10,000.00				\$10,000.00
Edithvale Aspendale Netball Club			\$1,978.00				\$1,978.00
Edithvale Life Saving Club			\$2,000.00				\$2,000.00
Edithvale-Aspendale Junior Football Club Inc			\$1,936.00				\$1,936.00
Eisteddfod by the Bay	\$25,412.08						\$25,412.08
Ethnic Discussion Club	\$1,043.34						\$1,043.34
Family Life	\$56,722.12						\$56,722.12
FareShare Australia Inc			\$1,945.00				\$1,945.00

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Farm Road Pre School Inc			\$0.00		\$790.00		\$790.00
Friendship Square Child Care & Kindergarten Co-operative			\$0.00		\$425.00		\$425.00
Friends of Braeside Park Inc			\$600.00				\$600.00
Friends of Edithvale Seaford Wetlands Inc			\$600.00				\$600.00
Friends of Karkarook Park			\$1,278.00				\$1,278.00
Gary James Seeary				\$			\$0.00
Graeme Johnstone				\$			\$0.00
Greek Elderly Citizens of Clayton and Districts Inc.	\$1,432.86					\$3,000.00	\$4,432.86
Greek Orthodox Community of Monash and Districts	\$1,074.64					\$3,000.00	\$4,074.64
Greek Senior Citizens Group of Moorabbin	\$1,432.86					\$3,000.00	\$4,432.86
Greek Senior Citizens of Southern Eastern Regions and Districts	\$1,074.64					\$3,000.00	\$4,074.64

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Greek Seniors and Pensioners Association of Clayton and District Inc.	\$1,074.64					\$3,000.00	\$4,074.64
Greek Women's Senior Citizens Club of McKinnon "Rhea"	\$1,074.64					\$2,000.00	\$3,074.64
Griefline Community and Family Services Inc			\$3,000.00				\$3,000.00
Hellenic Community of Moorabbin		\$11,592.74					\$11,592.74
Hellenic Community of Moorabbin Seniors Club	\$1,791.09					\$3,000.00	\$4,791.09
Highbett Football Club			\$1,408.00				\$1,408.00
Imvrians' Society of Melbourne			\$1,160.00				\$1,160.00
Independent Hellenic Seniors Citizens Association of Clayton & Districts	\$1,432.86					\$3,000.00	\$4,432.86
Italian Senior Citizens of Kingston La Baracca						\$3,000.00	\$3,000.00
Italian Senior Citizens Group of Moorabbin Inc	\$1,350.61						\$1,350.61
Italian Social Club City of Moorabbin			\$900.00			\$3,000.00	\$3,900.00

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Jack Freeman				\$			\$0.00
Jacks Avenue Kindergarten			\$1,987.00		\$1,000.00		\$2,987.00
Kate Ashforth				\$			\$0.00
Keysborough Angling Club Inc			\$1,421.00				\$1,421.00
Kieran Carroll				\$			\$0.00
Kingston Billiards Senior Citizens Club			\$900.00				\$900.00
Kingston Calisthenics College	\$7,725.00						\$7,725.00
Kingston Chinese Senior Citizens Club Inc	\$1,791.09					\$2,000.00	\$3,791.09
Kingston for Human Rights			\$5,900.00				\$5,900.00
Kingston Heath Primary School					\$0.00		\$0.00
Kingston Indian Senior Citizens Association Inc						\$1,000.00	\$1,000.00

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Kingston Toy Library			\$2,000.00		\$750.00		\$2,750.00
Kingston Turkish Senior Citizens Inc						\$2,000.00	\$2,000.00
Kirsten Eltham				\$			\$0.00
Kondia Limnos Senior Citizens Club	\$1,074.64					\$3,000.00	\$4,074.64
Kyle Wakeham				\$			\$0.00
L'Chaim Chabad			\$10,000.00		\$1,000.00		\$11,000.00
Ladies Probus Club of Cheltenham			\$1,200.00				\$1,200.00
Ladies Probus Club of Kingston Heath			\$900.00				\$900.00
Lemnian Community of Victoria Ltd (Seniors)	\$1,432.86					\$3,000.00	\$4,432.86
Le Page Park Cricket Club			\$2,000.00				\$2,000.00
Legends of the Skies Theatre Inc			\$5,000.00				\$5,000.00

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Lighthosue Foundation							\$0.00
Little Feet Music Pty Ltd					\$0.00		\$0.00
Locomotion				\$			\$0.00
Longbeach Anglican Parish			\$8,000.00				\$8,000.00
Longbeach Place Inc	\$68,563.77						\$68,563.77
Make a Difference Dingley Village Inc	\$30,251.87						\$30,251.87
Marine Mammal Foundation							\$0.00
Maltese La Vallette Association Inc	\$1,012.95					\$750.00	\$1,762.95
Melbourne Shwetambar Jain Sangh Inc			\$1,500.00				\$1,500.00
Mentone Community Assistance & Information Bureau Inc	\$36,302.18		\$5,000.00				\$41,302.18
Mentone Cricket Club			\$934.00				\$934.00

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Mentone Life Saving Club Inc			\$2,000.00				\$2,000.00
Mentone Probus Inc			\$1,200.00				\$1,200.00
Mentone Public Library			\$2,000.00				\$2,000.00
Mikaela Stafford				\$			\$0.00
Mindful Makings Inc			\$3,300.00				\$3,300.00
MLOC Productions			\$10,000.00				\$10,000.00
Moorabbin & District Radio Club Inc			\$2,000.00				\$2,000.00
Mordialloc & District Historical Society	\$3,278.18						\$3,278.18
Moorabbin Area Toy Library			\$1,000.00		\$500.00		\$1,500.00
Mordialloc Bowls Club Inc			\$4,794.30				\$4,794.30
Mordialloc Brass Band Inc (MOJO)	\$10,039.82	\$13,644.74					\$23,684.56

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Mordialloc Community Centre	\$68,563.77		\$2,000.00				\$70,563.77
Mordialloc Lapidary Club			\$2,000.00				\$2,000.00
Mordialloc Motor Yacht Club			\$1,000.00				\$1,000.00
Mordialloc Neighbourhood House	\$68,563.77		\$4,000.00				\$72,563.77
Mordialloc Pre School			\$1,500.00				\$1,500.00
Multicultural Nature Guides	\$1,125.51						\$1,125.51
Multicultural Senior Citizen Group of Kingston & Surrounding Regions	\$1,500.00					\$3,000.00	\$4,500.00
Mythri Social and Cultural Association Inc	\$1,639.09				\$1,000.00		\$2,639.09
Nic Clark				\$			\$0.00
Nicholas Bufalo				\$			\$0.00
Nola Barber Kindergarten			\$1,710.00				\$1,710.00

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
NTTF Alumni Association of Victoria			\$1,500.00				\$1,500.00
Oakleigh Coptic Senior Social Club Inc			\$900.00			\$3,000.00	\$3,900.00
Omega Cricket Club			\$2,000.00				\$2,000.00
Open Russian Educational Hub (OREH SE)			\$1,200.00				\$1,200.00
Pantry 5000 (Anglican Parish of Longbeach)	\$15,148.59						\$15,148.59
Parkdale (Beachside) Gift			\$10,000.00				\$10,000.00
Parkdale Pre School Association			\$5,000.00				\$5,000.00
Parkdale Secondary College			\$6,050.00				\$6,050.00
Parkdale Vultures Amateur Football Club			\$2,000.00				\$2,000.00
Patterson Lakes Combined Probus Club			\$900.00				\$900.00
Peninsula Community Legal Centre	\$40,839.92						\$40,839.92

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Peninsula Dragonflys Dragon Boat Club			\$2,000.00				\$2,000.00
Peter Vadiveloo				\$			\$0.00
Pilipino Elderly Association of South East Region	\$1,791.09					\$2,000.00	\$3,791.09
Probus Club of Dingley Central Inc			\$1,500.00				\$1,500.00
Probus Club of Parktone Inc			\$1,200.00				\$1,200.00
Rebecca Page				\$			\$0.00
Red Chamber Chinese Opera Group			\$2,063.00			\$750.00	\$2,813.00
Riding for the Disabled Moorabbin			\$2,000.00				\$2,000.00
Robert Scholten				\$			\$0.00
Rotary Club of Chelsea (Vital Volunteers)	\$3,376.53						\$3,376.53

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Rotary Club of Mordialloc Inc			\$4,000.00				\$4,000.00
Ryan Group	\$1,639.09						\$1,639.09
Scope (Aust) Ltd			\$5,000.00				\$5,000.00
Scouts Victoria - Kingston District			\$26,400.00				\$26,400.00
Senior Citizens Freccia Azzurra Inc	\$1,688.26					\$3,000.00	\$4,688.26
Senior Citizens of La Baracca Inc			\$1,500.00				\$1,500.00
Senior Citizens Russian Friendship Club of Bayside						\$1,500.00	\$1,500.00
Shalom Association	\$1,391.13						\$1,391.13
SKGA Inc Sangam Kala Group Australia			\$1,135.00				\$1,135.00
South East Community Links (formerly SEAAC)	\$18,150.93						\$18,150.93
Southern Area Concert Band	\$10,039.82			\$			\$10,039.82

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
South Oakleigh Wildlife Shelter	\$3,376.53						\$3,376.53
Southern Suburbs Orchid Society Inc			\$500.00				\$500.00
Spanish Speaking Senior Club of Clayton	\$1,043.34					\$750.00	\$1,793.34
Special Olympics			\$1,000.00				\$1,000.00
Sport & Life Training Limited			\$0.00				\$0.00
STEM Incubators							\$0.00
St Andrew's Parish Friendship Group	\$1,043.34						\$1,043.34
St Joseph's Care & Concern Group			\$500.00				\$500.00
St Kilda Football Club			\$4,120.00				\$4,120.00
St Vincent de Paul Society - Aspendale Conference	\$930.25						\$930.25
St Vincent de Paul Society - East Parkdale Conference	\$930.25						\$930.25

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
St Vincent de Paul Society - St Andrews Clayton South Conference	\$930.25						\$930.25
St Vincent de Paul Society - Mentone	\$930.25						\$930.25
St Vincent de Paul Society - Moorabbin/Bentleigh Conference	\$930.25						\$930.25
St Vincent de Paul Society - Mordialloc	\$930.25						\$930.25
St Vincent de Paul Society - Our Lady of the Assumption Conference, Cheltenham	\$930.25						\$930.25
St Vincent de Paul Society - St Joseph's Chelsea Conference	\$930.25						\$930.25
The Miranda Foundation							\$0.00
The Three Hierarchs Greek Elderly Group						\$3,000.00	\$3,000.00
The Trustee for the NCJW Vic Social Support Trust			\$3,120.00				\$3,120.00
Tom Mikulic				\$			\$0.00
Unified Filipino Elderly Association Inc			\$1,200.00			\$3,000.00	\$4,200.00

Appendix 5 - Community Grants Program 2021-22 - All Grant Applications & Allocations HPE 21/97151							
Organisation	Partnership Grants	Festivals & Events	Annual Grants	Arts Grants (To be confirmed - subject to Council Review - does not impact overall funding recommendations)	Children's Week Grants	Cultural Diversity Meals Grants Allocated 2020-2021	Total
*Green shading identifies those groups in receipt of multiple grants							
Valguarnera Italian Social Club			\$1,500.00				\$1,500.00
Victoria State Emergency Service - Chelsea Unit	\$50,853.26						\$50,853.26
Victoria State Emergency Service - Moorabbin Unit	\$25,714.01						\$25,714.01
Victorian Association of World War 2 Veterans from ex-Soviet Union	\$954.81						\$954.81
Victorian Malayalee Seniors Association Inc.	\$1,391.13						\$1,391.13
Waterways Residents Association Inc			\$10,000.00				\$10,000.00
Westall Social Tennis Club			\$2,000.00				\$2,000.00
William Stone				\$			\$0.00
Yasmin Silveira				\$			\$0.00
Yesodei Hatorah College			\$0.00				\$0.00
Totals	\$1,052,480.04	\$25,237.48	\$298,157.13	\$0.00	\$11,532.26	\$90,500.00	\$1,477,906.91

Appendix 7		HPE CM 21/130214	
Annual Grants 2021-2022 - Late applications - Funding Recommendations			
Group/organisation name	Activity title	Amount Requested	Amount Recommended
Highbett Football Club	New Padding for Goal Posts	\$2,000.00	\$1,408.00
Red Chamber Chinese Opera Group	YUE Opera Blooms	\$7,000.00	\$2,063.00
Senior Citizens of La Baracca Inc	Regular Social Activities	\$1,500.00	\$1,500.00
Sub-Total		\$10,500.00	\$4,971.00

Partnership Grants 2021-2022 - Late applications - Funding Recommendations			
Group/Organisation name	Activity title	Amount requested	Amount recommended
Family Life Ltd	Operational Requirements	\$56,722.12	\$56,722.12
Multicultural Nature guides	Regular Social Activities	\$1,125.51	\$1,125.51
St Vincent dePaul - Mentone Conference	Welfare provision	\$930.25	\$930.25
Sub-Total		\$58,777.88	\$58,777.88
Total			\$63,748.88

From: [Cr Cameron Howe](#)
To: [Jihan Wassef](#)
Cc: [Mark Patterson](#); [Dominic McCann](#); [Mauro Bolin](#); [Cr Steve Staikos](#)
Subject: Re: Pantry 5000 funding
Date: Saturday, 5 June 2021 12:37:54 PM
Attachments: [image006.png](#)
[image007.png](#)
[image009.png](#)
[image010.jpg](#)
[image011.jpg](#)
[image012.jpg](#)
[image013.jpg](#)

Hi Jihan,

I have copied you into the formal request of Pantry 5000 on the 2020-21 partnership agreement of \$14,707.37 for a \$10,000 uplift i.e. \$25,000

Cameron Howe

BANKSIA WARD | CARRUM PATT LAKES BONBEACH

kingston.vic.gov.au

m [0429 498 028](tel:0429498028) e cameron.howe@kingston.vic.gov.au

From: Jihan Wassef <Jihan.Wassef@kingston.vic.gov.au>

Sent: Monday, May 31, 2021 4:48 PM

To: Cr Cameron Howe <Cameron.Howe@kingston.vic.gov.au>

Cc: Mark Patterson <Mark.Patterson@kingston.vic.gov.au>; Dominic McCann <Dominic.McCann@kingston.vic.gov.au>; Mauro Bolin <Mauro.Bolin@kingston.vic.gov.au>; Cr Steve Staikos <Steve.Staikos@kingston.vic.gov.au>

Subject: RE: Pantry 5000 funding

Thanks Cr Howe,

Listed below are Ken's contact details.

Ken Gooding's email is: goodingk@bigpond.net.au

His telephone no is: 0400 716 186

Regards

Jihan



Jihan Wassef

A/ Manager - LIBRARIES & SOCIAL DEVELOPMENT

From: Cr Cameron Howe <Cameron.Howe@kingston.vic.gov.au>
Sent: Monday, 31 May 2021 4:23 PM
To: Jihan Wassef <Jihan.Wassef@kingston.vic.gov.au>
Cc: Mark Patterson <Mark.Patterson@kingston.vic.gov.au>; Dominic McCann <Dominic.McCann@kingston.vic.gov.au>; Mauro Bolin <Mauro.Bolin@kingston.vic.gov.au>; Cr Steve Staikos <Steve.Staikos@kingston.vic.gov.au>
Subject: Re: Pantry 5000 funding

Thanks Jihan,

I am happy to contact the parish but do not have an email. Do you? Can I put in a request on their behalf, having spoken with Ken Gooding?

Dominic and I discussed increasing the funding all up to \$40,000 as provided in 2020, i.e. \$5000 via the charitable fund and the remainder in a funding agreement

Cameron Howe

BANKSIA WARD | CARRUM PATT LAKES BONBEACH

kingston.vic.gov.au

m [0429 498 028](tel:0429498028) e cameron.howe@kingston.vic.gov.au

From: Jihan Wassef <Jihan.Wassef@kingston.vic.gov.au>
Sent: Monday, May 31, 2021 1:17 PM
To: Cr Cameron Howe <Cameron.Howe@kingston.vic.gov.au>
Cc: Mark Patterson <Mark.Patterson@kingston.vic.gov.au>; Dominic McCann <Dominic.McCann@kingston.vic.gov.au>; Mauro Bolin <Mauro.Bolin@kingston.vic.gov.au>
Subject: RE: Pantry 5000

Hi Cr Howe,

Thank you for your inquire regarding Pantry 5000 Partnership Grant.

Officers are unable to make any adjustments to any Community Grant - Partnership Agreements without Council Endorsement.

In order for Council to consider such requests and in particular, this request from Pantry 5000, they would need to submit a formal request to Council.

Having said that, officers are currently finalising the Community Grants report due to be

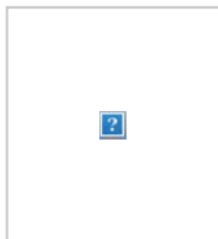
presented to Council in June/July. Therefore, in order to meet the report deadlines, Pantry 5000 would need to submit a request within the next few for Council to consider this request.

To date no discussions have been had with the Charity regarding their partnership grant.

Please feel free to call me should you have any further inquiries.

Kind Regards

Jihan



Jihan Wassef

A/ Manager - LIBRARIES & SOCIAL DEVELOPMENT

From: Cr Cameron Howe <Cameron.Howe@kingston.vic.gov.au>

Sent: Monday, 31 May 2021 10:01 AM

To: Dominic McCann <Dominic.McCann@kingston.vic.gov.au>

Cc: Mark Patterson <Mark.Patterson@kingston.vic.gov.au>; Jane Grace <Jane.Grace@kingston.vic.gov.au>; Jihan Wassef <Jihan.Wassef@kingston.vic.gov.au>; Sharon Matthews <Sharon.Matthews@kingston.vic.gov.au>

Subject: Re: Pantry 5000

Hi Dominic,

According to the table the charitable fund provided \$25,000 during lockdowns in addition to the grant of \$14,707. Pantry 5000 said to me in April that they were struggling financially, having received \$39,700 from the council

Is there any scope budget wise to at least match 2020 funding or otherwise increase the partnership grant? Has the partnership grant funding been discussed with the charity recently?

Cameron Howe

BANKSIA WARD | CARRUM PATT LAKES BONBEACH

kingston.vic.gov.au

m [0429 498 028](tel:0429498028) e cameron.howe@kingston.vic.gov.au

From: Cr Cameron Howe <Cameron.Howe@kingston.vic.gov.au>
Sent: Thursday, April 1, 2021 11:41 AM
To: Dominic McCann <Dominic.McCann@kingston.vic.gov.au>
Cc: Mark Patterson <Mark.Patterson@kingston.vic.gov.au>; Jane Grace <Jane.Grace@kingston.vic.gov.au>; Jihan Wassef <Jihan.Wassef@kingston.vic.gov.au>; Sharon Matthews <Sharon.Matthews@kingston.vic.gov.au>
Subject: Re: Pantry 5000

Thanks you Dominic

Cameron Howe

BANKSIA WARD | CARRUM PATT LAKES BONBEACH

kingston.vic.gov.au

m 0429 498 028 e cameron.howe@kingston.vic.gov.au

From: Dominic McCann <Dominic.McCann@kingston.vic.gov.au>
Sent: Thursday, April 1, 2021 9:07 AM
To: Cr Cameron Howe <Cameron.Howe@kingston.vic.gov.au>
Cc: Mark Patterson <Mark.Patterson@kingston.vic.gov.au>; Jane Grace <Jane.Grace@kingston.vic.gov.au>; Jihan Wassef <Jihan.Wassef@kingston.vic.gov.au>; Sharon Matthews <Sharon.Matthews@kingston.vic.gov.au>
Subject: Pantry 5000

Good morning Cr Howe

I am just responding to your request for information on funding allocations to Pantry 5000.

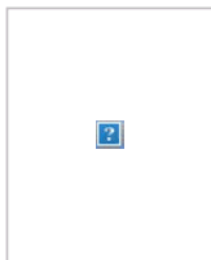
Please see below funding that has been allocated to Pantry 5000 from Council's Community Grants Program, the Charitable Fund and special payments because of COVID

Year	Partnership Grant	Charitable Fund
2017-2018	\$7,804.50	2018 - \$5,000
2018-2019	\$8,038.64	2019 - \$5,000
2019-2020	\$14,279 (Special Cr request to increase grant by \$6,000 on the 2018-2019 funding allocation)	2020 - \$5,000
2020-2021	\$14,707.37	2020 - Stage 3 COVID - Lock down - \$10,000
2021-2022	\$15,148.60 (To be determined by Council in July 2021)	2020 - Stage 4 COVID - Lock Down - \$10,000

Please note that with the Partnerships Grants there is a 3% increase in funding year on year to accommodate CPI.

Regards

Dominic

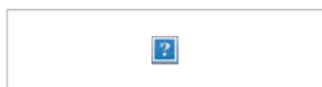


Dominic McCann

Co-ordinator Community Wellbeing

kingston.vic.gov.au

d: 9581 4748 m: 0439 868 724 e: dominic.mccann@kingston.vic.gov.au



Kingston Council and local support services are working together to support our community during the COVID-19 crisis.

Phone our Community Support Hotline during business hours on 1300 653 356 for information or support including emergency food aid, home support, financial counselling/assistance, family violence support or mental health services.

From: Cr Cameron Howe

Sent: Sunday, 28 March 2021 1:31 PM

To: Mauro Bolin <Mauro.Bolin@kingston.vic.gov.au>; Councillor Requests <Councillor.Requests@kingston.vic.gov.au>

Subject: Re: Pantry 5000

Hi Mauro could you or a staff member please confirm the financial support to Pantry 5000 and % increase this financial?

Cameron Howe

BANKSIA WARD | CARRUM PATT LAKES BONBEACH

kingston.vic.gov.au

m [0429 498 028](tel:0429498028) e cameron.howe@kingston.vic.gov.au

From: Cr Cameron Howe

Sent: Wednesday, March 24, 2021 7:34 PM

To: Mauro Bolin <Mauro.Bolin@kingston.vic.gov.au>

Subject: Pantry 5000

Hi Mauro,

Has there been any uplift in the funding to Pantry 5000, if so by how much and what amount is provided?

Cameron Howe

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26 July 2021

Agenda Item No: 9.2

DINGLEY VILLAGE COMMUNITY PRECINCT - STAGE 2: OUTCOME OF COMMUNITY CONSULTATION

Contact Officer: Juli Stickler, Senior Facilities Development and Planning Coordinator

Purpose of Report

This report provides an overview of the key themes emerging from the community consultation undertaken for the proposed Community Precinct - Stage 2 development at 31 Marcus Road, Dingley Village and seeks endorsement to progress design development.

Disclosure of Officer / Contractor Conflict of Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council:

1. Note the community consultation process and emerging themes in response to the proposed concept for Dingley Village Community Precinct – Stage 2.
2. Note the budget implications for Stage 2 works, as previously detailed within the Draft Capital Works plan and to authorise officers to submit relevant grant funding submissions for State Government early year's infrastructure funding to support the delivery of the project,
3. Authorise officers to continue to progress the Stage 2 works, including:
 - confirmation of concept plan (buildings only);
 - detailed design development;
 - obtaining relevant statutory approval;
 - developing future leasing/licencing arrangements for the redeveloped facility;
 - undertake further assessment of the scope and siting options for the community basketball court, and to present this back to Council within a subsequent report.

1. Executive Summary

The Dingley Village Community Precinct was extensively redeveloped during Stage 1 works, with the Library and Harold Box Hall undergoing significant refurbishment to support inter-generational activation of the Marcus Road site.

Following completion of Stage 1 works, attention turned to defining the scope of Stage 2, with the proposed concept presented at the Councillor Information Session, 17 August 2020.

This concept indicates extensive site redevelopment through demolition of the existing Neighbourhood Centre building, construction of a 4-room Early Years Hub (encompassing sessional kindergarten, playgroup, occasional care and maternal and child health services). Additional flexible community space is proposed with an extension to the south of the Hall, to directly off-set the loss of existing Neighbourhood Centre rooms.

Progression of Stage 2 as outlined within the attached concept, supports ongoing provision of the suite of programs currently delivered by the Neighbourhood Centre and the existing Marcus Road Maternal and Child Health services. The proposed redevelopment will also introduce sessional kindergarten programs, sufficient to accommodate and support future growth of the services currently delivered from 37 Marcus Road by Dingley Kindergarten Centres (Inc).

The increased demand for early years facilities throughout the municipality has previously been noted as having significant implications for capital investment, with the Dingley Village redevelopment targeted as an immediate priority to address forecast demand.

2. Background

In response to recognised community need, a Master Plan was developed for 31 Marcus Road site. This Master Plan proposed transformation of the precinct into an intergenerational hub for the community of Dingley Village, separating work into two stages. Stage 1 (completed early 2020) involved extensive refurbishment of the existing Harold Box Hall and Dingley Library, with the addition of flexible community space in the form of a craft room and an inter-connecting multipurpose foyer space. Stage 2 proposes redevelopment of the adjacent neighbourhood house to increase capacity for Early Years and Maternal and Child Health services, along with further additional flexible community space.

In the years ensuing development of the initial Master Plan, significant changes to the State funding model for sessional kindergarten has further validated the need for increased early years capacity. Previous reports have outlined the impact of funded three-year-old sessional kindergarten on the capacity of existing early years infrastructure, with approximately 300 additional licenced sessional kindergarten required to meet the forecast demand throughout the municipality. Dingley Village has been identified as a priority area for the provision of additional early years infrastructure in recognition of forecast population growth, the introduction of three-year-old kindergarten and identified facility shortfall (Refer *Funded three-year-old kindergarten and implications for grant income and capital projects, CIS, 9 March 2021*).

Future development of the Kingswood site further intensifies the requirement for, and existing urgency of, increased community infrastructure in Dingley Village. Demolition of the existing neighbourhood centre building facilitates a more comprehensive, flexible and future-focussed design response. Redevelopment in this manner will sufficiently accommodate the full suite of early years services accessed by the local community (sessional kindergarten, occasional care, playgroups), with capacity for future growth.

The current concept, endorsed for community consultation, includes the following elements:

- 4 Early Years rooms, with associated indoor and outdoor play space, and supporting amenities.
- General reception area, administrative offices and staff meeting/planning rooms
- Additional flexible community meeting rooms
- A basketball half-court.
- Carpark refurbishment

A range of communication strategies have been used to engage with the community on the proposed redevelopment, with consultation methodology and findings further summarised within this report.

3. Discussion

3.1 Council Plan Alignment

Goal 3 - Our connected, inclusive, healthy and learning community
Direction 3.1 - Respond to our community's social needs

Progression of Dingley Village Community Precinct - Stage 2 should be considered within the broader context of all early years' infrastructure strategic priorities and the desire for equitable distribution of social infrastructure throughout the municipality. Dingley Village has previously been identified as a suburb of forecast facility shortfall, with sessional kindergarten undersupply anticipated as early as 2026. Additional pressure on community infrastructure will be apparent in the event of future property development in and around Dingley Village, such as that proposed within the Kingswood site.

3.2 Consultation/Internal Review

Key stakeholders for Stage 2 works include the Dingley Village Neighbourhood Centre Board, the Dingley Kindergarten Centres Committee of Management, the City of Kingston Family, Youth & Children's Services and Libraries and Social Development teams.

Additional stakeholders include the Dingley Village (DV) Community Association, the DV Historical Society, Active Kingston, the Public Places team, Victoria Police and the broader Dingley Village community.

Key internal stakeholders were engaged during development of the concept plan, which was then introduced to the DVNC and Dingley Kindergarten for further refinement. The current concept plan was publicly circulated mid-April, with the consultation period open for a period of 6 weeks.

Given the central location to the Dingley Village trading strip, a generous bulletin mail-out catchment was defined to encompass local business, shops and residents, with a total of 2469 bulletins issued. Signs (4) were placed at the Marcus Road site advising of the proposed redevelopment, a Facebook post was placed, and detailed information was available for review on the *Your Kingston*, *Your Say* page. Two community information sessions were held onsite at Marcus Road.

Feedback summarised in this report has been received via the *Your Kingston*, *Your Say* platform, *Facebook*, through direct email submission and completion of paper-based surveys. The two community sessions had varying levels of interest, with several attendees having already reviewed the concept plan online and wanting to ask additional questions for clarification.

Review of the Stage 2 concept through the YKYS and Facebook has seen an extremely high level of site traffic, with 1,100 independent YKYS users 'aware' of the proposal. 241 users looked further into the detail by opening at least one document to review further. The Facebook post attracted 38 emoji responses (92%) positive.

Commentary received via a completed survey (53), direct email (2) or detailed submission (2), has been summarised into key themes, as noted below in the Operation and Strategic Issues.

There were a number of general comments received in relation to this project which have not been included in the summary due to their lack of relevance to project scope (e.g. inclusion of a tennis court).

3.3 Operation and Strategic Issues

3.3.1 Basketball court

The overwhelming majority of feedback on the Stage 2 concept (62% of respondents) was focused on the proposed change to basketball court amenity.

Commentary predominantly advocated for retention of a full court on the area proposed for refurbished carpark, stating that a half-court would be insufficient to meet community demand. Several respondents suggested a second court is necessary at this site.

A small number of respondents suggested that a half court (with multiple height hoops) would be adequate at the Marcus Road site, while other feedback suggested court relocation to elsewhere in Dingley Village.

Retention of a full-court at this site directly impacts the provision of car-parking to support ease of community access to the redeveloped facility, decreasing available parking by 21 spaces.

3.3.2 Car park provision

There are no statutory car parking requirements applicable to the proposed development at this site. However, an independent Traffic and Parking Impact Assessment has been completed to understand the pressure points for parking in and around the Marcus Road precinct and the impact on service users and the local community.

Analysis of the level of future activity indicates that the associated car parking demand through the proposed redevelopment can be accommodated through refurbishment of the existing South/East carpark/basketball court, with a yield of 46 spaces.

Redesign of this zone to be dedicated car-parking supports 'one-way' traffic flow, which is considered the safest option noting the high-volume of small children attending the centre.

Any potential car parking overflow generated at peak periods of activity pick-up and drop-off could be further managed through a whole-of-precinct approach to scheduling.

In the event that the South/East carpark retains a full basketball court, there will be 25 spaces available in this zone, with associated traffic flow changes.

3.3.3 Impact on the Dingley Village Neighbourhood Centre

While in principle the DVNC Board are very supportive of the proposed redevelopment, they have articulated a need for reassurance that the identity, value and function of the Neighbourhood Centre is not diminished within the context of the whole of precinct improvements.

Officers will continue to work with the DVNC as a key existing tenant and stakeholder in response to specific items, such as location and purpose of reception area, facility name and operational synergy with co-tenants.

3.3.4 Smith's Cottage façade

Several respondents, including the DV Historical Society, requested retention of the existing 'Smith's Cottage' façade, built 2001 at the front of the existing neighbourhood centre. At the time of construction, incorporation of a few items salvaged from the original Smith's Cottage was considered an appropriate means of acknowledging local history and formed part of the Bicentenary celebrations.

An architectural conservation consultant was engaged to assess and advise on the heritage value of retaining the Smith's cottage replica within Stage 2 works. The findings of that assessment note that the Smith's Cottage replica building has no heritage value, and preservation is not recommended. Despite this, it is proposed to incorporate some interpretive material within the building to reflect some of the historical connections to the local history of Dingley.

3.3.5 Building design

There was strong support for the proposed building design, purpose, look and feel, with acknowledgement that an update to the existing Neighbourhood Centre is both necessary and overdue.

3.3.6 Proximity to neighbouring residences

Two respondents expressed dissatisfaction with the close proximity of the outdoor early years play space to neighbouring residences (5 directly impacted). Specifically, an increase in noise, loss of park views and loss of direct access to the park were identified as items of concern.

In contrast, other feedback supported extension of playspace to the boundary, recognizing the value of north facing playspace and retention of existing trees. Removal of the 'laneway' between private residences and the existing building was noted by some as positive, reducing the risk of anti-social behaviour in an area with no passive surveillance.

3.3.7 Demand for early years facilities

Several respondents queried the requirement for additional early years facilities.

This matter has previously been addressed through extensive analysis of demographics and forecast service requirements, confirming the requirement for additional facility supply.

3.4 **Options**

3.4.1 Proceed with design development of Dingley Village Community Precinct – Stage 2; with location and scope of basketball court to be determined – **Officer Recommended**

Noting the high volume of internet traffic reviewing the proposed concept and general tone of community feedback received, it can be reasonably concluded that the majority of the community are in support of redeveloped facilities at 31 Marcus Road.

In order to progress Stage 2 redevelopment within a timeframe that will meet the growing urgency around additional sessional kindergarten provision, it is recommended that design development is progressed, with an assumption that redevelopment of this site is prioritised for future capital allocation.

It is acknowledged that provision of a full-size basketball court is highly valued by the community. Further work is required to understand the patterns of use of the existing court, and to fully explore a range of options to determine preferred size, surface and location of any future court provision.

The analysis to inform future court provision can occur concurrently as building detailed design, to avoid any delay to the Stage 2 building works. In the event that Marcus Road is determined to be the most appropriate site for a refurbished basketball court (any size), the net loss of parking amenity will require further discussion.

3.4.2 Retain existing Neighbourhood Centre facilities, with no redevelopment – Not recommended

Extensive redevelopment of the Marcus Road community precinct has previously been discussed and supported within the context of a staged Master Plan. With Stage 1 complete, pausing Stage 2 for an indeterminant period does not adequately respond to the identified need for additional early years capacity provision and is not recommended.

4. Conclusion

4.1 Environmental Implications

Redevelopment of Marcus Road site has been proposed in a manner sensitive to the existing mature trees. Building design would be undertaken in line with the Environmentally Sustainable Design for Community Buildings Policy, minimizing carbon emissions and energy consumption across the life cycle of the building.

4.2 Social Implications

Provision of an improved intergenerational hub at this site supports continuation and capacity growth of a range of services that support the health, well-being and engagement of the Dingley Village community.

In the event that sessional kindergarten infrastructure is not increased within a timely manner, there is a risk that local families will not be able to access early years services at a facility within their immediate residential suburb.

4.3 Resource Implications

Redevelopment of 31 Marcus Road has been accommodated for within the Draft Capital Plan.



Dingley Village Community Precinct: Stage 2	2022/23	2023/24	Total
Proposed funding; inclusive of Council Capital, External Grant (\$2M) & Other Income	\$1,000,000	\$5,400,000	\$6,400,000

4.4 Legal / Risk Implications

Council has a leading role in the planning, provision and maintenance of community infrastructure, such as that provided for within the Stage 2 concept. Residents have an expectation that facilities of sufficient quantity and quality are provided to support the range of activities and service provision accessed across the lifespan.

There is an expectation within the Dingley Village community that further to completion of the library/hall upgrade, Stage 2 works would future-proof the remainder of the Marcus Road site through provision of early years and community facilities. In the event that Stage 2 is not progressed in a timely manner there is a reputational risk to Council.

Appendices

Appendix 1 - Dingley Village Stage 2 - Concept Plan (Ref 21/139058)  

Author/s:	Juli Stickler, Senior Facilities Development and Planning Coordinator
Reviewed and Approved By:	Steve Lewis, Manager Community Buildings Mauro Bolin, General Manager Community Sustainability

9.2

DINGLEY VILLAGE COMMUNITY PRECINCT - STAGE 2: OUTCOME OF COMMUNITY CONSULTATION

1	Dingley Village Stage 2 - Concept Plan	403
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NBRSARCHITECTURE.



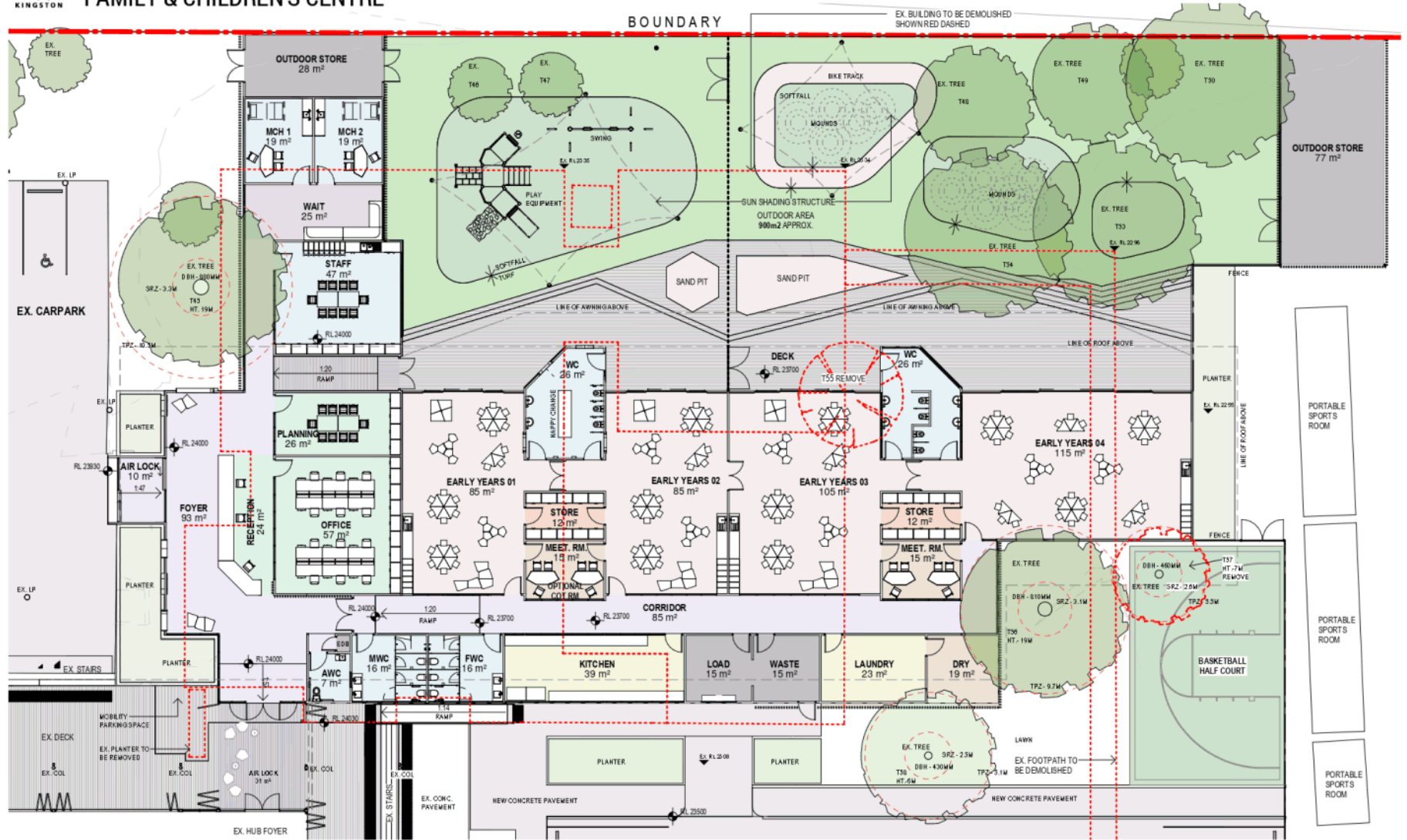
DINGLEY VILLAGE

FAMILY & CHILDREN'S CENTRE



DINGLEY VILLAGE FAMILY & CHILDREN'S CENTRE

NBRARCHITECTURE.



CONCEPT LAYOUT

EXISTING TO BE DEMOLISHED

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1.15



DINGLEY VILLAGE FAMILY & CHILDREN'S CENTRE

NBRARCHITECTURE.



CONCEPT LAYOUT - DVNC MEETING ROOMS

EXISTING TO BE DEMOLISHED

Scale 200@A3
1.16



DINGLEY VILLAGE FAMILY & CHILDREN'S CENTRE

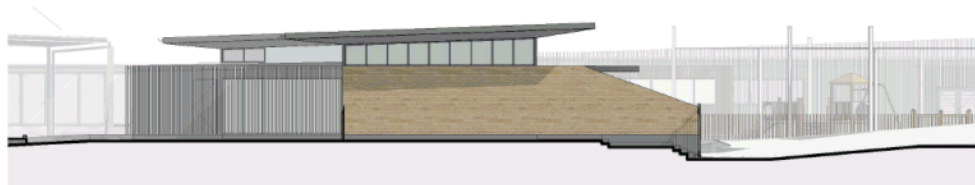
NBR^SARCHITECTURE.



1 NORTH ELEVATION
1 : 200



2 SOUTH ELEVATION
1 : 200



3 EAST ELEVATION
1 : 200



4 WEST ELEVATION
1 : 200

ELEVATIONS

1.18



DINGLEY VILLAGE FAMILY & CHILDREN'S CENTRE

NBR**S**ARCHITECTURE.



ENTRY VIEW

1.19



DINGLEY VILLAGE
FAMILY & CHILDREN'S CENTRE

NBRARCHITECTURE.



ENTRY VIEW

1.20



VIEW FROM OUTDOOR PLAY AREA

1.21



DINGLEY VILLAGE
FAMILY & CHILDREN'S CENTRE

NBRSARCHITECTURE.



VIEW FROM OUTDOOR PLAY AREA

1.22



DINGLEY VILLAGE
FAMILY & CHILDREN'S CENTRE

NBR^SARCHITECTURE.



VIEW FROM OUTDOOR PLAY AREA

1.23



REAR VIEW

26 July 2021

Agenda Item No: 9.3

RESPONSE TO COUNCIL RESOLUTION - REQUEST FOR ADDITIONAL WORKS - 7TH CHELTENHAM SCOUTS (ARGUS STREET) & 7TH CHELSEA ASPENDALE SCOUTS (BROWNS LANE)

Contact Officer: Lee Young, Maintenance Planning Officer
Juli Stickler, Senior Facilities Development and Planning Coordinator

Purpose of Report

This report responds to Council's request for information on the scale and cost of additional works requested by Scouts Victoria to redevelop facilities at 73 Argus St, Cheltenham and 1 Browns Lane, Aspendale. The report also provides an update on the Council funded \$455,332 DDA compliance work at both sites.

Disclosure of Officer / Contractor Conflict of Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

RECOMMENDATION

That Council:

1. Receive this report noting:
 - a. the estimated cost of additional works is \$221,380.
 - b. the scope of the additional works is the responsibility of Scouts Victoria under the terms of the Schedule 3 Maintenance agreement contained within the executed leases for each building.
 - c. the DDA compliance upgrades at Argus St and Browns Lane are nearing completion, at a cost of \$455,332.
2. Acknowledge:
 - a. the important community role Scouts Victoria undertakes in delivering its activities and programs; and,
 - b. the adverse impact Covid-19 has had and continues to have on the capacity to fund raise and deliver its activities and programs.
3. Commit to undertaking the additional works and that the delivery of works is progressed in two stages:
 - a. Stage 1 - comprising all listed works, with the exception of the storage shed at Argus St (\$156,380 excl GST)

- b. Stage 2 – provision of a storage shed at Argus St is to be considered within the context of whole of site development (\$65,000 excl GST)
4. Include \$265,380 inclusive of a 20% contingency of \$44,000 for latent conditions and/or minor scope modifications, in the 2021/22 mid-year budget review process to fund the additional works.

1. Executive Summary

In response to the resolution of Council from May 2021, this report provides details and estimated costs of a range of additional works requested by Scouts Victoria at both the 7th Cheltenham Scouts and Aspendale Scouts buildings that extend beyond the DDA compliance works previously approved by Council in September 2019.

The scope and estimated cost of additional works requested by Scouts Victoria Argus St, and Browns Lane, Aspendale is \$221,380. The additional works would typically be the responsibility of Scouts Victoria under the terms of the maintenance schedule contained within the executed leases for each building.

In acknowledgement of the unique financial and social hardship experienced by the Kingston community during the Covid-19 pandemic of 2020-21 and the associated loss of forecast income of Scouts Victoria, it is proposed that an exception is made to the existing maintenance agreement. This exception recommends that Council contribute financially to the range of works requested for completion across Argus Street and Brown's Lane sites.

2. Background

In September 2019 Council authorised officers to undertake a range of DDA compliance upgrades across all Scout and Guide Halls within the municipality. Project timing and funding was prioritised based on complexity of works, planning or statutory constraints and any strategic considerations.

Council has recently completed the necessary works at the 7th Cheltenham Scout Hall, Argus St, with similar works about to commence at the Aspendale Scout Hall, Browns Lane.

During the planning and delivery of DDA compliance upgrades, Scouts Victoria, on behalf of the User Groups at 7th Cheltenham and Browns Lane Scout Halls have requested that Council undertake a range of additional works at both sites that fall outside of this approved scope and which would be the responsibility of Scouts Victoria under the leases that are in place for both buildings.

This report has been prepared in response to Notice of Motion No. 8/2021, which was considered at May Ordinary Council Meeting, and requested that officers provide a summary of these requested works, together with their estimated cost and any additional budget requirements.

3. Discussion

3.1 Council Plan Alignment

Goal 1 - Our well-planned, liveable city supported by infrastructure to meet future needs
Direction 1.3 - Infrastructure and property investment for a functional city now and into the future

The works requested by Scouts Victoria at both the 7th Cheltenham Scout Hall and Aspendale Scout Hall extend beyond the scope of the DDA compliance upgrades which have been completed at both sites in accordance with Council's resolution from September 2019.

3.2 Consultation/Internal Review

Internal consultation to inform this report has been undertaken with Property Services and Environmental Health Services

Consultation has been undertaken with Scouts Victoria and local Scout Group Leaders familiar with each facility.

3.3 Operation and Strategic Issues

A summary of the following building improvement requests, cost estimates and identified constraints can be found in Table 1: Building Requests

3.3.1 Table 1: Additional building works requested by tenant

Item	Description	Request Rationale	Constraints	Cost
7th Cheltenham Scout Hall				
Renewal of existing fencing to storage compound	The fencing to the North of the Hall is beyond the current area leased by Scouts Victoria and has been constructed as a means of providing additional security to the storage sheds and rear of the hall.	Security Existing condition	Lease amendment Future site development	\$5,430
New storage shed	Two small storage sheds are currently located between the Scout Hall and Preschool, beyond the current leased area.	Service improvement	Lease amendment	\$65,000
Gates over storage loft	A storage loft above the kitchen and toilets was installed by Scout Victoria some years ago to sort and store matting and equipment. Access to this loft is via a gap in edge protection and presents a falls risk.	Safety	Funding Ongoing cost of certification	\$12,500 \$1,000 (p/a)
Electrical works for additional heater	The user group has obtained an electrical heater increased comfort in the main hall. This will require a new electrical circuit and certificate of electrical safety.	Service improvement	Electrical capacity	\$875
Electrical works in kitchen	An electrical upgrade has been requested to service increased kitchen capacity, specifically operation of a Bain Marie. Operation of a Bain Marie within this facility triggers the Hall as a Class 2 Kitchen. This will	Service improvement	Electrical capacity Kitchen registration status	\$1,900

**City of Kingston
Council Meeting**

Agenda

26 July 2021

Item	Description	Request Rationale	Constraints	Cost
	necessitate Scout Victoria obtaining relevant registration status, including operational compliance.			
Electrical works to install a projector	Installation of an existing projector to support activities.	Service improvement	Funding	\$1,500
Rectification of previous electrical works. Repair ceiling/wall linings	Following unauthorised electrical works in 2019, components of the current electrical supply were decommissioned by Community Buildings as an urgent safety measure. A request to rectify and reinstate electrical supply throughout the building has been made. To make good the area previously damaged during unauthorised works, new wall linings will need to be installed, with relevant documentation and approvals obtained.	Rectification of tenant works Safety Compliance	Funding	Electrical \$17,100 Ceiling & Wall Lining \$13,600 Consultant Fee \$10,000 Building permit Fee \$2,250
Metal cage covers for hall lighting	Lighting in the main hall was upgraded within the scope of the DDA compliance works. Additional protection to the lights is requested in the form of metal cages to protect LED fittings from wayward ball sport activities.	Safety	Funding	\$3,250
Metal cage over external bathroom window	The bathroom window frame was upgraded from timber to aluminium framed with toughened glass during the compliance upgrades. Installation of a metal cage to the exterior of the window is requested to further protect against vandalism.	Security	Funding	\$1,500
Solar panels	Installation of solar panels to offset energy consumption & (potentially) generate income	Sustainability	Funding	\$5,500
7th Cheltenham Scout Hall		TOTAL \$141,405		

Item	Description	Request Rationale	Constraints	Cost
Brown's Lane Scout Hall				
Item	Description	Trigger for Works	Constraints	Cost
Upgrade Floor	Scouts have requested an upgrade of flooring material to Tasmanian Oak. It is believed the improved flooring quality will provide for community groups & assist with income generation.	Service improvement	Funding	\$6,600
External windows	Window replacement is desired to improve water tightness and thermal insulation of the building.	Existing condition	Funding	\$19,500
Suspended ceiling	Scouts have requested a suspended ceiling in the kitchen to improve acoustic & thermal comfort of this area.	Service improvement	Funding	\$7,000
Upgrade LEDs	During DDA upgrade works, all existing florescent tubes will be replaced by new LED light fittings. Scouts have requested this replacement is extended throughout the building for improved performance & energy efficiency.	Service improvement	Funding	\$9,375
Sensory room (Window, Pin Boards)	Scouts have requested creation of a safe, calm sensory room to support participants who may experience sensory overload from the noise and excitement of group activities. A viewing window supports members to take the time out from the group without feeling isolated. Installation of a felt pinboard to convert the office into a sensory room, offering acoustic insulation & a calming distraction.	Service improvement	Funding Reduction in storage capacity/office	\$2,300 \$3,800
Bench seating	In response to raising the floor in the main hall, existing seating will be rebuilt in response to the adjusted height. Scouts have requested additional seating.	Service improvement	Funding	\$3,800

Item	Description	Request Rationale	Constraints	Cost
Notice boards	Scouts have requested new notice boards with clear Perspex covering.	Existing condition	Funding	\$2,600
New Kitchen	The Group Have requested a new Kitchen purpose built for scouting with adequate kitchen storage	Service improvement	Funding Kitchen registration status	\$25,000
<u>Brown's Lane Scout Hall</u>		<u>TOTAL \$79,975</u>		

3.3.2 Future site development

71-73 Argus Street is Council owned land currently leased to 7th Cheltenham Scouts and North Cheltenham Preschool. The existing lease to Scouts Victoria is for buildings only, with surrounding property informally used for storage and parking beyond the lease agreement.

North Cheltenham Preschool, immediately adjacent to 7th Cheltenham Scouts, is a site that has been identified for future strategic redevelopment to support increased capacity of 3-year-old sessional kindergarten placements in the Cheltenham area. With budget allocation for redevelopment of the Pre-School now confirmed and scheduled to commence within 2021/22, any works proposed by Scouts Vic at 73 Argus Street must be undertaken in a manner that will not restrict future development potential of the broader site.

Specifically, the location of any proposed storage facility in area beyond the existing Scouts Vic lease must avoid any future construction, building or parking zone. A demountable or temporary storage facility may be accepted by Scouts Vic as an alternative solution and would be best considered as a separate stage 2 once the redevelopment is progressed.

3.3.3 Repair and Maintenance Schedule

The Group 3 Maintenance Schedule that currently applies to both Argus St and Brown's Lane buildings places responsibility for ongoing property maintenance with the Tenant (Scouts Victoria). The works identified in Table 1 fall within the tenant's responsibilities under these lease terms.

4. Conclusion

4.1 Environmental Implications

Should the capacity of the kitchen at 73 Argus St to store hot food in a Bain Marie be pursued, this will impact on the registration requirements of the facility. Environmental Health have confirmed the use of a Bain-Marie would trigger the requirement to register

the kitchen as a Class 2 premises that would increase ongoing operational expenditure to maintain registration compliance of this nature.

The installation of LED lighting at Brown's Lane would contribute towards a reduction in energy consumption at this site.

4.2 Social Implications

Completion of DDA compliance upgrades will support universal access to these facilities so that a greater number of community members are able to access and engage in associated activities.

Scouts Victoria has a philosophy of supporting healthy development of young people, with the importance of diversity and inclusion noted as a core organizational value. Participants are welcomed irrespective of gender, religion, socio-economic status, physical or intellectual ability.

Access to scouting activity is offered on a low or no-fee basis, supporting the Scouts Victoria intention to engage a broad range of children and young people in meaningful activity and ongoing social connection. The importance of maintaining interpersonal connection and engagement was particularly important during the extended and repeated lockdowns of the Covid-10 pandemic. Scouts Victoria, in acknowledgement of the employment and financial insecurity prevalent throughout the community during 2020/2, further supported ongoing participation through the waiver of fees at various periods throughout the pandemic. This has resulted in a significant loss of revenue, negatively impacting on capacity to invest in facility upgrades.

4.3 Resource Implications

The requested works are estimated to cost, as follows:-

	Total Estimated Cost of Requested works
7 th Cheltenham Scouts, Argus Street	\$141,405
7 th Chelsea Aspendale Scouts, Brown's Lane	\$79,975
TOTAL	<u>\$221,380</u>

Like many other community organisations, Scouts Victoria were impacted by the Covid-19 pandemic and note a revenue loss during 2020, limiting financial capacity to fund works.

The existing maintenance and renewal budget is assigned to properties for which the lease directs asset responsibility to Council. Properties leased with a Schedule 3 Maintenance agreement fall beyond the allocated budget. Completion of works as requested would therefore require supplementary allocation of funds, subject to Council approval, as determined at the 2021/22 mid-year budget review.


4.4 Legal / Risk Implications

The requested works form Scouts Victoria fall within their responsibility under the maintenance schedules for both buildings under their current lease agreements.


There are currently approximately 35 User Groups holding a building lease with a Schedule 3 maintenance agreement. The group includes all 11 scout halls, a miscellaneous range of sport and recreation facilities.

Establishing a funding precedent in response to the requested works has the financial risk of additional maintenance requests from other Schedule 3 user groups.

Appendices

Appendix 1 - Condition report North Cheltenham Scouts (Ref 21/169959)  [Download](#)

Appendix 2 - Condition report Chelsea Aspendale Scouts (Ref 21/169757)  [Download](#)

Appendix 3 - Completed DDA compliance upgrades 73 Argus St Cheltenham Scout Hall (Ref 21/169959)  [Download](#)

Author/s: Lee Young, Maintenance Planning Officer
Juli Stickler, Senior Facilities Development and Planning Coordinator

Reviewed and Approved By: Steve Lewis, Manager Community Buildings
Mauro Bolin, General Manager Community Sustainability

9.3

RESPONSE TO COUNCIL RESOLUTION - REQUEST FOR ADDITIONAL WORKS - 7TH CHELTENHAM SCOUTS (ARGUS STREET) & 7TH CHELSEA ASPENDALE SCOUTS (BROWNS LANE)

1	Condition report North Cheltenham Scouts.....	425
2	Condition report Chelsea Aspendale Scouts.....	433
3	Completed DDA compliance upgrades 73 Argus St Cheltenham Scout Hall	437















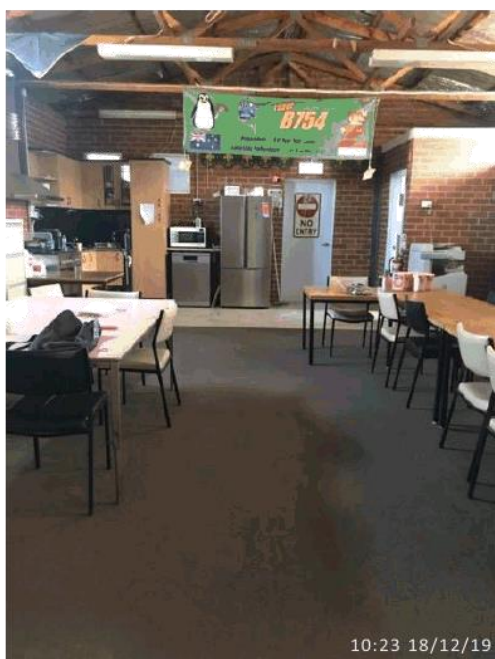


7TH CHELSEA ASPENDALE SCOUTS. BROWNS LANE ASPENDALE

Wednesday, 18 December 2019

John Kouktzelas
CommunityBuildings





Exterior The building is in good condition. No evidence of damage besides fair wear and tear. No graffiti Guttering looks in good condition. Windows look in good condition . Building is secure



Main Hall

The Hall is on fair condition. No evidence of water damage but showing considerable wear and tear. Floors tiles (vinyl) missing in various locations. Ceiling requires painting in various locations. Wall gas heaters in good condition with signs of recent maintenance. No structural damage.

Meeting Room / Kitchen

Room looks in good condition with fair wear and tear. No



signs of water damage.
Combination of carpet and ceramic tiles look in good condition and well maintained. Kitchenette and appliances in very good condition, well maintained and clean.



Rear Toilet

Toilet and wash basin area in fair condition with fair and tear. Well maintained and clean.

Storeroom 1

Small storage area with concrete floor and partially lined walls. Poor to fair condition. Club built shelving in fair condition.



Storeroom 2 Concrete floor
and partially lined wall.
Fair condition.
Club built shelving.

ESM and Access

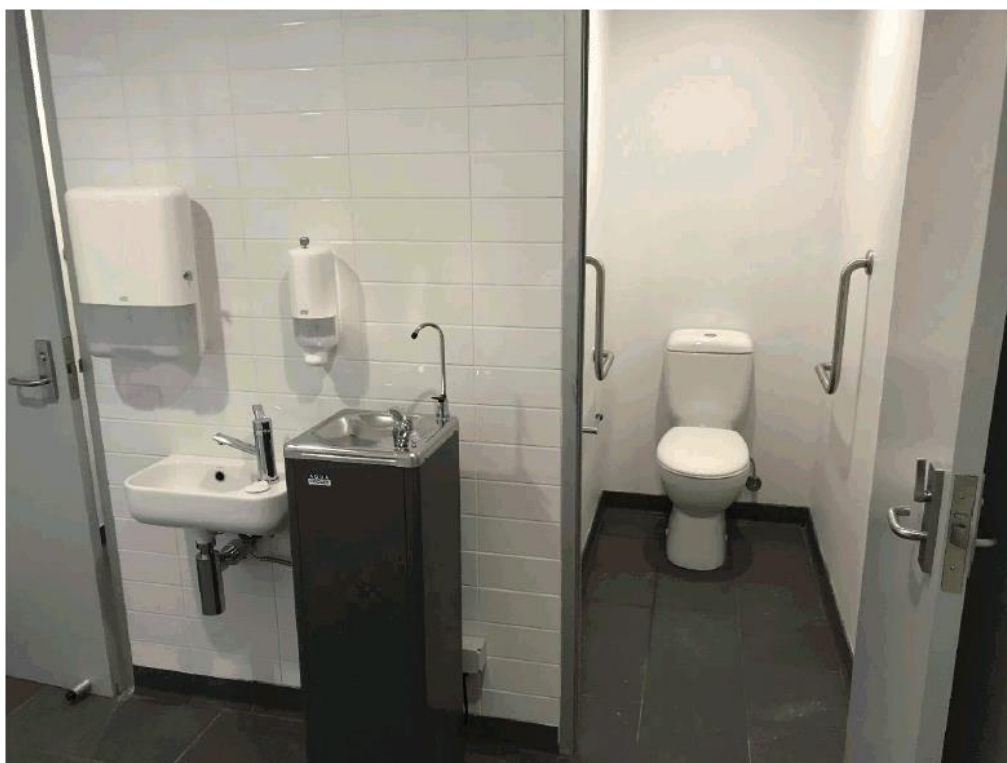
Fire extinguishers and Exit
lights maintained and fully
operational. All doors on
Kingston master system.
NOTE: no evidence of any Test
and Tag inspections on any
electrical appliances.

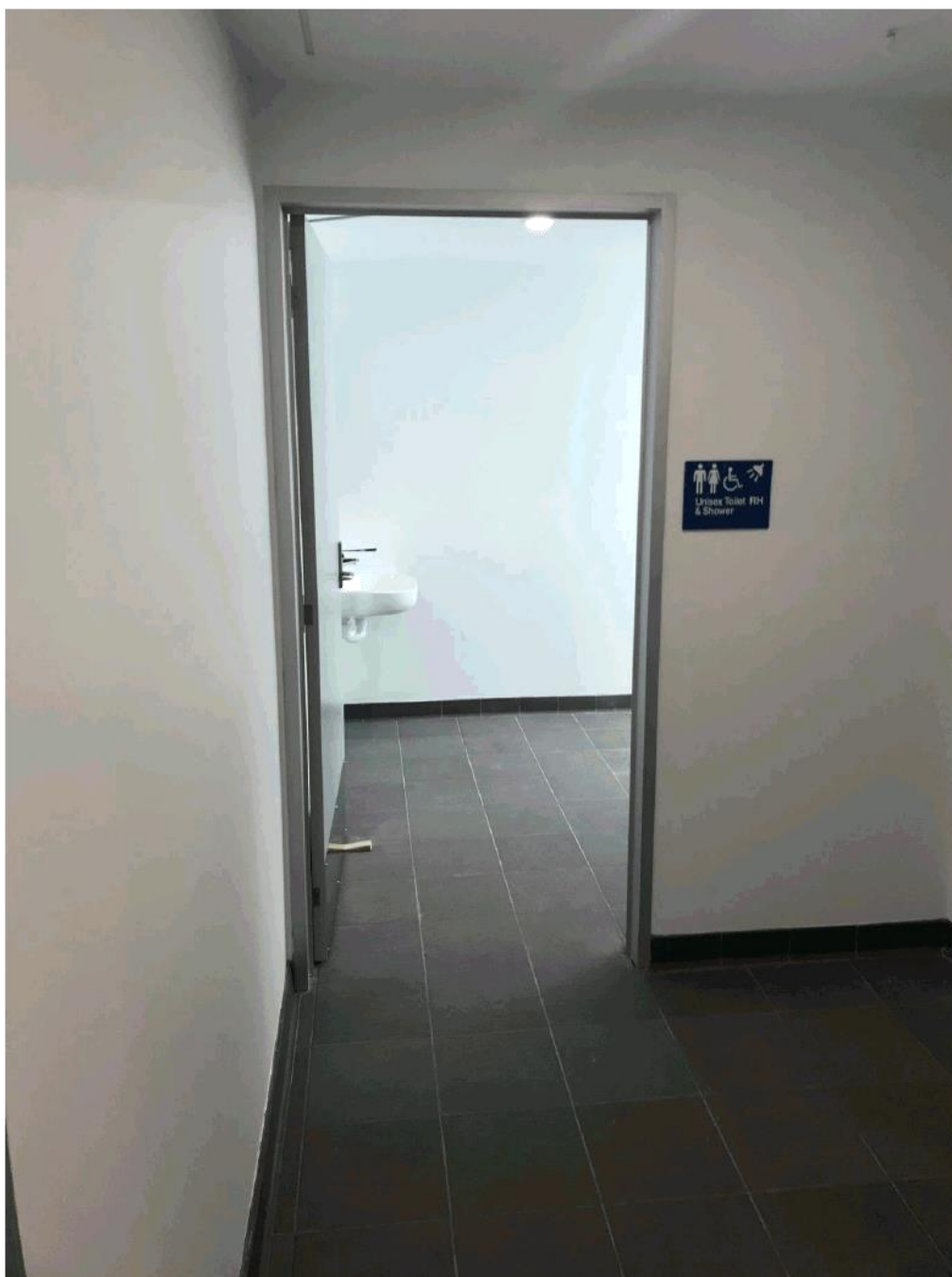


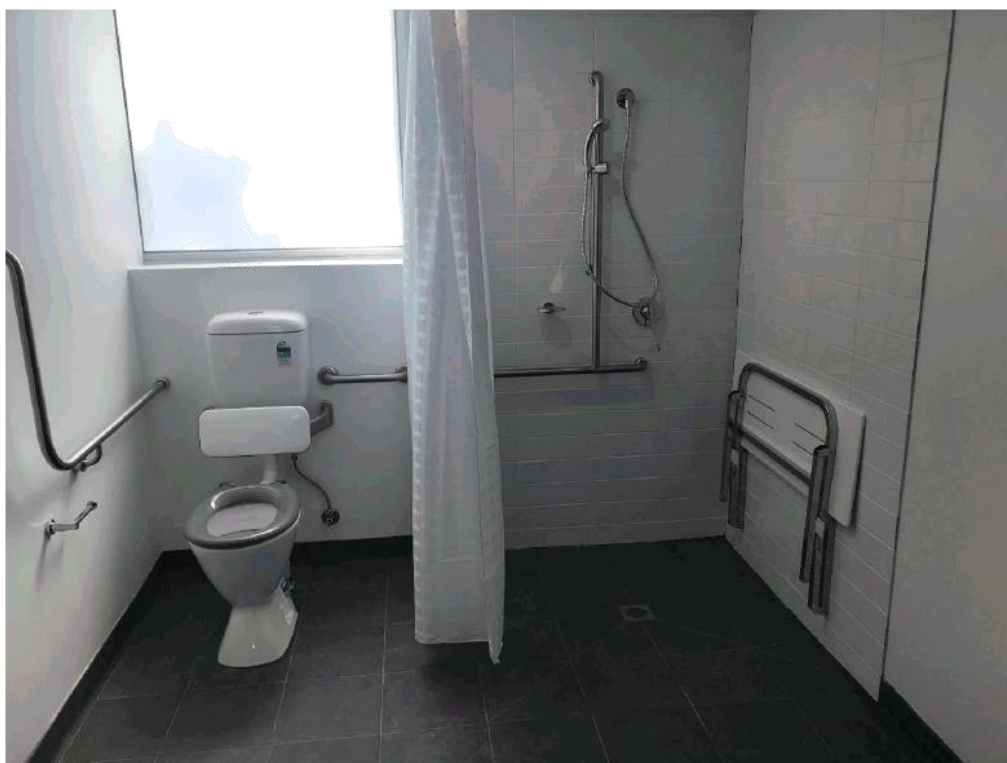
Rear Store / Lounge Area

Room is in fair to good
condition. Used primarily as
storage (at time of inspection)
Various areas of carpet and
rugs on concrete floor that are
in poor condition.

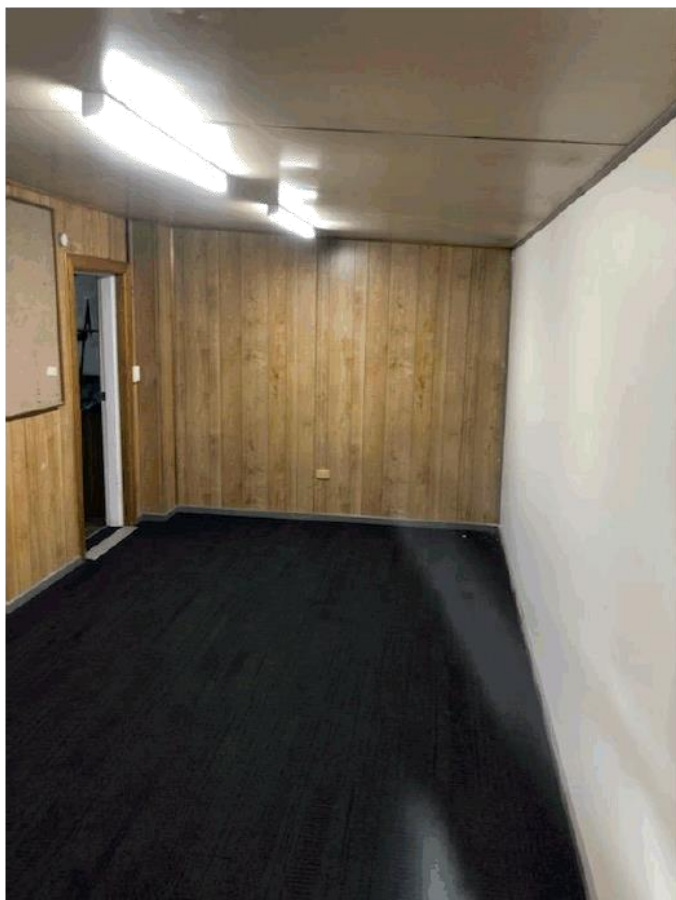
















10. City Assets and Environment Reports

26 July 2021

Agenda Item No: 10.1

RESPONSE TO COUNCIL RESOLUTION - TRAFFIC MANAGEMENT IN CHELSEA

Contact Officer: Alex Reid, Traffic and Transport Engineer

Purpose of Report

This report responds to Council's Resolution of 22 March 2021 to report on the potential development of a Local Area Traffic Management (LATM) plan for the area contained within Thames Promenade, Station Street, Glenola Road and Scotch Parade in Chelsea. This report recommends Council officers undertake a traffic study in the area following the completion of the major transport projects, which include the Level Crossing Removal Projects and other projects, in mid-2022 and that a report is presented to Council on these findings.

Disclosure of Officer / Contractor Conflict of Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council:

1. Provide approval to undertake the Chelsea Local Area Traffic Management study following completion of Level Crossing Removal Projects and other major transport projects in the area in mid-2022 and report back on the finding of these investigations; and
2. Receive a future report outlining the proposed process for developing a Local Area Traffic Management program and determining priorities.

1. Executive Summary

This report responds Council's Resolution of 22 March 2021 to report on the potential development of a Local Area Traffic Management Plan for the area contained within Thames Promenade, Station Street, Glenola Road and Scotch Parade, Chelsea. The report sets out findings on current traffic within the study area and seeks Councillor approval to undertake a traffic study following completion of level crossing removals (and other works) to identify changes in travel patterns and to determine the need for traffic measures in the area.

2. Background

At its meeting of 22 March 2021, Council resolved that:

1. *Council notes the concerns raised by residents in relation to the safety of pedestrians and the significant traffic/parking issues in the Chelsea area and requests that:*
 - a. *Officers bring back a report on the potential development of a Local Area Traffic Management Plan for the area contained within Thames Promenade, Station Street, Glenola Road and Scotch Parade Chelsea.*
2. *The report is to consider but not limited to:*

- *Costs for the development of a Local Area Traffic Management Plan and associated time frames.*
 - *Scheduled or already commenced traffic works/road works or asset works that may be outside this project area but have an impact on traffic within this area.*
 - *Short term traffic/parking measures that could be put in place in this area and the surrounding streets to mitigate the impacts of the LGRP Works, Council Drainage/Asset works as well as the impacts of the Mordialloc Freeway Works.*
 - *Medium term traffic calming measures to improve pedestrian safety; particularly around St Josephs, Chelsea Primary School and Chelsea Kinder.*
 - *Long term traffic and parking measures to improve traffic flow and pedestrian safety in this area and the surrounds (noting that this may need to be reassessed in 12 -24 months once that impact of the significant traffic changes occurring due to the above works are known i.e. Thames Prom extending over the rail and Mordialloc Freeway Works).*
 - *Any planned projects that may already be underway (whether in planning or capital works). I.e. pedestrian crossings, traffic lights etc.*
3. *That this report be received no later than the July Meeting of Council.*

In 2020, Council adopted the Kingston Integrated Transport Strategy (KITS). The KITS is a high-level umbrella document that sets the direction for the management of transport and under which additional transport strategies sit. One action set out in the KITS is to develop a program of Local Area Traffic Management (LATM) works in local streets that have been identified as traffic trouble spots. A report outlining the proposed process for developing a LATM program and determining priorities will be presented to Council in due course.

3. Discussion

3.1 Council Plan Alignment

Goal 4 - Our free-moving safe, prosperous and dynamic city
Direction 4.4 - Integrated accessible transport and free moving city

The proposed Chelsea LATM study will investigate the impacts of the removal of the level crossings and other works in (or close to) the Chelsea LATM area, and determine if traffic management measures are required in the area to help improve safety and reduce through traffic.

3.2 Consultation/Internal Review

The proposed study will be prepared in response to Council's Resolution at its meeting of 22 March 2021.

Consultation with residents in the study area about any proposed treatments will be conducted through a consultation bulletin and online survey through Your Kingston Your Say.

3.3 Operation and Strategic Issues

The full assessment of Council's Resolution, together with analysis of existing traffic data within the Chelsea LATM study area, is set out in Appendix 1. The main findings are:

3.3.1 Potential development of a Local Area Traffic Management Plan

The purpose of a Local Area Traffic Management Plan (LATM) is to create acceptable levels of speed, volume, and composition of traffic within a local area and thereby reduce road crashes and improve the general amenity of the area. This is achieved by modifying the street environment through the installation of various control devices in a traffic management scheme.

- The study area is predominately residential, with some notable other land uses such as Chelsea Recreation Reserve, St Joseph's School, Chelsea Primary School, and Chelsea Library and Municipal Offices.
- Several streets have existing traffic measures.
- Road width are generally wide, at 9m or more.
- Bus route 875 runs through the study area along the western end of Argyle Avenue.
- The default speed limit of 50km/hr applies in most roads, with some local 40km/hr speed limits around the schools.
- Vehicles are travelling at or within the default speed limits.
- Most traffic flows are within the range expected for a local street, though Argyle Avenue, Drinan Road and Fowler Street have the highest flows.
- There have been five casualty crashes in the study area in the last five years. However, there is no consistent trend to these crashes and they are distributed throughout the study area.
- Parking surveys in the study area close to Chelsea station show relatively low levels of parking.

Further traffic surveys following the completion of the level crossing removals (and other works) will help to assess the impact these changes have had on the Chelsea LATM area and determine the need for any traffic measures in the area.

3.3.2 Cost of developing the LATM study and timeframes

The LATM study is likely to cost around \$20,000 to \$30,000 and could be undertaken in 2022 following the completion of the level crossing removals in the area. The study will take approximately three to four months to complete.

3.3.3 Works scheduled or outside the area impacting traffic within the study area

- Level crossings at Chelsea Road and Argyle Avenue will be removed.
- Thames Promenade will be connected directly to Station Street and Nepean Highway with associated signal controls.
- The station will be rebuilt, and the entrance moved from Chelsea Road to Catherine Avenue.
- The associated commuter car park will be redesigned to include a bus interchange.
- Chelsea Road will become a 'T' intersection, with a pedestrian crossing on the southern side of Station Street connecting it to a new pedestrian bridge across the railway.
- A new pedestrian cycle crossing of Station Street will be provided at Catherine Avenue.
- Sections of on-street parking on the railway side of Station Street will be allocated for commuter parking as set out by Council at its meeting of 22 February 2021: Chelsea Level Crossing Removal – Commuter Parking Agreement.

- Mordialloc Freeway works include the signalisation of Thames Promenade at Wells Road, and the addition of two extra freeway on/off ramps to the Mornington Peninsula Freeway.
- Council is producing detailed designs for signalising the intersection of Thames Promenade at Scotch Parade.
- A central island pedestrian refuge crossing will be provided on Thames Promenade at the intersection of Drinan Road.
- A new zebra crossing will be installed on Scotch Parade, south of Catherine Avenue to connect into Chelsea Bicentennial Park.
- A new school crossing will be installed on Fowler Street, south of Woodbine Grove.
- A 50km/hr speed limit on Thames Promenade to be introduced shortly.
- The stormwater drainage pipe in Catherine Avenue will be lined between Drinan Road and Scotch Parade in November 2021.
- A drainage upgrade and road reconstruction is programmed for Glenola Road in 2024/25.
- Drainage improvements are planned in Bicentennial Reserve in 2023/2025 and are likely to improve capacity in Sherwood Avenue at its eastern end.
- Major drainage works are planned on Mulkarra Drive and Embankment Grove north of Thames Promenade between 2022 and 2025.

3.3.4 Short term measures to mitigate impacts of level crossing and other works

- 50km/hr speed limit on Thames Promenade to be installed shortly.
- Consultation has been undertaken about additional parking restrictions in Woodbine Grove.
- Council has worked with the Level Crossing Removal Project (LXRP) about worker parking to help minimise the impacts for residents.
- Residents have been consulted about extending 'no stopping' in the side roads off Station Street to help reduce congestion.
- Residents have been provided permits so they can park in neighbouring streets during road closures if they lose access to their properties.
- Residents have been consulted about providing residential parking areas. These areas seek to group several streets with similar restrictions into a single larger area. Such areas provide residents with opportunities to park in restricted areas wider than the streets they live in.

3.3.5 Medium term traffic measures to improve safety around schools.

Specific pedestrian safety measures around schools are developed through Safe Routes to School projects – usually outside LATMs. Council's Community Road Safety Officer and Safe Routes to School and Active Youth Project Coordinator have conducted Safe Routes to School Programs with both St Joseph's and Chelsea Primary School and have put in place road safety action plans for safety in the area. They have also conducted traffic audit for Chelsea Kinder. The programs conducted include:

- Park and stride maps.
- Road safety education with both parents and students.
- Walk to school programs.
- Placement of road safety decals on pathways surrounding the schools.
- Kiss and go parking installations.
- A risk assessment audit for paths from Chelsea Primary to St Joseph's.
- The central island pedestrian refuge crossing proposed on Thames Promenade at the intersection of Drinan Road.

- The installation of a new school crossing on Fowler Street south of Woodbine Grove.

Council officers will continue to work closely with these schools.

3.3.6 Long term traffic and parking measures to improve traffic flow and pedestrian safety

1. The long-term traffic and parking measures will be assessed and developed once the LATM study for the area is completed following the level crossing removal works.

3.3.7 Planned Projects already underway

- 50km/hr speed limit on Thames Promenade will be installed shortly.
- 50km/hr speed limit to be investigated on Station Street following level crossing removal works.
- A central island pedestrian refuge crossing Thames Promenade at the intersection of Drinan Road to be installed.
- A new zebra crossing on Scotch Parade south of Catherine Avenue to connect into Chelsea Bicentennial Park to be installed.
- A new school crossing on Fowler Street south of Woodbine Grove.
- Signalising of the intersection of Thames Promenade at Scotch Parade.

4. Conclusion

Based on the existing data and taking into consideration the impact of current and planned changes in the area, this report recommends Council officers undertake a further traffic study in the Chelsea LATM area to assess the impact current and planned changes have on the area, to determine the need for any further traffic measures. The findings will be reported to Council in the middle of 2022. The report will also set the context of the development of a program of Local Area Traffic Management (LATM) works in local streets identified as traffic trouble spots as actioned in the KITS.

4.1 Environmental Implications

There are no environmental impacts of undertaking the LATM study.

4.2 Social Implications

The LATM study will identify if further traffic management and parking changes are required to reduce traffic volumes and speeds, and to improve road safety in the area.

4.3 Resource Implications

The study will cost around \$20,000 to \$30,000 and will be funded within Council's Operating Budget.

4.4 Legal / Risk Implications

There are no legal / risks associated with the study.

Appendices

Appendix 1 - Chelsea LATM background report (Ref 21/149273)  

Author/s: Alex Reid, Traffic and Transport Engineer
Reviewed and Approved By: Charles Turner, Manager, Infrastructure
Samantha Krull, General Manager City Assets & Environment

10.1

RESPONSE TO COUNCIL RESOLUTION - TRAFFIC MANAGEMENT IN CHELSEA

1	Chelsea LATM background report	455
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Local Area Traffic Management in Chelsea

Aim of Notice of Motion

Report on the potential development of a Local Area Traffic Management Plan for the area contained within Thames Promenade, Station Street, Glenola Road and Scotch Parade Chelsea.

Objectives

- Costs for the development of a Local Area Traffic Management Plan and associated time frames.
- Scheduled or already/commenced traffic works/road works or asset works that may be outside this project area but have an impact on traffic within this area.
- Short term traffic/parking measures that could be put in place in this area and the surrounding streets to mitigate the impacts of the LXRP Works, Council Drainage/Asset works as well as the impacts of the Mordialloc Freeway Works.
- Medium term traffic calming measures to improve pedestrian safety; particularly around St Joseph's, Chelsea Primary School and Chelsea Kinder.
- Long term traffic and parking measures to improve traffic flow and pedestrian safety in this area and the surrounds (noting that this may need to be reassessed in 12 -24 months once that impact of the significant traffic changes occurring due to the above works are known i.e. Thames Prom extending over the rail and Mordialloc Freeway Works).
- Any planned projects that may already be underway (whether in planning or capital works). I.e. pedestrian crossings, traffic lights etc.

Traffic Management in Chelsea

Aim

Potential for Local Area Traffic Management Plan

The purpose of a Local Area Traffic Management Plan (LATM) is to create acceptable levels of speed, volume and composition of traffic within a local area and thereby reduce road crashes and improve the general amenity of the area. This is achieved by modifying the street environment through the installation of various control devices in a traffic management scheme.

Chelsea LATM study area is bordered by Station Street and Thames Promenade (both major Council roads) and by Scotch Parade and Glenola Road (both local roads). The streets within the study area are all local roads.

The following land uses are located within or close to the study area:

- About 1100 residential properties.
- Chelsea Recreation Reserve (with associated football, tennis and bowling clubs) and Bluecross Chelsea Manor aged care centre at Beardsworth Avenue.
- St Joseph's Catholic School and Church and Chelsea Primary School are located on Argyle Avenue. Chelsea Kindergarten is located at 36 Glenola Road.
- Chelsea library and Municipal Offices, and Longbeach Place are accessible from Chelsea Road.
- Chelsea Maternal and Child Health, Chelsea Police Station, and Longbeach RSL are within the study area near Thames Promenade and Station Street.
- Bicentennial Park is located to the east of Scotch Parade, including the playground and the Chelsea & District Netball Association
- Scope is accessed from Scotch Parade near Thames Promenade.
- Chelsea World of Learning is located in Woodbine Grove, and Kindy Patch is located on Blantyre Avenue.
- Several shops front Station Street between Chelsea Road and Catherine Avenue.
- The existing station and car park is located opposite the shops.

The following streets have existing traffic measures:

- Speed humps on Catherine Avenue between Station Street and Scotch Parade.
- Chicanes and road narrowing on Sherwood Avenue between Station Street and Fowler Street.
- Kerb outstands and a speed hump on Glenola Road outside the Kindergarten.
- Kerb outstands at the children's crossings located on Argyle Avenue outside St Joseph's School and Chelsea Primary School.
- Kerb outstands on Fowler Street at its intersection with Catherine Avenue, Sherwood Avenue, Woodbine Grove, Argyle Avenue and Glenola Road.
- Kerb outstands at the children's crossings located on Fowler Street, south of Argyle Avenue.
- A roundabout on Fowler Street at Argyle Avenue.
- Splitter islands at Woodbine Grove intersection with Fowler St and at Chelsea Road intersection with Drinan Road.
- There are also speed humps on Scotch Parade.

With the exception of the western end of Sherwood Avenue, Glenola Road and the northern end of Beardsworth Avenue most roads are reasonably wide at 9m or more.

The 875 bus route runs along Argyle Avenue between Station St and Fowler St – before turning south towards Glenola Road.

The default speed limit of 50km/hr applies on most roads with some local 40km/hr limits around St Joseph's and Chelsea Primary Schools.

Traffic Management in Chelsea

Aim

Potential for Local Area Traffic Management Plan

Previous traffic surveys within the study area show:

- 85% speeds within the study area are at or below default speed limit of 50km hour within the study area. The 85 percentile speed is the speed that 85% vehicles travel at or below. It is a measure used throughout Australia to determine if speeds warrant traffic management measures.
- Most traffic flows are within the range expected for a local street i.e. less than 2,000-3,000 a day for an access street level 2 as set out in the Kingston Planning Scheme 56.06-8.
- Drinan Road and Fowler Street have the highest flows, reflecting the use of these north-south roads by some through traffic probably wishing to avoid Station Street due to queuing at the signals at Thames Promenade.
- Argyle Avenue provides access via the level crossing to Station Street/Nepean Highway and Chelsea Shopping precinct via Maury Road.
- Chelsea Road provides access via the level crossing to Station Street/Nepean Highway.
- There have been five casualty crashes within the study area in the last five years, however there is no consistent trend to these crashes which are distributed over the study area – rather than focussed at a specific location. Many of the crashes date back to 2015/2016. Typically to receive National blackspot funding three or more casualty crashes are required at one location and follow a clear pattern.
- The crash record at the intersection of Chelsea Road/Drinan Road was investigated in 2015 and splitter island were introduced to reduce the number of crashes involving drivers on Chelsea Road failing to give-way to drivers of Drinan Road. The islands were recently reconstructed when the eastern end of road was resurfaced in 2020.
- Similar splitter islands were installed at the intersection of Woodbine Grove and Fowler St in 2016.
- Parking surveys were undertaken in streets with high parking demand around Chelsea station in 2019.
- Chelsea Road, Blantyre Avenue, and Catherine Avenue already have parking restrictions on both sides of the road at their western ends. The Parking Management Policy adopted in 2020 seeks to balance the parking needs of different users. Parking restrictions are therefore now only considered on one-side of the road where the width of the road allows parking on both sides of the road.
- The surveys showed that of the 263 spaces available for longer term parking, 167 (or 63%) have a 3 or 4 hour parking restriction, with the remaining 37% unrestricted parking.
- The parking surveys show the use of the restricted spaces of between 30 and 40% on both a weekday and Saturday. Use of the unrestricted spaces on the weekdays was between 50 and 60% and much lower on the Saturday.

Further traffic surveys following the completion of the level crossing removal works (and other works) will help to assess the impact these changes have had on the Chelsea LATM area, and determine the need for any traffic measures in the area. Surveys undertaken during the level crossing works are likely to be unrepresentative and short-term. The station will be closed in late July and the closure is expected to last 6 months.

Traffic Management in Chelsea

Objectives

Cost for the development of Local Area Traffic Management Plan and Associated Time Frames

The LATM study needed to assess the impact of the changes to the wider network around Chelsea LATM area and evaluate the need for any further traffic and parking measures in the area are likely to cost about \$20-30k and will be undertaken early in 2022. The study will include speed and flow surveys, origin and destination surveys, and parking surveys.

Scheduled or already commenced traffic works/road works or asset works that may be outside this project area but have an impact on traffic within this area.

- Level crossings at Chelsea Road and Argyle Avenue will be removed.
- Thames Promenade will be connected directly to Station Street and Nepean Highway with associated signal controls.
- The station will be rebuilt and the entrance moved from Chelsea Road to Catherine Avenue.
- The associated commuter car park will be redesigned to include a bus interchange.
- Chelsea Road will become a 'T' intersection, with a pedestrian crossing on the southern side of Station Road connecting it to a new pedestrian bridge across the railway.
- A new pedestrian cycle crossing of Station Street will be provided at Catherine Avenue.
- On-street parking on the railway side of Station Street will be largely commuter parking as set out in the Council resolution in February 2021.
- Mordialloc Freeway works include the signalisation of Thames Promenade at Wells Road, and the addition of two extra freeway on/off ramps to the Mornington Peninsula Freeway.
- Council is producing detailed designs for signalising the intersection of Thames Promenade at Scotch Parade.
- A central island pedestrian refuge crossing will be provided on Thames Promenade at the intersection of Drinan Road.
- A new zebra crossing will be installed on Scotch Parade south of Catherine Avenue to connect into Chelsea Bicentennial Park.
- A new school crossing will be installed on Fowler Street south of Woodbine Grove.
- A 50km/hr speed limit on Thames Promenade to be introduced shortly.
- The stormwater drainage pipe in Catherine Avenue will be lined between Drinan Road and Scotch Parade in November 2021.
- A drainage upgrade and road reconstruction is programmed for Glenola Road in 2024/25.
- Drainage improvements are planned in Bicentennial Reserve in 2023/2025 and are likely to improve capacity in Sherwood Avenue at its eastern end.
- Major drainage works are planned on Mulkarra Drive and Embankment Grove north of Thames Promenade between 2022 and 2025.

Short term traffic/parking measures that could be put in place in this area and the surrounding streets to mitigate the impacts of the LXP Works, Council

Drainage/Asset works as well as the impacts of the Mordialloc Freeway Works.

- 50km/hr speed limit on Thames Promenade will be installed shortly.
- Consultation has been undertaken about additional parking restrictions in Woodbine Grove.
- Council has worked with the Level Crossing Removal Project (LXP) about worker parking to help minimise the impacts for residents.
- Residents have been consulted about extending 'no stopping' restrictions in the side roads off Station Street to help reduce congestion.
- Residents have been provided permits so they can park in neighbouring streets during road closures if they lose access to their properties.
- Residents have been consulted about providing residential parking areas. These areas seek to group several streets with similar restrictions into a single larger area. Such areas provide residents with opportunities to park on restrictions in more than the streets they live in.

Traffic Management in Chelsea

Objectives

Medium term traffic calming measures to improve pedestrian safety; particularly around St Josephs, Chelsea Primary School and Chelsea Kinder.

Specific pedestrian safety measures around schools are develop through Safe Routes to School projects – usually outside LATMs. Council's Community Road Safety Officer and Safe Routes to School and Active Youth Project Coordinator have conducted Safe Routes to School Programs with both St Joseph's and Chelsea Primary School and have put in place road safety action plans for safety in the area. They have also conducted traffic audit for Chelsea Kinder. The programs include:

- Park and stride maps;
- Road safety education with both parents and students;
- Walk to school programs;
- Placement of road safety decals on pathways surrounding the schools;
- Kiss & Go parking installations;
- Risk assessment audit for paths from Chelsea Primary to St Joseph's.
- The central island pedestrian refuge crossing on Thames Promenade at the intersection of Drinan Road.
- The Installation of a new school crossing on Fowler Street south of Woodbine Grove.

Council will continue to work with these schools and have a close relationship with them.

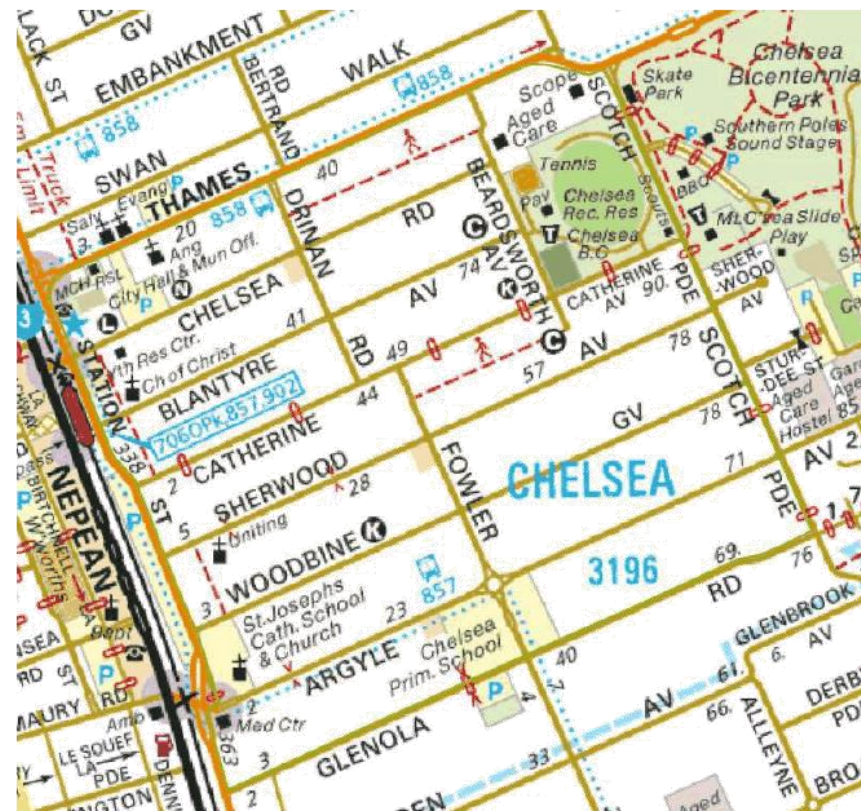
Long term traffic and parking measures to improve traffic flow and pedestrian safety in this area and the surrounds (noting that this may need to be reassessed in 12 -24 months once that impact of the significant traffic changes occurring due to the above works are known i.e. Thames Prom extending over the rail and Mordialloc Freeway Works).

The long term traffic and parking measures will be assessed and developed once the surveys for the area are undertaken following the level crossing removal works.

Any planned projects that may already be underway (whether in planning or capital works). I.e. pedestrian crossings, traffic lights etc.


- 50km/hr speed limit on Thames Promenade to be installed shortly.
- 50km/hr speed limit to be investigated on Station Street following level crossing removal works.
- A central island pedestrian refuge crossing Thames Promenade at the intersection of Drinan Road.
- A new zebra crossing on Scotch Parade south of Catherine Avenue to connect into Chelsea Bicentennial Park.
- A new school crossing on Fowler Street south of Woodbine Grove.
- Signalising of the intersection of Thames Promenade at Scotch Parade.

Chelsea LATM Study Area and location context map



Chelsea LATM

Existing vehicle surveys

 Speed and Volume
ATC – 1 week

1. Chelsea Road – No. 8
2. Chelsea Road – No.19
3. Chelsea Road – No. 68
4. Blantyre Avenue – No. 17
5. Blantyre Avenue – No. 31
6. Catherine Avenue – No. 88
7. Sherwood Avenue – No. 54
8. Sherwood Avenue – No. 70
9. Sherwood Avenue – No. 74
10. Woodbine Grove – No. 5
11. Woodbine Grove – No. 24
12. Woodbine Grove – No. 69
13. Argyle Avenue – No. 2
14. Argyle Avenue – No. 6
15. Argyle Avenue – No. 19/20
16. Argyle Avenue – No. 31
17. Argyle Avenue – No. 68
18. Drinan Road – No. 37 Chelsea Rd
19. Drinan Road – No. 17
20. Drinan Road - No. 45 Catherine Av
21. Fowler Street – No. 5
22. Fowler Street – south of Argyle Av
near school crossing



Location of Traffic Counters	Start date	2-Way	NB EB	SB WB	AM Peak 2-way	PM Peak 2-way	85%	Average Speed	% Heavy*
Chelsea Road - No. 19	23/10/2009	1,180	568	613	79	114	52	43	2.1
Chelsea Road – No. 68	14/02/2017	271	135	136	17	23	45	38	5.6
Chelsea Road – No. 19	28/04/2017	1,241	562	679	102	131	47	41	1.4
Chelsea Road – No. 8	09/01/2019	1,267	544	723	98	100	35	30	5.8
Chelsea Road – No. 8	11/02/2019	1,284	561	723	98	115	35	29	6.4
Blantyre Avenue – No. 17	11/05/2009	689	409	279	75	79	54	44	3.6
Blantyre Avenue – No. 31	15/03/2015	814	447	367	100	82	49	39	2.8
Catherine Avenue – No. 88	23/10/2018	797	363	434	57	83	34	29	3.9
Sherwood Avenue – No. 54	16/11/2015	797	326	472	53	82	53	45	2.6
Sherwood Avenue – No. 74	04/02/2021	837	325	512	76	84	43	38	2.1
Sherwood Avenue – No. 70	25/02/2021	848	324	524	72	88	51	44	2.5
Woodbine Grove – No. 24	27/03/2007	697	311	386	113	56	56	45	6.0
Woodbine Grove – No. 24	08/11/2010	675	305	370	129	85	50	41	1.4
Woodbine Grove – No. 5	18/03/2014	728	331	397	139	78	49	42	3.2
Woodbine Grove – No. 69	25/08/2016	667	249	418	72	73	51	43	1.7
Woodbine Grove – No. 5	01/08/2017	732	316	416	144	84	47	40	2.8
Woodbine Grove – No. 5	18/10/2017	658	297	361	123	65	47	39	1.8

*Heavy = Vehicles greater than 5.5m in length.

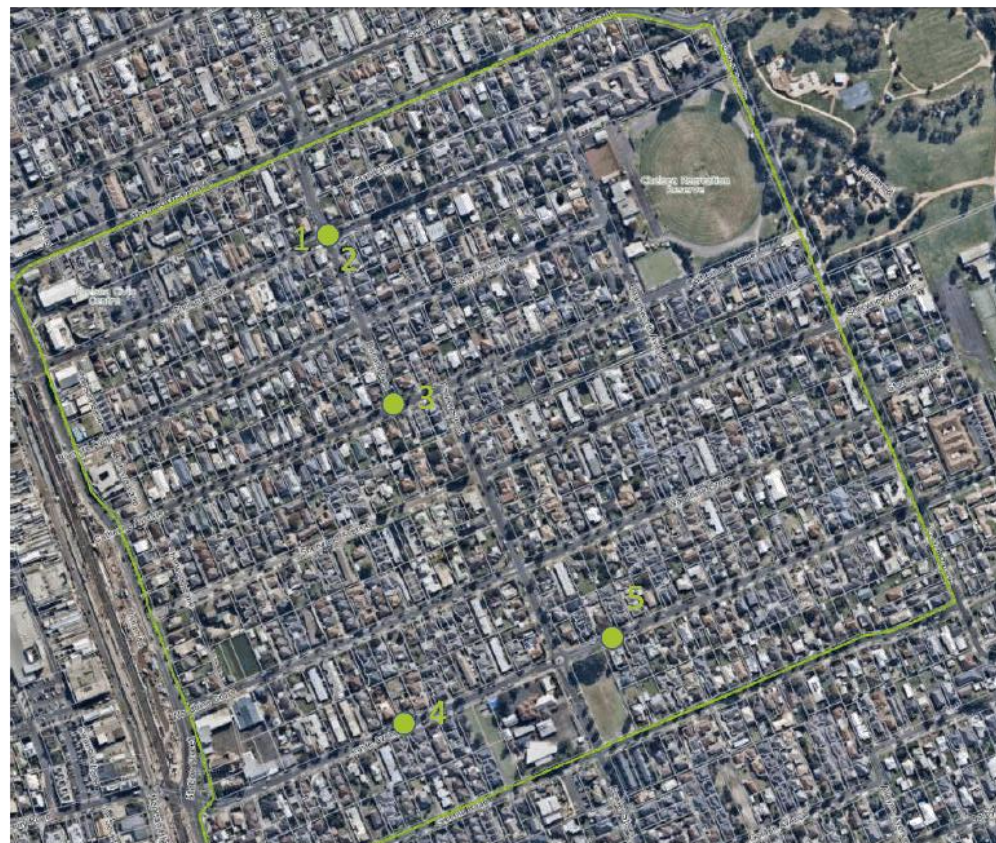
Location of Traffic Counters	Start date	2-Way	NB EB	SB WB	AM Peak 2-way	PM Peak 2-way	85%	Average Speed	% Heavy*
Argyle Avenue – No. 68	23/10/2009	1,041	470	571	78	99	57	48	3.5
Argyle Avenue – No. 19/20	08/11/2010	1,984	1,093	891	167	199	52	43	3.3
Argyle Avenue – No 19/20	18/03/2014	2,024	1,107	917	168	191	53	47	3.9
Argyle Avenue – No. 6	18/10/2017	2,121	1,162	959	168	200	49	42	3.7
Argyle Avenue – No 31	18/10/2017	2,190	1,194	996	197	197	44	38	3.3
Argyle Avenue – No. 2	09/01/2019	2,164	1,173	991	144	184	43	38	3.2
Argyle Avenue – No. 2	11/02/2019	2,398	1,297	1,101	194	220	43	37	3.1
Drinan Road – No. 17	12/10/2010	2,254	1,237	1,017	229	217	51	43	2.0
Drinan Rd – No. 37 Chelsea Rd	12/10/2010	2,643	1,349	1,249	256	243	49	40	2.2
Drinan Rd – No. 37 Chelsea Rd	10/02/2014	1,951	1,126	825	212	188	43	37	2.9
Drinan Road – No. 17	14/12/2016	2,409	1,418	991	171	217	50	43	1.4
Drinan Rd – No. 45 Catherine Av	08/05/2018	2,232	1,332	900	236	213	43	38	2.8
Drinan Road – No. 17	03/12/2020	2,506	1,500	1,006	254	241	47	42	5.0
Fowler St – south of Argyle Av	08/11/2012	3,498	1,744	1,754	278	346	38	34	2.0
Fowler St – South of Argyle Av	25/08/2016	3,585	1,793	1,792	282	375	47	41	4.3
Fowler Street – No. 5	28/05/2019	2,949	1,715	1,234	327	299	52	46	1.9

*Heavy = Vehicles greater than 5.5m in length.

Chelsea LATM

Five crashes in study area in last the 5 years

No	Type	Road user	Severity	Date
1	110 – Cross Traffic intersections only	Station wagon and van	Serious (child passenger)	08/02/2019
2	110 – Cross Traffic intersections only	Station wagon and car	Other (adult)	23/06/2016
3	100 – Pedestrian nearside. Pedestrian hit by vehicle from the right	Station wagon and pedestrian	Serious (adult pedestrian at night)	29/08/2016
4	152 – pulling out - overtaking	Motor-cycle and car	Other (adult)	19/11/2016
5	102 – Far side. Pedestrian hit by vehicle from the left	Car and pedestrian	Serious (child pedestrian)	12/10/2015



Parking Surveys – streets surveyed in 2019

No	Street	Restriction*
1	Chelsea Road	North side - 4P 8am to 5pm Mon-Fri South side - 4P 8am to 5pm Mon-Fri
2	Blantyre Av	North side - 3 or 4P mostly 8am to 5pm Mon-Fri South side - 3 or 4P mostly 8am to 5pm Mon-Fri
3	Catherine Av	North side - 4P 8am to 5pm Mon-Fri South side – Station St end - 4P 8am to 5pm Mon-Fri South side – Drinan Rd end - unrestricted
4	Sherwood Av	North side – Station St end - 4P 8am to 5pm Mon-Fri North side – Fowler St end – unrestricted South side - unrestricted
5	Woodbine Gr	Unrestricted outside flag times
6	Drinan Road	West side – unrestricted East side - 4P 8am to 5pm Mon-Fri

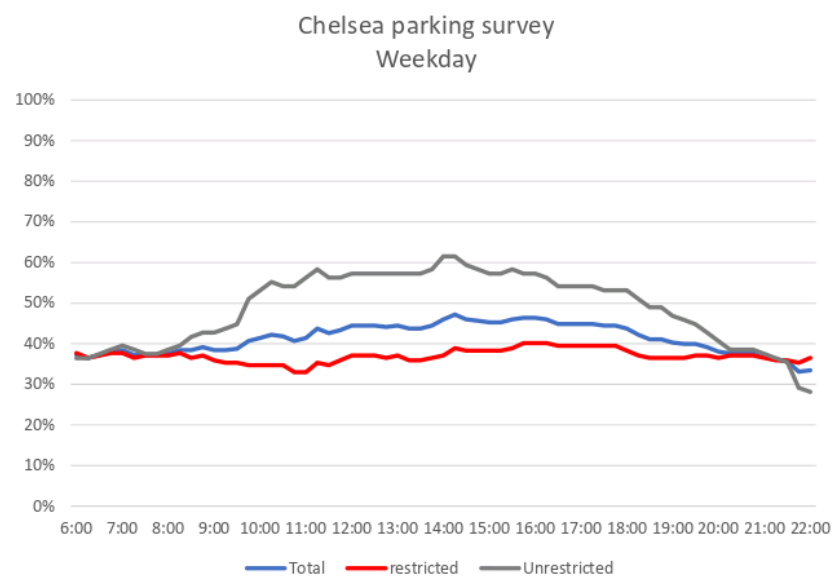
Note – Includes 3 or 4 hour parking and unrestricted spaces throughout most of the day. Excludes small number with short term parking, disabled parking spaces, and loading zones etc.

Hockey sticks provided in – Blantyre Ave, Catherine Avenue, Woodbine Grove.



— Restriction
— Unrestricted

Survey results from February 2019

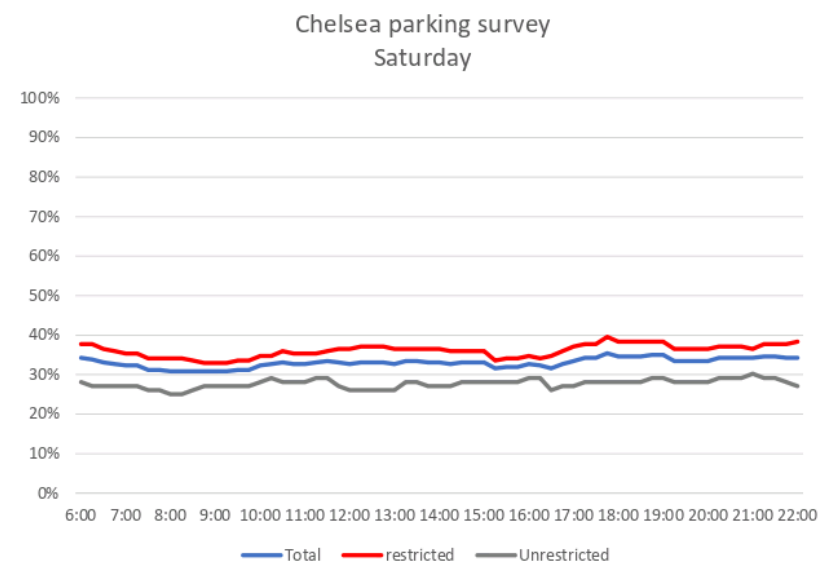


Note – Includes 3 or 4 hour parking and unrestricted spaces throughout most of the day. Excludes small number with short term parking, disabled parking spaces, and loading zones.

Total spaces surveyed = 263

Restricted parking spaces = 167 (63%)

Unrestricted parking spaces = 96 (37%).



Streets with traffic calming measures

No	Street	Measure	Location
1	Catherine Avenue	Speed humps	Station St to Scotch Parade
2	Sherwood Avenue	Chicanes, narrowing, and outstands.	Station St to Fowler St
3	Glenola Road	Narrowing and speed hump	Outside Kindergarten
4	Fowler Street	Roundabout	Argyle Av
5	Argyle Avenue	Kerb outstands	Children's crossings between Station St and Fowler St.
6	Woodbine Grove	Splitter islands	Fowler St
7	Chelsea Road	Splitter islands	Drinan Rd
8	Fowler Road	Kerb outstands	At intersections and children's crossing south of Argyle Avenue



Speed Limits within Study Area

- 40km/hr speed limit
- Default 50km/hr speed limits



Road Widths

No	Street	Location	Width
1	Chelsea Rd o/s 17	Station St to Drinan Rd	9m
2	Chelsea Rd o/s 64	Drinan Rd to Beardsworth Av	9m
3	Blantyre Av o/s 17	Station St to Drinan Rd	9m
4	Blantyre Av o/s 53	Drinan Rd to Beardsworth Av	9m
5	Catherine Av o/s 23	Station St to Drinan Rd	9m
6	Catherine Av o/s 57	Drinan Rd to Beardsworth Av	9m
7	Catherine Av o/s 80	Beardsworth Av to Scotch Pd	9m
8	Sherwood Av o/s 17	Station St to Fowler St	7.2m
9	Sherwood Av o/s 55	Fowler St to Scotch Pd	8.8
10	Woodbine Gr o/s 18	Station St to Fowler St	9m
11	Woodbine Gr o/s 57	Fowler St to Scotch Pd	9m
12	Argyle Av o/s 15	Station St to Fowler St	9m
13	Argyle Av o/s 59	Fowler St to Scotch Pd	9m
14	Glenola Rd o/s 17	Station St to Fowler St	7m
15	Glenola Rd o/s 71	Fowler St to Scotch Pd	7m
16	Drinan Rd o/s 37 Chelsea Rd	Thames Pd to Chelsea Rd	9.2m
17	Drinan Rd o/s 17	Chelsea Rd to Blantyre Av	9.2m
18	Drinan Rd o/s 25	Blantyre Av to Catherine Av	9m
19	Fowler St o/s 35	Catherine Av to Sherwood Av	12.2m
20	Fowler St o/s 5a	Sherwood Av to Woodbine Gr	12.4
21	Fowler St o/s 38	Woodbine Gr to Argyle Av	12.4
22	Fowler St o/s school	Argyle Av to Glenola Rd	12.8
23	Beardsworth Av o/s 5	Thames Pd to Chelsea Rd	7.1
24	Beardsworth Av o/s 8a	Chelsea Rd to Blantyre Av	9m
25	Beardsworth Av o/s	Blantyre Av to Catherine Av	10.1m

26 July 2021

Agenda Item No: 10.2

AUSTRALASIAN GOLF CLUB - PARTNERSHIP GRANT FUNDING AGREEMENT

Contact Officer: James Prideaux, Operations Coordinator

Purpose of Report

To seek Council endorsement to renew the partnership grant agreement with the Australasian Golf Club Incorporated for the continued maintenance and management of the Edithvale Public Golf Course.

Disclosure of Officer / Contractor Conflict of Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council:

1. Endorse the renewal of the partnership grant funding agreement with the Australasian Golf Club Incorporated for its continued maintenance and management of the Edithvale Public Golf Course for a further 4 years, ending in 2025 in line with the expiry of the lease agreement with Melbourne Water;
2. Pay the Australasian Golf Club Incorporated \$125,000 per annum increasing by CPI each year for the life of the agreement; and
3. Authorise the General Manager City Assets and Environment to prepare and execute the funding agreement with the Australasian Golf Club Incorporated.

1. Executive Summary

Council endorsement is sought to renew the partnership funding grant agreement and continue to financially support the Australasian Golf Club Incorporated (Australasian Golf Club) to maintain and manage the Edithvale Public Golf Course via an annual grant payment of \$125,000 (to be increased by CPI annually) for a four-year period until 2025. The current funding agreement expired in June 2021.

This four-year funding agreement enables Council to monitor and review the Australasian Golf Club's performance.

Under the agreement, the Australasian Golf Club is to provide access to the public golf course for the community, both for the general public and club members. The funds are used for the upkeep, maintenance and operating costs to maintain the course. The club has been working to increase membership numbers, including female participation and a focus on being fully inclusive.

The Australasian Golf Club is a not-for-profit club that has managed and operated the Edithvale Golf Course for almost 30 years. The club operates under a committee of volunteers and provides valuable public golf services to the community. The club also facilitates social golf groups including Kolanga Ladies Social Golf Club, Saturday Morning Old Golfers, and The Old Boys Social Golf Club.

The new funding agreement will align with the existing leases, including the Head Lease with Melbourne Water and the sub-lease with Council to operate the course. All leases and the funding agreement will expire in 2025.

Council officers will continue to work with the club to review the viability of renewal and repairs of current course infrastructure, including the Golf Course Equipment and Maintenance Shed.

2. Background

The Edithvale Public Golf Course is located on land which adjoins the Edithvale Wetlands and is largely located on land owned by Melbourne Water and leased to Council for the purposes of operating a nine-hole golf course.



- *Blue shaded area – Council owned land*
- *Red shaded area – Melbourne Water Land leased to Council via Head Lease*

For most of the last 30 years the Australasian Golf Club has sub-leased the land from Council and maintained it as a golf course for the benefit of its members and the public. The leased land from Melbourne Water is zoned as a Special Use Zone (SUZ), with Land Subject to Inundation Overlay (LSIO).

Edithvale Public Golf Course is currently Council's only owned public golf course and is of particular value to those members of the community who may not have the financial means to access private courses across Kingston. The club throughout the agreement has worked on increasing golf participation through the promotion of public come and try days, working with Golf Victoria, Golf Australia and conducting All-Abilities golf programs. The club reports that of the approximately 16,500 rounds that were played last year (even with COVID), the majority of these were by Kingston residents.

The club also runs coaching and programs for both children and adults. These are run in conjunction with a PGA Coach and Golf Victoria and include school aged children, children with disabilities, as well as the MYGOLF program for 5-12-year old children.

The club conducts an All-Abilities Gala Day, with Golf Australia, that bring approximately 200 children from a range of schools to participate. The event in April of this year was well received and a great event for all involved.

The green fees for the course have only increased marginally since the original agreement in 2018 and are currently:

- Weekends: Adult \$21, Concession \$19 and Juniors \$10; and
- Midweek: Adult \$19, Concession \$17 and Juniors \$7.50.

Council resolved in March 2012 to provide the club with an annual cash payment of \$70,000 rising to \$100,000 in future years for the management and maintenance of the course. The annual payment and conditions were further resolved at the 26 March 2018 Council Meeting to continue the partnership funding grant as stated below -

1. *Endorse a new sub-lease agreement to be offered to Australasian Golf Club Inc. for its continued occupancy of the Edithvale Public Golf Course, including the following terms:*
 - *Rent: \$1pa (on demand); and*
 - *Term: 7 years 6 months (due to expire in December 2025 at same time as Council's Head Lease with Melbourne Water).*
2. *Endorse partnership grant funding of \$120,000 per annum increasing by CPI each year to the Australasian Golf Club Inc. for its continued maintenance and management of the Edithvale Public Golf Course;*
3. *Authorise the General Manager, City Assets and Environment to prepare and execute a service and/or funding agreement with the Australasian Golf Club Inc;*
4. *Refer funding of the partnership grant to the Australasian Golf Club Inc. to the preparation of Council's 2018/19 budget process; and*
5. *Prepare an asset management plan and a compliance risk assessment for the Edithvale Public Golf Course.*

The subsidy payments provided by Council have been used by the club to support ongoing expenses relating to the direct management and maintenance of the golf course (including salaries, consumables and equipment). The current financial arrangements between Council and the Australasian Golf Club expired in June 2021. (Appendix 1) During the length of the current agreement the club has met all of their scheduled requirements and shown their ability to manage the finances and operate the golf course appropriately.

The funding agreement will continue to include service objectives within the partnership to monitor the Australasian Golf Club's progress and performance, including:

- Number of Rounds (type, age, gender)
- Continued involvement in participation programs (e.g. Golf Victoria programs) and
- Staff and/or volunteer development/resource plan.

Council officers have worked with the Australasian Golf Club on developing and working through the management of assets and meeting compliance with the running of the course. Council has conducted risk assessments to ensure appropriate actions can be put in place to ensure safe and appropriate operations of the golf facility.

Council has committed in the 2021/22 financial year to investigating and working through the viability of renewal and repairs of current maintenance and facility infrastructure, including the Equipment and Maintenance shed onsite at the golf course.

Council's Golf Course Policy created in 2015, affirms that Council seeks its existing golf clubs to remain economically viable and notes the considerable community amenity, recreational opportunities and landscape values that golf courses provide.

In December 2015 Council signed a Head Lease agreement with Melbourne Water for a 10-year lease term of the land which the golf course is located on. This was negotiated as part of the drainage project completed onsite and included land purchase for a pumping station. The Head Lease agreement with Melbourne Water expires in December 2025.

The golf course is on the Melbourne Water land, which is zoned as a Special Use Zone (SUZ), with Land Subject to Inundation Overlay (LSIO) and Environmental Significance Overlay – Schedule 1 (ESO1). The land is an important part of the Melbourne Water flood mitigation process and as a golf course provides a valued use of the space to the community.

Aligning the funding agreement with the lease for the course, and the Melbourne Water Head Lease (which will expire at the end of 2025) will enable Council to assess and investigate the best options for the future use of the land.

The Golf Club currently shares the pavilion facility onsite at the course with the Keysborough Angling Club, which was relocated from Patterson Lakes in 2012, and this arrangement will continue.

3. Discussion

3.1 Council Plan Alignment

Goal 3 - Our connected, inclusive, healthy and learning community
Direction 3.4 - Promote an active, healthy and involved community life

Council's Sport and Recreation Strategy is supportive of retaining affordable public access golf courses and recommends continuing to assess the Golf Club's performance and sustainability with its management and maintenance.

3.2 Consultation/Internal Review

Council officers meet on a regular basis with executive members of the Australasian Golf Club to review the ongoing performance and operations of the golf club and course.

3.3 Operation and Strategic Issues

3.3.1 Alignment of Leasing arrangements

- The Melbourne Water Head Lease for the course expires in December 2025
- The sub-lease with Council for the land leased as part of the Head Lease with Melbourne Water and the Council owned land expires in December 2025
- Current funding agreement for the maintenance and management of the golf course expired on 30 June 2021

3.3.2 Partnership Funding Agreement Grant

It is proposed to extend the financial subsidy that Council provides the Golf Club for an additional four years for the ongoing maintenance and management of the course. Without the funding agreement and assistance from Council, the club will not be able to continue to operate and manage the course. The subsidy will be formalised via a partnership grant arrangement, similar to the previous executed agreement with the club.

The total amount payable over the life of the four-year Partnership Funding Agreement would be \$500,000 plus CPI. Any further grant payments would be subject to future consideration by Council.

Funding of \$125,000 has been included in the draft operating budget for the 2021/2022 financial year. Funding for future years will be included in the long-term financial plan.

Within the renewed partnership grant funding agreement between Council and the Golf Club, it is recommended to continue to include service objectives and indicators to monitor the Golf Club's performance. These include:

- Number of Rounds (type, age, gender);
- Continued involvement in participation programs (eg Golf Victoria); and
- Staff and/or volunteer development/resource plan.

Council officers will continue to work with the Golf Club, peak golf agencies i.e. Golf Victoria and other like golf clubs to identify opportunities to share resources and knowledge.

3.4 Options

3.4.1 Option 1 – Officer Recommendation

Council endorses the renewal of the partnership grant funding agreement with the Australasian Golf Club for its continued maintenance and management of the Edithvale Public Golf Course for a further 4 years, at a cost of \$125,000 per annum (plus CPI) ending in 2025 in line with the expiry of the lease agreement with Melbourne Water.

4. Conclusion

4.1 Environmental Implications

The Australasian Golf Club seeks to ensure that it operates in a manner to minimise its impact on the environment.

4.2 Social Implications

With eight private golf courses located in Kingston and two public nine-hole golf courses, comprising Edithvale Public Golf Course (Council leased) and Spring Park Public Golf Course (Parks Victoria), Kingston residents enjoy a variety of golfing experiences. Furthermore, the courses provide considerable landscape value and environmental benefits.

Council's adopted Golf Course Policy (2015) acknowledges the recreation opportunities, landscape value and environmental benefits that golf courses provide. The Policy is to ensure, where clubs are genuinely unable to be economically viable and should the land owner wish to cease golf operations on the site, that the land is used for public or private open space purposes that allow that land to retain its green and open vistas.

4.3 Resource Implications

The funding amount for 21/22 financial year has been allocated in the draft budget. If the new funding agreement is approved further annual allocations will be secured in future operating budgets.

4.4 Legal / Risk Implications

Through the sub-lease, risks associated with the management and maintenance of the Course are the responsibility of the Golf Club. Officers will continue to provide the Golf Club with support to help mitigate risks with its operation.

Appendices

Appendix 1 - Australasian Golf Club - Signed Partnership Grant Funding Agreement
2020-2021 (Ref 20/187762)  [Download](#)

Author/s:	James Prideaux, Operations Coordinator
Reviewed and Approved By:	Bridget Draper, Acting General Manager City Assets and Environment
	Samantha Krull, General Manager City Assets & Environment

10.2

AUSTRALASIAN GOLF CLUB - PARTNERSHIP GRANT FUNDING AGREEMENT

1	Australasian Golf Club - Signed Partnership Grant Funding Agreement 2020-2021	479
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PARTNERSHIP GRANTS FUNDING AGREEMENT 2020-2021 Australasian Golf Club Inc

Council is committed to supporting local sporting organisations whose activities, programs and educational opportunities reflect Council's vision for *"a diverse, dynamic community where we all share a sustainable, safe, attractive environment and a thriving economy."* (Road Map Council Plan 2017-2021)

This Partnership Grant Funding Agreement between **Australasian Golf Club Inc** and the **City of Kingston** demonstrates this commitment by clearly outlining roles, responsibilities and conditions to be met by both parties. The agreement aims to improve collaboration, communication and accountability in order to increase resident participation, improve health & wellbeing and maximise community use of Council's assets and facilities.

This partnership grant funding agreement is separate any occupancy agreement for the course and/or clubhouse. It is both parties intention to agree on terms of a new Sub Lease within the short term in line with the Council resolution (Appendix A).

Council has endorsed to extend the financial subsidy it provides the Golf Club up until June 2021 for the ongoing maintenance and management of the Course.

Further grant payments would be subject to future consideration by Council, which is to occur in the first half of 2021.

This agreement is underpinned by Kingston City Council's Sport and Recreation Framework, incorporating key principles to inform future planning, design and management of sport and recreation facilities. These include:

- Increased participation to improve resident's health and wellbeing.
- Accessible and diverse range of opportunities for all ages, genders, abilities and cultural backgrounds.
- Activities which encourage collaborative partnerships with the community, government, peak sporting organisations and the private sector.
- The facility will allow multiuse and shared use, and financial viability and cost effectiveness will be considered in the planning, development and management.

Part A - Roles and Responsibilities

Council will facilitate or provide:

1. Financial assistance through a Partnership Grant as indicated in the deliverables and payments schedule (attachment A), conditional upon reporting requirements and Council sub-lease conditions being met;
2. A minimum of two annual update and review meetings with the executive committee of your club, which may also include other stakeholders, Golf Victoria or Council representatives;
3. Marketing and promotional support through the My Community Life website, City of Kingston website, appropriate Council networks and facilities, at Council festival and events where appropriate.
4. Partnership opportunities for delivery of Council programs and initiatives if appropriate;
5. Liaison with other Council Departments when required or requested;

Australasian Golf Club Inc Board/Committee of Management will:

1. Provide information as required in the deliverables and payments table (attachment A);
2. Adhere to requirements as outlined in the terms and conditions;
3. Continue to provide the following golf related services at the Edithvale Public Golf Course:
 - a. Coordinate bookings, tee times, competitions and golf programs including the collection and retention of all green fees;
 - b. Manage and facilitate on site golf related retail activities such as equipment hire, buggy hire, lessons.
 - c. Provision of all golf course maintenance services in accordance with agreed service standards and specifications.
4. Adhere to and enforce the State Governments Fair Play Code.
<https://sport.vic.gov.au/publications-and-resources/community-sport-resources/fair-play-code>
5. Adhere to the Sports Governance Principles as outlined by Sport Aus.
https://www.sportaus.gov.au/governance/sports_governance_principles#principle_1_board_composition_roles_and_powers
6. Ensure programs and activities are uploaded to the **My Community Life** website and that this information is kept up-to-date;
7. Continue to make the course available to the public for casual green fee players.
8. Seek Council consent for any substantial increase in public green fees above 15%.
9. Maintain membership with Golf Australia
10. Seek to achieve the following KPI's and report quarterly on these items:
 - a) Develop a 5-year strategic plan
 - b) Increase club membership numbers by 5% annually
 - c) Increase junior participation numbers by 5% annually
 - d) Engage in Golf Australia's Vision 2025 Initiatives
 - e) Engage in the Even Par Gender Equality Club Support program
 - f) Actively seek to engage female members and participation
 - g) Facilitate and actively promote a minimum of one community day annually
 - h) Record all membership data and provide updates on membership numbers

Part B - Details

Council: City of Kingston
Active Kingston Manager
PO Box 1000
Mentone VIC 3194
sport.recreation@kingston.vic.gov.au
(03) 9581 4608 or 1300 653 356

Recipient: Australasian Golf Club Inc

Activity Name: Continued maintenance and management of the Edithvale Public Golf Course.

This funding agreement (**this Agreement**) is a legally binding contract between the Recipient and the Council.

By signing and returning this Agreement to the Council, you will accept the offer of funding in this Agreement and agree to the terms and conditions set out within.

This Agreement will commence from the date it is signed and will end once you have completed the Activity and all other Deliverables/Milestones specified in this Agreement to the reasonable satisfaction of the Council.

In this Agreement:

- > Parts A, B, C and D and any attachments form the Agreement between you and the Council, and constitute the entire agreement between the parties and supersede prior representations, contracts, statements and understandings in relation to the subject matter.
- > **We, Us and Our** means the Council specified in the Details and includes Our officers, delegates, employees, other contractors, agents and successors.
- > **You and Your** or the **Organisation** means the **Recipient** specified in the Details, and includes Your officers, employees, agents, volunteers, subcontractors and successors.
- > **Activity** means any tasks, services, project or other purposes for which the Funding is provided as described in the Details and clause 3 of Part A.
- > **Funding** means money the Council provided to the Recipient under this Agreement.
- > **Business Day** means a day other than a Saturday, Sunday or public holiday appointed under the *Public Holidays Act 1993 (Vic)*.

Part C - Terms and Conditions

1. This Agreement is valid from date of signing until end June 2021.

Funding will increase by CPI and will be provided to the organisation subject to Council approval and upon terms and conditions of agreement being met.

2. This Funding is for the provision of:

Continued low cost golfing opportunities for the Kingston Community to increase resident participation, improve health & wellbeing and maximise community use of Council's assets and facilities.

3. Adhere to all relevant State and Federal Government legislation including Equal Opportunity, Anti-Discrimination etc.

4. Funding will be provided to the organisation upon receipt of both the signed funding agreement and an organisational tax invoice for the amount agreed upon.

- 5. To meet your reporting requirements you agree to perform each and every Deliverable/Milestone contained in the Activity Deliverables and Payments Table (Attachment A) by the Due Date set out in that table and to Council satisfaction.**
- 6. You must:**
- Keep accurate records, including all receipts and tax invoices, in relation to the Activity and for everything You purchase with the Funding in accordance with the requirements set out in part B, if any; and
 - Provide access to, and copies of, the records at any time to Us or a third party authorised by Us.
- 7. You must:**
- Use the Funding only for the Activity in accordance with this Agreement or as otherwise agreed in writing by Us;
 - Comply with all applicable laws and departmental policies in connection with the Funding, the Activity or this Agreement; and
 - Follow Our reasonable directions in connection with the Funding, the Activity or this Agreement.
- 8. You must let us know in writing within 5 Business Days from when You become aware if:**
- You no longer meet the eligibility requirements for the Funding;
 - There is an actual or perceived conflict of interest that may impact on Your ability to deliver the Activity;
 - You will not complete the Activity; or
 - You will not spend the total amount of the Funding.
 - You wish to seek a variation to the expenditure/funding allocation.
- 9. You need Our written consent to:**
- Use any of the Funding for anything other than the Activity or in any way that is not in accordance with this Agreement;
 - Change the Deliverables/Milestones, Start Date or End Date of the Activity; or
 - Change the reporting requirements, if there are any.
- 10. You agree to repay all or part of the Funding, in accordance with any written request from Us to do so, if:**
- You do not use the Funding in accordance with this Agreement.
- 11. You will acknowledge any Funding support provided by the City of Kingston:**
- In Your Annual Financial Statement and Report; and
 - In publicity for or media coverage of any activity funded by this grant.
 - Use the approved "Proudly Supported by Kingston Council" logo.
Guidelines are attached and electronic version available from Community Grants & Networks Officer.
- 12. You must:**
If applicable, adhere to terms and conditions as stated in the lease agreement provided by Property Services Department, including the annual provision of information regarding occupancy.
- 13. Outstanding debts to Council**
Funding will not be released if there are any outstanding debts owed to Council.

Part D Execution**SIGNED** for and on behalf of **Australasian Golf Club INC**

Complete this section including your name and position details:

Name and position of authorised representative of your **BOARD/COMMITTEE**:Full Name: ARTHUR DUBERYPosition: HON. TREASURERMailing Address: 40 P.O. Box 155 CHELSEA VIC 3196Phone number: 0410 601 356Email: TREASURER@AUSTRALASIANGC.ORG.AU (lower case)Sign here:  Date: 31/7/20

Signed in the presence of:

Full Name: ROLAND LINDSEYPosition: SECRETARYPhone number: 0418 566 055Email: SECRETARY@AUSTRALASIANGC.ORG.AUSign here:  Date: 31/7/20**SIGNED** for and on behalf of the **City of Kingston Council** by:Name and position of authorised representative: Samantha Krull
General Manager City Assets and EnvironmentSign here:  Date: 24/08/2020

Attachment A

Activity Deliverables and Payments Table

Milestone	Deliverable	Date	Payment (excluding GST)
Commencement of Financial Year.	<p>Acquittal report and supporting documents submitted prior to conclusion of financial year, including:</p> <ul style="list-style-type: none"> • Annual report • Audited annual financial statement • Information which demonstrates how programs align with City of Kingston's Council Plan and Sport and Recreation Strategy • Quarterly Progress update report. (template to be mutually agreed to by both parties). • Comply with all requirements in Part A. • Copy of Club and Course Strategic Plan and/or Business Plan • Copy of the organisation's Constitution or Model Rules • Up to date contact information of all Board/Committee of management members, timely notifications of changes to Board, Managers or staff. • Details of hours of operation, office hours staffed/hours accessible to public <p>Provision of an invoice from the club for the payment amount due.</p>	7 July 2020	\$70,000
October Quarterly progress update report.	<p>Submission of Quarterly Progress update report (template to be mutually agreed to by both parties).</p> <p>Bi-annual update and review meeting with Council officers, executive committee members which may also other stakeholders, Golf Victoria or Council representatives.</p> <p>Provision of an invoice from the club for the payment amount due.</p>	October 2020	\$21,584 + annual CPI Increase.
January Quarterly progress update report.	<p>Submission of Quarterly Progress update report (template to be mutually agreed to by both parties)</p> <p>Provision of an invoice from the club for the payment amount due.</p>	January 2021	\$10,000
April Quarterly progress update report.	<p>Submission of Quarterly Progress update report (template to be mutually agreed to by both parties).</p> <p>Bi-annual update and review meeting with Council officers, executive committee members which may also other stakeholders, Golf Victoria or Council representatives.</p> <p>Provision of an invoice from the club for the payment amount due.</p>	April 2021	\$20,000

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*Road Map Council Plan: <http://www.kingston.vic.gov.au/Explore-Kingston/Your-Kingston/Living-Kingston-2035>
For all Council Plans & Strategies: <https://www.kingston.vic.gov.au/About-Us/Plans-Policies-and-Publications/Strategies-and-Plans>
Including :
Sport and Recreation: <https://www.kingston.vic.gov.au/files/assets/public/sport-and-rec/new-folder-1/sport-and-recreation-strategy-2018-adopted-and-final.pdf>

Attachment B Council resolution

10. City Assets and Environment Reports

10.1 Edithvale Public Golf Course - Future Management Arrangements

RECOMMENDATION

That Council:

1. Endorse a new sub-lease agreement to be offered to Australasian Golf Club Inc. for its continued occupancy of the Edithvale Public Golf Course, including the following terms:
 - Rent: \$1pa (on demand); and
 - Term: 7 years 6 months (due to expire in December 2025 at same time as Council's Head Lease with Melbourne Water).
2. Endorse partnership grant funding of \$120,000 per annum increasing by CPI each year to the Australasian Golf Club Inc. for its continued maintenance and management of the Edithvale Public Golf Course;
3. Authorise the General Manager, City Assets and Environment to prepare and execute a service and/or funding agreement with the Australasian Golf Club Inc;
4. Refer funding of the partnership grant to the Australasian Golf Club Inc. to the preparation of Council's 2018/19 budget process; and
5. Prepare an asset management plan and a compliance risk assessment for the Edithvale Public Golf Course.

Note: Refer to page 6 of the Minutes where this item was block resolved.

Attachment C - Council Report**Ordinary Meeting of Council**

26 March 2018

Agenda Item No: 10.1**EDITHVALE PUBLIC GOLF COURSE - FUTURE MANAGEMENT ARRANGEMENTS****Contact Officer: Mark Stockton, Team Leader Sport and Recreation****Purpose of Report**

To seek Council endorsement to enter into a partnership grant agreement and renew sub lease agreement with the Australasian Golf Club for the continued maintenance and management of the Edithvale Public Golf Course.

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council:

1. Endorse a new sub-lease agreement to be offered to Australasian Golf Club Inc. for its continued occupancy of the Edithvale Public Golf Course, including the following terms:
 - Rent: \$1pa (on demand); and
 - Term: 7 years 6 months (due to expire in December 2025 at same time as Council's Head Lease with Melbourne Water).
2. Endorse partnership grant funding of \$120,000 per annum increasing by CPI each year to the Australasian Golf Club Inc. for its continued maintenance and management of the Edithvale Public Golf Course;
3. Authorise the General Manager, City Assets and Environment to prepare and execute a service and/or funding agreement with the Australasian Golf Club Inc.
4. Refer funding of the partnership grant to the Australasian Golf Club Inc. to the preparation of Council's 2018/19 budget process; and
5. Prepare an asset management plan and a compliance risk assessment for the Edithvale Public Golf Course.

1. Executive Summary

Approval is sought to align leasing arrangements associated with access to and use of the Edithvale Public Golf Course through to December 2025. This approach involves executing a continued sub lease agreement with the Australasian Golf Club Inc. for management and operation of the Edithvale Public Golf Course through to December 2025 (expiring at the same time as Council's land lease with Melbourne Water).

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It is proposed that Council transition the Golf Club onto a partnership grant (similar to that of a community centre) and continue to financially support the Edithvale Public Golf Course via an annual grant payment of \$120,000 (to be increased annually by CPI) for a three year period.

This three year funding agreement will allow Council the ability to monitor and review the Golf Club's performance and provide flexibility for financial arrangements to be updated as required. It is also proposed to include some service objectives within the partnership agreement as a tool to monitor the Golf Club's progress and performance. These are proposed to include:

- Number of Rounds (type, age, gender);
- Continued involvement in participation programs (e.g. Golf Victoria programs); and
- Staff and/or volunteer development/resource plan.

With aging course infrastructure, it is also proposed that Council undertake investigations to prepare an asset management plan for the Edithvale Public Golf Course. The purpose of an asset renewal plan would be to inform and guide future investment decisions at the Edithvale Public Golf Course, whether they are made by Council or the Australasian Golf Club Inc.

2. Background

The Edithvale Public Golf Course (formerly known as Chelsea Public Golf Course) adjoins Edithvale Wetlands and is largely located on land owned by Melbourne Water and leased to Council for the purposes of operating a nine hole golf course. For most of the last 27 years the Australasian Golf Club Inc. (the Golf Club) has sub-leased the land from Council and maintained it as a golf course for the benefit of its members and the public. The leased land from Melbourne Water is zoned as a Special Use Zone (SUZ), with Land Subject to Inundation Overlay (LSIO).

Edithvale Public Golf Course (the Course) is currently Council's only public golf course and is of particular value to those members of the community who may not have the financial means to access private courses across Kingston. The Club report that of the 15,000 rounds played last year at the course, 85% are by Kingston residents.

The green fees include:

- Weekends – Adult \$20, Concession \$18 and Juniors \$10; and
- Midweek – Adult \$18, Concession \$16 and Juniors \$7.50.

In Council's consideration of this financial subsidy, an Expression of Interest process was run in 2011 to see if any external operators had the willingness and capacity to run the course. In response only one submission was received and it was assessed a providing an unfavourable financial outcome for Council. Council resolved in March 2012 to provide the Golf Club with an annual cash payment of \$70,000 rising to \$100,000 in future years for the management and maintenance of the Course.

The subsidy payments provided by Council have traditionally been used by the Club to support ongoing expenses relating to the direct management and maintenance of the golf course (salaries, consumables and equipment). The current financial arrangements between Council and the Golf Club are due to expire in June 2018.

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Council's Golf Course Policy affirms that Council seeks its existing golf clubs to remain economically viable and notes the considerable community amenity, recreational opportunities and landscape values that golf courses provide.

A Memorandum of Understanding (refer Appendix 1) between the parties foreshadowed an intention by Council to enter into a new sub lease for the Course with the Golf Club, however, this never occurred due to Council's lengthy negotiations with Melbourne Water over the Head Lease.

In December 2015 Council signed a Head Lease agreement with Melbourne Water for a 10 year term, which was negotiated as part of recently completed drainage project including a land purchase for a pumping station. The Head Lease agreement with Melbourne Water expires in December 2025.

The Golf Club share the pavilion facility at the Course with the Keysborough Angling Club which was relocated from Patterson Lakes in 2012.

3. Discussion**3.1 Council Plan Alignment**

Goal 2 - Our sustainable green environment with accessible open spaces
Direction 2.4 - Review and implement the open space strategy to ensure high quality and increased capacity of the open space network

Council's draft Sport and Recreation Strategy is supportive of retaining affordable public access golf courses and recommends to continue to assess the Golf Club's performance and sustainability with its management and maintenance.

3.2 Consultation/Internal Review

Council Officers from the Sport and Recreation and Property team's meet on a quarterly basis with executive members of the Australasian Golf Club to review the ongoing performance and operations of the golf club/course.

3.3 Operation and Strategic Issues**3.3.1 Alignment of occupancy arrangements (Head lease and Sub Lease)**

Officers propose to align a new sub-lease agreement with the Golf Club to the expiration of Council's head lease with Melbourne Water (December 2025). The proposed overall term of the Golf Club's sub lease would therefore be approximately 7 years 6 months. This will provide the Golf Club security of tenure.

3.3.2 Partnership funding Grant

It is proposed to extend the financial subsidy that Council provides the Golf Club for an additional three years for the ongoing maintenance and management of the Course. This is to be formalised via a partnership grant arrangement, similar to that of Council's community centres.

The Golf Club has requested a small increase of \$20,000 per annum, which reflects incremental increases in business costs that was not provided for within the current MOU. The total amount payable over the life of the three year Partnership agreement would be \$360,000 plus CPI. Further grant payments would be subject to future consideration by Council.

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Within the partnership grant funding agreement between Council and the Golf Club, it is recommended to include some service objectives and indicators in order to monitor the Golf Club's performance. These would include:

- Number of Rounds (type, age, gender);
- Continued involvement in participation programs (eg Golf Victoria); and
- Staff and/or volunteer development/resource plan.

The partnership funding grant will support the Golf Club in continuing to provide a valuable community service with the management and maintenance of Council's only public golf course.

Council will work with the Golf Club, peak golf agencies i.e. Golf Victoria and other like golf clubs to identify opportunities to share resources and knowledge.

3.3.3 Asset Management Planning and compliance audit

The Golf Club report that it is spending a considerable amount of its annual budget towards the upkeep of assets that are aged and nearing end of life i.e. irrigation system. The Golf Club's focus is towards the maintenance and upkeep of the course and it has limited financial capacity to contribute to the renewal of major infrastructure such as irrigation systems and fencing that would require significant investment. As Council has a limited tenure of the site, there is limited return on investment outcomes for Council to invest in significant asset improvements.

As there is limited data and information relating to the condition and performance of existing assets at the Course, it is recommended that Council procure specialist and independent advice to prepare an asset condition & compliance audit and renewal plan for the Course. Compliance matters, particularly relating to risk and OH&S are matters for Council and the Golf Club to consider and explore at the Golf Course. The purpose of an asset renewal plan would be to inform and guide future investment decisions at the Course.

4. Conclusion

4.1 Environmental Implications

The Golf Club seeks to ensure that it operates in a manner to minimise its impact on the environment.

4.2 Social Implications

With nine private golf courses located in Kingston and two public nine-hole golf courses, comprising Edithvale Public Golf Course (Council-leased) and Spring Park Public Golf Course (Parks Victoria), Kingston residents enjoy a variety of golfing experiences. Furthermore the courses provide considerable landscape value and environmental benefits.

In 2017, Council provided a submission to the Planning for Golf in Victoria – Discussion Paper highlighting Council's adopted Golf Course Policy (2015) that acknowledges the recreation opportunities, landscape value and environmental benefits that golf courses provide. The Policy intent is to ensure that where clubs are genuinely unable to be economically viable and should the land owner wish to cease golf operations on the site, that the land is used for public or private open space purposes that allow that land to retain its green and open vistas.

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The 2018/19 resourcing requirements of \$110,000 to meet the annual rental to Melbourne Water of \$10,000 and Golf Club funding contribution of \$100,000 are provided for within the draft 2018/19 Council budget.

Additional Council funding of \$20,000 per annum is required to be provided within the 2018/19 budget to meet the funding request from the Golf Club.

The Golf Club has also requested that its rental of \$1 per annum is maintained within a new sublease arrangement. Increasing the sublease rental amount would create a further financial stress upon the Golf Club.

4.4 Legal / Risk Implications

Through the sublease, risk associated with the management and maintenance of the Course are the responsibility of the Golf Club. It is recommended to provide the Golf Club internal support to help mitigate risks with its operation.

4.5 Legal / Risk Implications

Through the sublease, risk associated with the management and maintenance of the Course are the responsibility of the Golf Club. It is recommended to provide the Golf Club internal support to help mitigate risks with its operation.

Appendices

Appendix 1 - Signed and executed Memorandum of Understanding between Kingston and Australasian Golf Club for Edithvale Road Edithvale (Ref 12/45124)

[↓](#)

Appendix 2 - Golf Club response to proposed leasing terms (Ref 18/32532) [↓](#)

Author/s:	Mark Stockton, Team Leader Sport and Recreation
Reviewed and Approved By:	Mark Juler, Manager Parks & Recreation
	Daniel Freer, General Manager City Assets and Environment

26 July 2021

Agenda Item No: 10.3

KINGSTON HEATH RESERVE - HOCKEY AND BASEBALL NEEDS ANALYSIS AND FEASIBILITY

Contact Officer: Mark Stockton, Team Leader Active Kingston

Purpose of Report

Following Council's consideration of a Hockey and Baseball Sporting Needs Analysis in August 2020 (Stage 1), this report presents Stage 2 - Facility Analysis and Site Assessment Investigations for hockey and baseball facilities.

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council:

1. Note the findings from the Stage 2 – Facility Analysis and Site Assessment Investigations for hockey and baseball facilities as set out in Appendix 4;
2. Provide in-principle endorsement of Kingston Heath Reserve as a future site for the development an additional hockey pitch;
3. Invite feedback from the tenant sporting, community clubs and other interested parties such as the Friends of Kingston Heath on the potential development of an additional hockey pitch and remodelling of baseball facilities at Kingston Heath Reserve;
4. Authorise officers to prepare detailed concept plans for the development of an additional hockey pitch and remodelling of baseball facilities at Kingston Heath Reserve to support consultation activities with the tenant sporting, community clubs and other interested parties;
5. Receive a report summarising the feedback from the tenant sporting and community clubs and other interested parties; and
6. Prioritise investigations to strategically increase the amount of open space area within the surrounding locality of Kingston Heath Reserve.

1. Executive Summary

Following research and analysis, the sport of hockey has been assessed as a having a significant need for additional pitch within Kingston and the broader south eastern area of Melbourne.

In response to this need, a site selection process has been undertaken that considered the suitability of eight sites within Kingston to accommodate additional hockey facilities. The site selection process has evaluated Kingston Heath as the preferred location for the development of an additional hockey pitch. The site presents the opportunity to re-purpose existing sporting fields from baseball to hockey use whilst having minimal impact of the current other uses at the Reserve. Modifications can also be made to the sporting field areas to relocate and consolidate baseball facilities to maintain baseball and other sporting uses e.g. cricket activity.

Following Council's decision, detailed concept plans will be prepared, and consultation activities undertaken with the tenant sporting, community clubs and other interested parties. The results of these consultation activities will be reported to a future Council meeting for its consideration.

It is understood that the fencing of hockey fields, due to safety and management consideration, can be perceived as a loss of open space to some parties. Should Council seek to offset the area proposed for the development of an additional hockey pitch, there may be strategic opportunities to acquire additional land and rezone it as open space within the local area. This is recommended to be progressed as a separate matter to the proposed additional hockey pitch.

2. Background

2.1 Council Decision Making

At its Meeting on 27 January 2021, Council endorsed:

12.3 Notice of Motion No. 3/2021 - Cr Davies - Kingston Heath Reserve

Cr Oxley returned to the meeting at 9:00pm

Moved: Cr Davies

Seconded: Cr Davey-Burns

That with reference to the Council resolution at the Council Meeting on the 24 August 2020, item number 10.3 Kingston Heath Reserve - Hockey and Baseball Needs Analysis Update (Councillor Workshop Item 10.17), Council note that point 1 of the resolution is complete. In relation to point 4, Council note that the election period has now concluded, and that the future of the Delta Site will take quite some time to be determined. Given the pressing needs of the local hockey and baseball clubs for a timely decision, the following matter be brought forward.

Further that Council resolve that:

1. Officers commence Stage 2 - Facility Analysis and Site Assessment Investigations for hockey and baseball facilities; and
2. Council receive a report on the findings of Stage 2 and provides direction on the next steps including future sporting and recreation needs, site recommendations, concept development, funding options, prior to undertaking community and stakeholder consultation.
3. The Stage 2 report identify any spaces that would be taken from public parkland for the use of sporting clubs (which may prevent public passive open space usage) and provide:
 - a) recommendations on how to increase, if possible, open space levels in the immediate area by the same amount and/or;
 - b) recommendations on how to preserve public access of such areas and allow sporting usage (i.e. as is the case for baseball at Kingston Heath Reserve)
 - c) an estimate of market value of the land proposed for the sporting facility that is being built or constructed

Cr Hua returned to the meeting at 9:03pm

Cr Hill left the meeting at 9:04pm

Cr Hill returned to the meeting at 9:07pm

CARRIED

At the Meeting on 24 August 2020, Council considered the Hockey and Baseball Sporting Needs Analysis (Stage 1) that investigated future facility needs for the Southern United Hockey Club and Cheltenham Baseball Club and resolved:

10.3 Kingston Heath Reserve - Hockey and Baseball Needs Analysis Update
(Councillor Workshop Item 10.17)

Moved: Cr Brownlees

Seconded: Cr Gledhill

That:

1. Council note the sporting needs findings as presented within this report; and
2. Council receive the findings of Stage 2 - Facility Analysis and Site Assessment Investigations for hockey and baseball facilities at a future meeting of Council.
3. The data and information in this report be used in the progression of the community engagement, development of funding options and site identification, prior to a further report to Council in 2021.

10

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24 August 2020

Amendment

Moved: Cr West

Seconded: Cr Staikos

That:

1. Council note the sporting needs findings as presented within this report; and
2. Council receive the findings of Stage 2 - Facility Analysis and Site Assessment Investigations for hockey and baseball facilities at a future meeting of Council.
3. The data and information in this report be used in the progression of the community engagement, development of funding options and site identification, prior to a further report to Council in 2021.
4. Bearing in mind the Kingston Heath Reserve Masterplan requirement to maintain the existing balance between active and passive recreation on the reserve, no further planning work or consultation be undertaken on plans to expand the sporting grounds on Kingston Heath Reserve until
 - after the council election, and
 - until the future of the Delta site has been determined.

The Amendment was put and CARRIED

The Amendment became the Motion

The Motion was put and CARRIED

Council's support to undertake a staged approach with the planning for future hockey and baseball facilities was endorsed at its Meeting on 27 May 2019, with Council resolving:

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27 May 2019

**10.5 Response to Notice of Motion No 11/2019 - Cr Brownlees - Kingston
Heath Reserve Sporting Precinct**

Moved: Cr Brownlees

Seconded: Cr Gledhill

That Council:

1. Endorse a staged approach with the planning for future hockey and baseball facilities that includes the:
 - a) Completion of a detailed baseball and hockey sporting needs analysis including the establishment of a Hockey and Baseball Working Group as outlined in Appendix 1;
 - b) Report back to Council on the outcomes and implications of this work.
2. Write to local and peak stakeholder hockey and baseball groups inviting them to participate upon a Hockey and Baseball Working Group;
3. Consider updating the Kingston Heath Master Plan, following the determination of a future direction for the Southern United Hockey Club and Cheltenham Baseball Club.

Amendment

Moved: Cr West

Seconded: Cr Staikos

That Council:

1. Endorse a staged approach with the planning for future hockey and baseball facilities that includes the:
 - a) Completion of a detailed baseball and hockey sporting needs analysis including the establishment of a Hockey and Baseball Working Group as outlined in Appendix 1;
 - b) Report back to Council on the outcomes and implications of this work.
2. Write to local and peak stakeholder hockey and baseball groups inviting them to participate upon a Hockey and Baseball Working Group;
3. Consider updating the Kingston Heath Master Plan, following the determination of a future direction for the Southern United Hockey Club and Cheltenham Baseball Club provided the provision of the present masterplan to maintain the balance between active and passive recreation is maintained.

The Amendment was CARRIED

The Amendment became the Motion

The Motion was put and CARRIED

This report responds to resolutions at the 27 January 2021 meeting of Council.

2.2 Stage 1 - Sporting Needs Analysis/Findings

Working with the Southern United Hockey Club (SUHC), Cheltenham Baseball Club (CBC), Baseball Victoria and Hockey Victoria (constituting a Project Working Group), the sporting needs for baseball and hockey have been determined as outlined below.

Baseball Field: Population ratio provision

Baseball Victoria recommends an estimated field provision of 1:40,000 (1 field per 40,000 population). This demonstrates that an estimated 2020 Population: 166,000 = 4.2 Baseball fields recommended within the municipality.

With the projected population growth in 2036 of 187,000 the future need would be calculated at 4.7 Baseball fields within the municipality.

Below is a comparison table of the surrounding municipalities. This includes their population, the current number of fields within each municipality, as well as the projected recommendation using the supplied 1: 40,000 ratio provided by Baseball Victoria.

Council	Population (current)	Current # of Baseball Fields	Field:Population ratio recommended # of fields
Kingston	166,000	8	4.2
Bayside	109,000	4	2.7
Glen Eira	157,000	2	3.9
Monash	200,000	5	5
Greater Dandenong	170,000	4	4.2
Total	802,000	23	20

The above table highlights that Kingston has a higher number of fields than surrounding municipalities and exceeds the sports facility planning ratio (as provided by Baseball Victoria). This ratio does not account for the varying participation levels within individual areas i.e. Baseball Victoria states that Cheltenham was the second highest Baseball participation suburb within the State (2010 data), which may explain the higher number of fields.

In terms of regional provision, the actual number of fields (23) is 3 more than the estimated provision (20), which represents a minor over supply within the region.

Potential options for Council with the provision of future baseball facilities are listed and discussed below:

Option	Strengths	Weaknesses
1. Maintain the status quo	<ul style="list-style-type: none"> No cost Satisfy stakeholders as they are currently happy 	<ul style="list-style-type: none"> Slightly inefficient facility layout
2. Reconfiguration of the existing diamond layout	<ul style="list-style-type: none"> More efficient use of area Slight increase in open space Increased normal usage potential 	<ul style="list-style-type: none"> Cost for slight reduction in facilities Decrease in maximum junior capacity for tournaments

Hockey Field: Population ratio provision

Hockey Victoria recommends an estimated pitch provision of 1:100,000 (1 field per 100,000 population). The application of this ratio within the City of Kingston determines the following:

2020 Population: 166,000 = 1.7 Hockey fields recommended within the municipality
With the projected population growth in Kingston, the future need for a forecast 2036 population of 187,000 = 1.9 Hockey fields

Below is a comparison table of the surrounding municipalities. This includes their population, the current number of fields within each municipality, as well as the projected recommendation using the supplied 1: 100,000 ratio provided by Hockey Victoria. Included in the brackets are school fields with community access.

Council	Population	Current # of Hockey fields	Field:Population recommended # of fields
Kingston	166,000	1 (1) *Mentone Grammar	1.7
Bayside	109,000	0 (1) *Bayside Secondary	1.1
Glen Eira	157,000	0	1.6
Monash	200,000	1 (1) *Monash University	2
Greater Dandenong	170,000	1	1.7
Total	802,000	6	8.1

As the above table demonstrates, most of the surrounding municipalities only have 1 hockey field. Using the population ratios, it would appear there is a considerable shortage of 2 fields (25%) within the region.

There are other hockey fields within the region, however they do not provide ongoing community access, i.e. private school facilities such as Haileybury College has 2 fields, which are primarily used for school activity and do not allow community use.

With the planning for hockey facilities with established clubs and local communities, Hockey Victoria prefer to use a Hockey Field: Player ratio of 1:300 (1 hockey field per 300 players).

The following table show Southern United facility needs based upon membership numbers:

Year	Kingston Population	SUHC Membership	Calculated facility needs
2020	166'000	545	<u>1.8 fields</u>
2036	187'000	605	2.0 fields

With potential growth within Kingston predicted at 11.5%, two hockey fields will sustain the club growth until 2036 at which stage a third hockey field is likely warranted and subject to future investigations. There is potential that the hockey pitches could accommodate multi-use sporting activities, such as futsal, for schools and general community use.

Further information relating to Stage 1: Baseball and Hockey Sporting Needs Analysis is set out as Discussion Paper, Hockey/Baseball Sporting Needs (Appendix 1), Cheltenham Baseball Club Fact Sheet (Appendix 2) and Southern United Hockey Club Fact Sheet (Appendix 3).

2.3 Council's Sport and Recreation Strategy (2018)

In relation to baseball and hockey facilities, Council's Sport and Recreation Strategy (2018) recommends that Council:

- Undertake an investigation and feasibility study for the provision of a Regional Hockey Facility to service the southern region. The study should give consideration to:
 - Involving the State Government, neighbouring local government authorities, Hockey Victoria, and local hockey clubs in the feasibility study
 - Reviewing the 2004 Kingston Heath Reserve Master Plan to assess opportunities for increased and/or a consolidation of sporting uses at the Reserve, including the expansion of the existing hockey facility by installing a second pitch on the site of the cricket oval
 - Developing a second pitch at a site near the Kingston Heath Reserve hockey facility
 - Developing a new Regional Hockey Facility within the Green Wedge.
- Work with baseball clubs and peak associations to identify sustainable initiatives that focus upon meeting baseball participation needs.

The findings from the recent Sporting Need Analysis for hockey and baseball are largely consistent with the recommendations of the Sport and Recreation Strategy i.e. there are considerable baseball facilities within the City of Kingston and the sport of hockey is in much greater need of additional facilities, particularly in comparison with other sports within the city.

There are long term provisions within Council's Long-Term Financial Strategy for sporting facility improvements. The specific allocation required for hockey and baseball improvement will be determined subject to the completion of site confirmation process and Council's forward budget processes. Potential contributions from Federal and State Governments can be explored.

3. Discussion

3.1 Council Plan Alignment

Goal 4 - Our free-moving safe, prosperous and dynamic city
Direction 4.4 - Integrated accessible transport and free moving city.

3.2 Consultation/Internal Review

Whilst the Project Working Group members have not collectively meet since the outbreak of the COVID-19 pandemic, liaison has been ongoing with individual members. The site selection process findings (Stage 2) has not been shared with Project Working Group members, who include representatives from both clubs and peak hockey and baseball associations, or members of Council's Active Kingston Advisory Group.

Stage 1 - Sporting Needs Analysis Findings have been shared with the Project Working Group and Active Kingston Advisory Group who were supportive of the needs assessment outcomes.

3.3 Operation and Strategic Issues

3.3.1 Stage 2 – Facility Analysis and Site Assessment:

Eight sites across Kingston were identified and assessed as potentially suitable sites for the development of hockey facilities. These sites were assessed to determine their suitability of accommodating new hockey field/s (broadly speaking these sites are considered viable potential sites for the development of new/additional sport and recreation facilities):

They include:

- Kingston Heath Reserve, Cheltenham
- Highett Recreation Reserve
- Victory Road, Clarinda
- Monash University site, Clarinda
- Delta Site, Heatherton
- Leslie Road site, Clarinda
- The Hawthorn Football Club site Dingley
- The Buggy Place, Dingley

The assessment criteria used to assess these sites includes:

1. Catchment Location and volume of current and projected population within proximity to the current membership base of Southern United Hockey Club

2. Land Suitability

Review known site conditions to identify those not suitable due to previous use or existing conditions such as:

- Erosion prone
- Below 1 in 100 events
- Principally for drainage purposes or detention basin
- Contaminated site or contains hazards that pose a safety risk to users including transformer or high voltage power lines
- Required for storm water treatment or is an easement over sewerage/water lines or other underground utilities or services

3. Site Area + Spatial Analysis

The site will require enough space to accommodate all of the necessary facilities for the selected club. Site will ideally be square or rectangular in shape to minimise any 'dead space' in design.

Include provisions for either:

Hockey: approx. 22'000 sqm

- Car park (80 - 100 spaces)
- Sporting pavilion
- 2 x Hockey fields (100m x 60m each)
- Equitable access design
- Space for sustainable initiatives (solar, water recycling, etc.)

Baseball: approx. 35'000 sqm

- Car park (100 - 120 spaces)
- Sporting pavilion
- 3 x Baseball fields (approx 100m x 100m each)
- Equitable access design
- Space for sustainable initiatives (solar, water recycling, etc.)

4. Ownership/Site Value/Planning Zoning

Assessment of the title holder of the site and how easily it could be transferred to Council

Cost to either purchase or create the development on the site can be compared to determine the likely impost at each site

Review of existing land use zoning, capability of site to meet current and proposed planning requirements for a facility

The site assessment indicates that Kingston Heath Reserve is the preferred location for the development of additional hockey facilities. The benefits offered at Kingston Heath Reserve include:

- As the existing location of the Southern United Hockey Club, the site strengthens the Club's existing catchment;
- Sporting use is consistent with the current zoning and use of the site;
- Kingston Heath Reserve is owned by Council and its development does not incur property acquisition costs associated with privately owned properties;
- Council can progress the timely development of sporting facility improvements at Kingston Heath Reserve, which will support the needs of the Southern United Hockey Club;
- The Kingston Heath Master Plan has determined the primary strategic focus of the Reserve as an area for active sporting pursuits, namely hockey, soccer, baseball and cricket. A potential (draft) site layout (refer Appendix 5) shows the repurposing of the existing baseball facilities to accommodate additional hockey facilities at the site; and
- The Southern United Hockey Club and Council has invested significant funding to develop hockey facilities at Kingston Heath Reserve. Recently \$400,000 been allocated towards renewal of the hockey pitch sports lighting.

A full report of all identified sites assessed against a set of criteria can be found in the attached report Appendix 4.

A potential (draft) site layout for an additional hockey field at Kingston Heath Reserve is set out in Appendix 5. This plan shows a proposed additional hockey field to meet current needs.

3.3.2 Open Space Implications and Land Costs

The development of additional hockey field at Kingston Heath Reserve is considered to have limited implications upon existing open space. This is based on:

- The proposed development of new hockey facilities is a re-purposing of existing sporting fields (currently used for baseball). The potential layout plan (refer Appendix 5) does not substantively change the current use of areas at Kingston Heath Reserve and maintains the existing hockey, cricket and baseball sporting activities.
- Whilst hockey fields are fenced (due to safety issues), the development of a new hockey field remains consistent in use for sport and recreation. There are many other sporting facilities within Kingston that regulate usage and manage risks with fencing (risks include property damage and public injury), including tennis, and bowls. There are also other facilities, and non-sport areas such as dog parks that are fenced to control access and use.
- Over 40 hours per week of additional sporting activity will be provided, principally for junior sport. Significant sport and recreation benefits including increased participation of females (41%) and juniors (57%) in active sport.
- All existing walking trails will remain accessible to the public. The development of a new hockey field is not expected to impact on other non-sporting activities at the site.

The land area required for an additional Hockey field is 6,005m². To determine the value of this Council (and public) land a 'Fair Value' is applied. This approach, applied by government agencies, considers that many Council properties have specific zoning that restricts use and prevents other uses e.g. residential or

commercial development. The current Fair Value rate is \$33/m². Applying this rate to the 6,005m² required for an additional hockey pitch at Kingston Heath Reserve, gives a calculated Fair Market value of \$198,165.

Kingston Heath Reserve is land within Public Purpose Recreation and Public Use Zones, which limits the development and use of the site. Furthermore, the site is also subject to a number of planning overlays that may further impact on its development and use. These include flooding, proximity to the Moorabbin Airport and environmental considerations. As Council owned land generally has different use and access provisions to that of private and commercial properties, and a market value is not applied to determine site values.

Should Council seek to acquire additional open space in the immediate area at Kingston Heath Reserve or within the local area, it could consider acquisition of private allotments. The estimated value of land within the local area is between \$140/m² to \$816/m², subject to the overall size of the land parcel.

In the absence of a strategic property management plan, any future property acquisition would need to be strongly assessed as suitable open space, as determined by Council.

The acquisition of private properties from within the broader Green Wedge area is another option for Council to increase open space within this catchment.

3.3.3 Next Steps

Following Council's consideration on this matter, officers propose to present the Stage 2 findings including the potential (draft) layout plan, as set out as Appendix 5, to the Project Working Group and other stakeholder groups, including other tenant groups and the Friends of Kingston Heath Reserve.

The input and feedback from the stakeholder groups will be presented to a future meeting of Council.

4. Conclusion

4.1 Environmental Implications

The potential (draft) site layout for an additional hockey field at Kingston Heath Reserve will require the removal of an estimated 11 trees, which would be confirmed through detailed design processes. Further trees may also be impacted, and some may need to be removed with the relocation and consolidation of the baseball diamonds. In accordance with Council's Policy a 3:1 replacement planting ratio applies to the removal of trees.

Depending on the final number of trees removed, 33 new trees would be planted in the reserve. Although a planting plan would need to be developed, it is expected that these tree plantings would be achievable within the broader Kingston Heath Reserve. These replacement trees would be planted earlier to enable them to establish and provide some amenity prior to the existing trees being removed.

Other environmental aspects to be considered through the further design development would include additional car parking with a water permeable surface, landscape improvements and use of materials that are less likely to retain heat e.g. suitable sporting surface/pitch colour.

4.2 Social Implications

Improved hockey and baseball facilities will greatly improve the sporting facilities available to the local community and sporting clubs, providing increased exercise and wellbeing opportunities for a range of ages and abilities.

With a large program and 545 players fielding more than 40 teams, the SUHC is the largest hockey club in the South East Metro region. Significant sport and recreation benefits including increased participation of females (41%) and juniors (57%) in active sport.

4.3 Resource Implications

High order costing for the development of improved hockey and baseball facilities at Kingston Heath Reserve is estimated at \$3M - \$4.5M. Following Council's endorsement of the stakeholder and community feedback and concept designs, further design development will assist to refine the associated costs.


Funding from Federal and State Governments would be sought given the given the expected sport and recreation benefits.

4.4 Legal / Risk Implications

Given sensitivities and commercial consideration relating to the acquisition of property, this report does not nominate specific sites to improve the provision of open space within the proximity of the Kingston Heath Reserve.

Risk matters will be considered further as the proposal for additional hockey facilities progresses.

Appendices

Appendix 1 - Discussion Paper - Kingston Heath Hockey Baseball Needs Analysis (Ref 20/85772)  [↓](#)

Appendix 2 - Cheltenham Baseball Club Fact Sheet (Ref 20/85782)  [↓](#)

Appendix 3 - Southern United Hockey Club Fact Sheet (Ref 20/85780)  [↓](#)

Appendix 4 - Hockey Site Selection Report (Ref 21/115248)  [↓](#)

Appendix 5 - Kingston Heath Reserve Future Hockey Facilities (Ref 21/115021)  [↓](#)

Author/s: Mark Stockton, Team Leader Active Kingston
Reviewed and Approved By: Bridget Draper, Acting General Manager City Assets and Environment
Samantha Krull, General Manager City Assets & Environment

10.3

KINGSTON HEATH RESERVE - HOCKEY AND BASEBALL NEEDS ANALYSIS AND FEASIBILITY

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Kingston Heath Reserve – Hockey & Baseball Needs Analysis Discussion Paper 12/08/2020

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1 ABOUT/BACKGROUND

1.1 Background

Kingston Heath Reserve is one of the City of Kingston largest reserves, home to many sports, leisure and recreational activities. Among all of its open space the reserve contains 4 Soccer pitches, 1 Cricket oval, 3 Senior Baseball diamonds, 4 Junior Baseball diamonds, and 1 Hockey field.

Both the hockey and baseball fields are located in north west area of the reserve, and as such share usage of the Ron Brownlees Pavilion. Southern United Hockey Club (SUHC) and Cheltenham Baseball Club (CBC) are the two tenants who use these facilities and have operated together for many years.

Both the SUHC and CBC have grown in size and participation in recent years, as such this discussion paper will explore the facility needs for both clubs and provide options for all stakeholders to move forward with.

The discussion paper does not consider the current soccer facilities located at the Kingston Heath Reserve.

1.2 Cheltenham Baseball Club

The original Cheltenham Baseball Club was established in 1953 and amalgamated with the Prahran Baseball Club (Est. 1914) in 1972 to form the current Club. The Club has been based at the Kingston Heath Reserve, Cheltenham since 1983.

The CBC operates all year round and is one of the larger baseball clubs in Victoria with 297 members as of 2019. It operates in the Victorian Baseball Competitions and the Dandenong Baseball Association. The CBC offers a wide variety of baseball including T-Ball, softball, social/recreational, school competitions as well as its competitive junior and senior baseball teams. As such Baseball Victoria recognises the CBC as an important part of the South East Metro region.

CBC received an Award for the Most Inclusive Baseball Club in Victoria earlier this year (2019) and is recognized for the strength of its junior programs. The CBC has produced many State, National and International representatives including eleven players signed to play professional baseball and twelve players given college scholarships to pursue a tertiary education in the USA.

The pavilion facilities are shared with the SUHC. The clubs each contributed \$20,000 (5% of the total cost) towards the cost of the Ron Brownlee's Pavilion when it was built.

The CBC have also contributed towards the baseball infrastructure at Kingston Heath Reserve including:

- \$28,000. Lighting of the main field
- \$20,000 Little League Field
- \$15,000 Refurbish of the batting tunnel
- \$5,000 dugout wire and concrete floors - Fields No 1 and No 2
- Fully funded the back net on Field No 2 and batting tunnel during the 1980's.
- \$20,000 towards funding the construction of the Ron Brownlee's pavilion

CBC is the largest baseball club in the City of Kingston, considering both participation numbers and facilities.

1.3 Southern United Hockey Club

Following the merger of the historical Moorabbin Districts and Sandringham Hockey Clubs the SUHC was formed in 2006. SUHC have operated from the hockey field and Ron Brownlees pavilion at Kingston Heath Reserve since 1989, and are the only Hockey club within the City of Kingston on Council owned facilities. SUHC has 545 members, as of 2019. The Club is quite strong within all levels of hockey that it competes in, including recently winning the 2019 Men's Premier League, and the 2019 Women's Premier League team making the semi-finals. With a large program fielding more than 40 teams, the SUHC is the largest hockey club in the South East Metro region.

The SUHC has a strong junior program and produce elite level players. Currently two players from SUHC are members of the Australian National Hockey teams; one in the women's team and one in the men's team. The SUHC also have many players represented throughout national and state level competitions. The SUHC are an important part of the talent development pathway for Hockey Victoria's South East Metro region.

The SUHC also contribute towards the Hockey infrastructure at Kingston Heath Reserve including:

- \$250,000 towards resurfacing the Hockey Field synthetic in 2012.
- \$20,000 towards funding the construction of the Ron Brownlee's pavilion.

SUHC are thought to have also made contributions prior to the above, however the exact amounts are unknown.

2 FACILITY REQUIREMENTS

2.1 Current Facilities

2.1.1 *Cheltenham Baseball Club Current Facilities*

CBC operate exclusively out of Kingston Heath Reserve. The current baseball facilities at the reserve include:

- 2 senior diamonds (potential to also be configured as 4 junior diamonds)
- 3rd senior diamond (if not used as a Senior diamond can become 2/3 junior diamonds)
- 2 Junior diamonds
- 1 Batting cage
- Ron Brownlees Pavilion (shared with SUHC)

2.1.2 *Southern United Hockey Club current facilities*

SUHC operate out of Kingston Heath Reserve, as well as a secondary pitch at Brighton Secondary College that it shares with another hockey club. The SUHC current facilities include:

- 1 full size Hockey field (Kingston Heath Reserve)
- 1 full size Hockey field (Brighton Secondary College, shared)
- Ron Brownlees Pavilion (shared with CBC) Kingston Heath Reserve current facilities



2.2 Facility Planning tools

In this analysis, Council engaged both state sporting associations; Baseball Victoria and Hockey Victoria for their planning metrics. Both sporting associations provided their strategic plans that provided both a broad and detailed planning view for each sport.

Extrapolated from these strategic plans are various metrics and data used in order to help analyse the needs of both SUHC and CBC. Council looked at two common methods used by many sporting codes and strategic planners to calculate the number of facilities needed within a region. Using these two metrics, as well as some further analysis, Council is seeking to create a component schedule for both clubs and the facilities they need. These are discussed below.

2.3 Baseball Victoria Facility requirements

2.3.1 Field:Population ratio provision

Baseball Victoria (FDP, page 61) recommends an estimated field provision of 1:40,000, i.e. 1 field per 40,000 population. If we look at the City of Kingston and calculate this ratio using the municipalities population data, we see the below:

2020 Population: 166,000 = **4.2 Baseball fields** recommended within the municipality.

With the projected population growth within the City of Kingston, we can then see a calculate future need as seen below:

2036 Population (estimated): 187,000 = 4.7 Baseball fields recommended within the municipality.

Below is a comparison table of the surrounding municipalities. This includes their population, the current number of fields within each municipality, as well as the projected recommendation using the supplied 1:40,000 ratio provided by Baseball Victoria.

Council	Population (current)	Current # of Baseball Fields	Field:Population ratio recommended # of fields
Kingston	166,000	8	4.2
Bayside	109,000	4	2.7
Glen Eira	157,000	2	3.9
Monash	200,000	5	5
Greater Dandenong	170,000	4	4.2
Total	802,000	23	20

The above table highlights that Kingston has a higher number of fields than surrounding municipalities and significantly exceeds the sports facility planning ratio. As mentioned previously this ratio does not account for the varying participations levels within individual areas i.e. Baseball Victoria states that Cheltenham was the 2nd highest Baseball participation suburb within the state (2010 data), which may explain the higher number of fields.

In terms of regional provision, the actual number of fields (23) is only 3 more that the estimated provision (20), which represents a minor over supply within the region.

2.3.2 Field:Player pitch provision

Baseball Victoria do not have a specific recommended field:player provision ratio, but extrapolating from its BFDP, it mentions that clubs of 175 – 200 members would be recommended to have a 2 field setup i.e. ratio of 1:90-100. If we then use the CBC's 297 members to calculate its field needs, the following is determined:

Year	Kingston Population	CBC Membership	Calculated facility needs
2020	166'000	297	<u>3.0 fields</u>
2036	187'000	330	3.3 fields

With a potential population growth within Kingston of 11.5% by 2036, CBC could potentially have 330 members.

Within Baseball, junior fields are smaller and will be setup differently to senior fields. Note that in the facility calculation/ratios, junior fields are not acknowledged. The above calculation only considers senior diamonds.

2.3.3 Cheltenham Baseball Club facility ask

Cheltenham Baseball Club have noted that their current facilities are adequate to meet their operations. Their current day-to-day training schedules are not under any pressure for more facilities. The CBC do hold 3-4 tournaments per season which reportedly puts the playing fields to capacity.

The CBC has expressed that it would like more diamonds to have floodlights, which allow for larger potential usage times mainly during winter. Floodlights would also give the CBC the ability to run more casual/social competitions for people unable to fit into traditional organised sport times. Currently only diamond 1 and the batting cages adjacent to it are lit at Kingston Heath Reserve. This leaves 2 senior diamonds and 4 junior diamonds currently unlit.

2.4 Hockey Victoria Facility requirements

2.4.1 Field:Population ratio provision

Baseball Victoria (HFMP2, page 54) recommends an estimated pitch provision of 1:100,000 i.e. 1 field per 100,000 population. The application of this ratio with the City of Kingston the following is determined:

2020 Population: 166,000 = 1.7 Hockey fields recommended within the municipality

With the projected population growth in Kingston, we can then see a calculate future need as seen below:

2036 Population: 187,000 = 1.9 Hockey fields

Below is a comparison table of the surrounding municipalities. This includes their population, the current number of fields within each municipality, as well as the projected recommendation using the supplied 1:100,000 ratio provided by Hockey Victoria. Included in the brackets are school fields with community access.

Council	Population	Current # of Hockey fields	Field:Population recommended # of fields
Kingston	166,000	1 (1) *Mentone Grammar	1.7
Bayside	109,000	0 (1) *Bayside Secondary	1.1
Glen Eira	157,000	0	1.6
Monash	200,000	1 (1) *Monash University	2
Greater Dandenong	170,000	1	1.7
Total	802,000	6	8.1

As we can see from this table, most of the local municipalities only have 1 hockey field. Using the population ratios it would appear there is a considerable shortage of 2 fields (25%) within the region. This being said, there are other hockey fields within the region which do not provide ongoing community access i.e. private school facilities such as Haileybury College has 2 fields, which are primarily used for school activity and do not allow regular community use.

2.4.2 Field:Player ratio provision

Hockey Victoria also states that the ideal Field:Player ratio for club is 1:300 i.e. 1 Hockey field per 300 players. If we use Southern United's current membership numbers to calculate their facility needs, we see:

Year	Kingston Population	SUHC Membership	Calculated facility needs
2020	166'000	545	<u>1.8 fields</u>
2036	187'000	605	2.0 fields

With a potential growth within Kingston of 11.5% growth until 2036, gives 605 players

This calculation gives us a similar result to our above Field:Population ratio calculation.

2.4.3 Southern United Hockey Club facility ask

SUHC has expressed the demand for additional fields. They note their current setup at Kingston Heath Reserve and shared usage of Brighton Secondary College is not adequate for their 545 members. The Club would like to continue to grow, and if so it will need the facilities to do so.

Ideally the SUHC would like two total fields in the same location, though if possible they would prefer three fields. The SUHC note that two would be suitable for it current operations and allow for some future growth. Three fields would allow the Club to hire out the third field to a high level of Hockey as Hockey Victoria are looking to diverge their use of the State Hockey Centre in Parkville, while also providing it additional facilities to meet long term growth needs.

3 CATCHMENTS

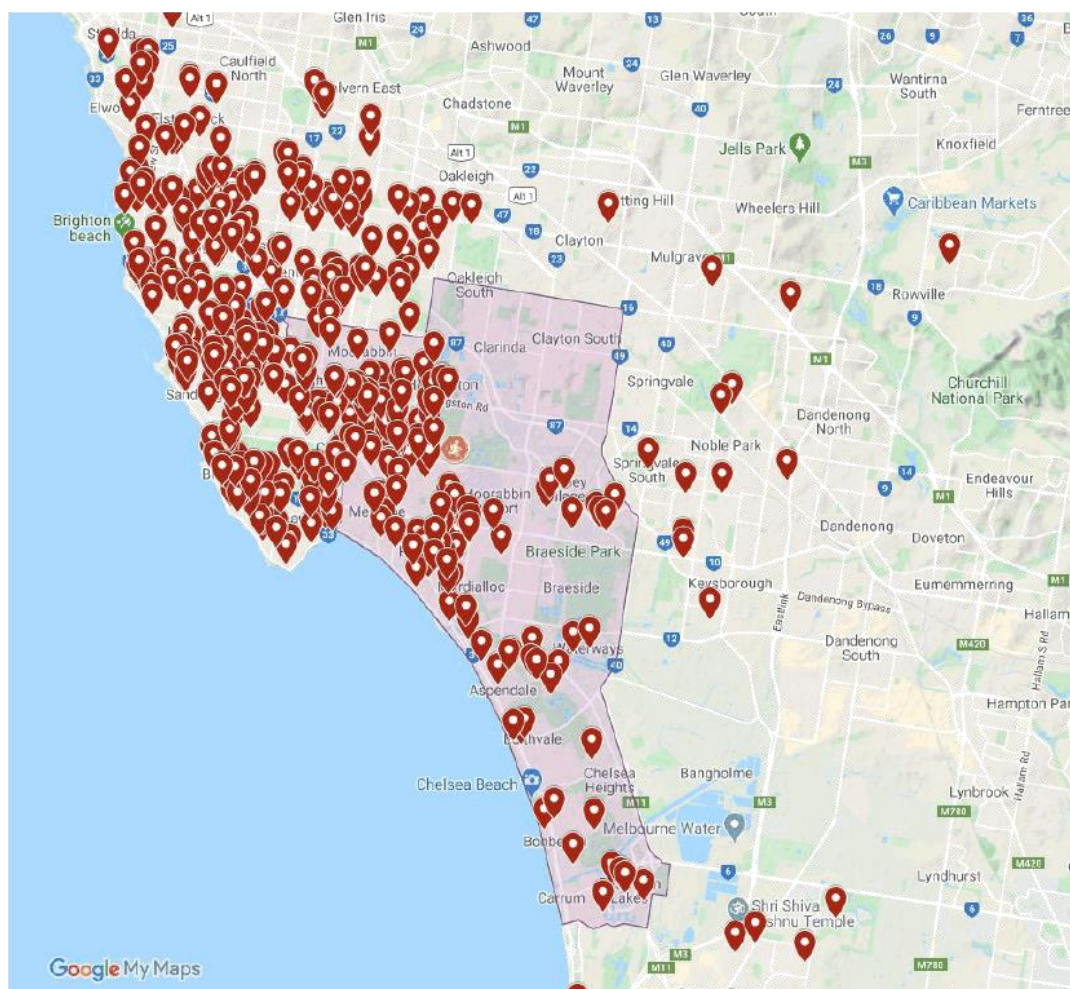
3.1 Hockey Catchment City of Kingston

Kingston currently has 1 Hockey field on Council land, and 1 Hockey field on school land. These facilities and user clubs are listed below:

Site	Clubs	Members	Field:Player ratio club needs
Kingston Heath Reserve (1 field)	Southern United Hockey Club	545 members	1.8
Mentone Grammar playing fields (1 field, school site)	Mentone Hockey Club	489 members	1.6
	St Bedes Hockey Club	92 members	0.3
Total 1 (1) Hockey field		1,126 members	3.8

Both the Mentone and St Bedes Hockey Clubs operate within the City of Kingston area, however on school owned facilities. If we were to calculate their facility needs using the Field:Player ratio we can see that between all 3 clubs they would need access to 3.8 fields within Kingston, or simply 4 full sized Hockey fields.

Below is a map of the membership base of Southern United Hockey Club. *please note this is not 100% accurate as each members personal information is protected

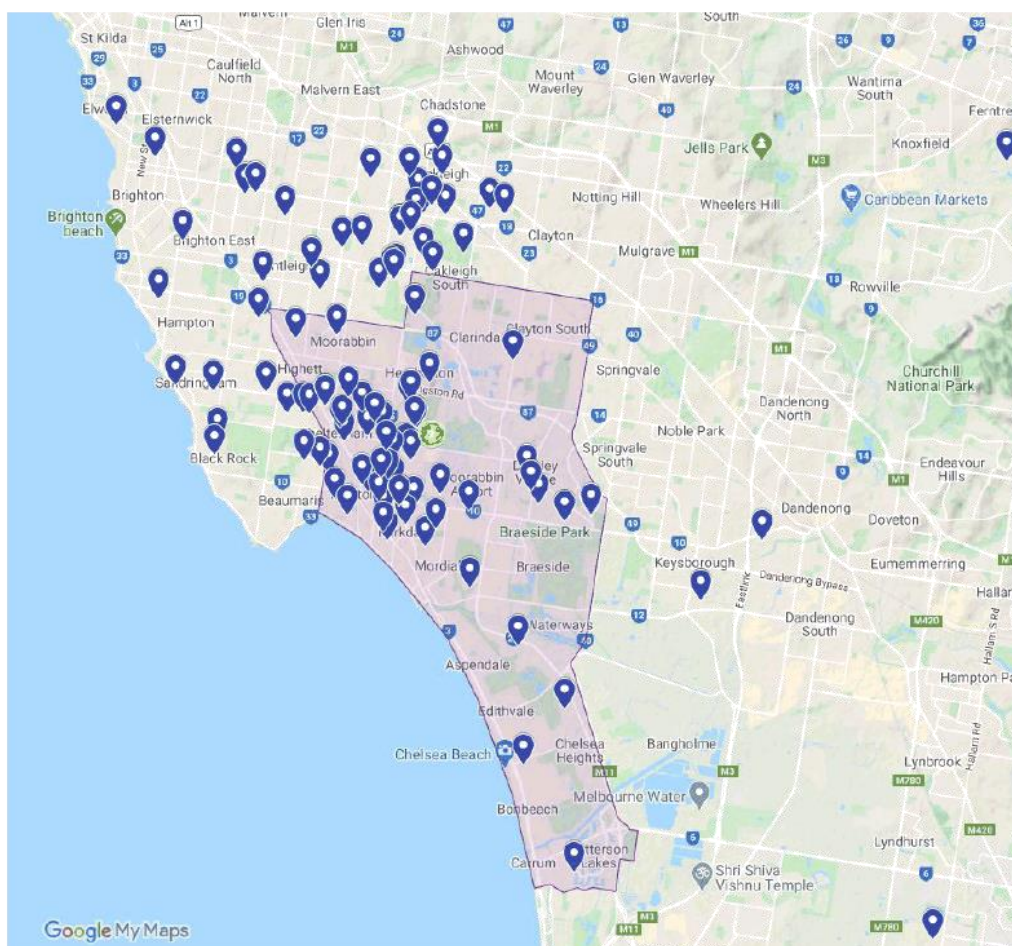


3.2 Baseball Catchment City of Kingston

The City of Kingston currently have 8 senior diamonds including additional junior diamonds. These facilities and user clubs are listed below:

Site	Clubs	Members	Field:Player ratio club needs
Kingston Heath Reserve (3 diamonds)	Cheltenham Baseball Club	297 members	3.0
Rowans Road Reserve (2 diamonds)	Dingley Baseball Club	202 members	2.0
	*Springvale Lions Baseball Club	111 members	1.1
Chelsea Bicentennial (2 diamonds)	Bonbeach St Chads Baseball Club	137 members	1.4
Edithvale Recreation Reserve (1 diamonds)	Chelsea Baseball Club	93 members	0.9
Total 8 Senior diamonds		729 members	7.3 fields

Below is a map of the membership base of Cheltenham Baseball Club. *please note this is not 100% accurate as each members personal information is protected



4 Facility Components

4.1 Component Schedule

The below component schedule is the result of the calculations and data provided in the Facility Requirements (Section 2) part of this discussion paper. This schedule is relatively in-line with the requests that clubs have already proposed to Council.

Using the calculations in Part 2 of this Discussion Paper, the proposed recommended component schedule is:

	Existing	Proposed
Southern United Hockey Club	<ul style="list-style-type: none"> Ron Brownlees pavilion shared with CBC 1 x Hockey field at Kingston Heath Reserve 1 x shared Hockey field at Brighton Secondary College 	<ul style="list-style-type: none"> Additional hockey field with floodlights (two in total) Pavilion (depending on site)
Cheltenham Baseball Club	<ul style="list-style-type: none"> Ron Brownlees pavilion shared with SUHC 2 x Senior diamonds 1 x Senior diamond/2 Junior diamonds* 2 x Junior diamonds 	<ul style="list-style-type: none"> Reconfiguration of diamonds into: 3 Senior diamonds, with 6 junior diamonds implemented. Layout in 2.3.3 Additional floodlights

4.2 Option Discussion

4.2.1 Hockey

SUHC have voiced the pressure it has on its current facilities and have asked for a secondary field. The data within the discussion paper supports the claim for an additional hockey field within the City. It does also show that using the projected population growth, an additional field would sustain hockey activity until 2036.

The need for the SUHC's request for a third field is not supported, at this stage, by the data. Council does understand that a third field would be focused more so on specific usage opportunities from Hockey Victoria, such as a State level training facility and provide broader appeal for the sport i.e. a regional/State focus.

With the expansion of the Hockey playing fields, an upgraded pavilion would most likely be required to support the extra usage capacity.

Potential options for Council with the provision of future hockey facilities are listed and discussed below:

Option	Strengths	Weaknesses
1. Maintain the status quo	<ul style="list-style-type: none"> No costs involved Club have access to Brighton Secondary College field 	<ul style="list-style-type: none"> Does not meet stakeholder needs
2. Additional hockey field at Kingston Heath Reserve;	<ul style="list-style-type: none"> Maintains Clubs current location No land acquisition required Timeframes are known and can be controlled by Council Opportunity for better use of existing resources 	<ul style="list-style-type: none"> Reduction of open space Slight reduction of Baseball facilities Removal of trees and realignment of footpaths
3. New hockey facility another site (single or multiple field facility)	<ul style="list-style-type: none"> Potential to create optimal layout (blank slate) Greater planning and advocacy timeframes Colocation with other regional sports/facilities Increased open space at Kingston Heath Reserve 	<ul style="list-style-type: none"> Unknown timeframe May require acquisition of land Does not meet the short term stakeholder needs/requests

4.2.2 Baseball

CBC have not expressed a need for additional baseball diamonds. The CBC is seeking improvements to the existing facilities, namely further investment with sports lighting.

A review of the CBS existing Dimond layout at Kingston Heath Reserve suggests that there are alternative layout configurations that could be considered to accommodate the sport. Potentially these alternative configurations may release space for other activities, including additional hockey facilities, without jeopardising the CBC's core activities i.e. a layout allowing the same level of concurrent senior usage (3 fields), while potentially slightly reducing the number of junior only fields. The CBC's main club usage is unlikely to be unaffected, if not increased with extra lights. However their peak concurrent capacity may be slightly diminished, which may have an effect on their tournament hosting capabilities

Potential options for Council with the provision of future baseball facilities are listed and discussed below:

Option	Strengths	Weaknesses
1. Maintain the status quo	<ul style="list-style-type: none"> No cost Satisfy stakeholders as they are currently happy 	<ul style="list-style-type: none"> Slightly inefficient facility layout
2. Reconfiguration of the existing diamond layout	<ul style="list-style-type: none"> More efficient use of area Slight increase in open space Increased normal usage potential 	<ul style="list-style-type: none"> Cost for slight reduction in facilities Decrease in maximum junior capacity for tournaments

Baseball Victoria have provided (BFDP, page. 85) some alternative field layouts when constructing Baseball fields. Notably Diagram 4 from their BFDP provided a field layout where using the senior diamond can be alternatively configured to have two Junior diamonds running concurrently. This would give a capacity of 6 Junior diamonds.

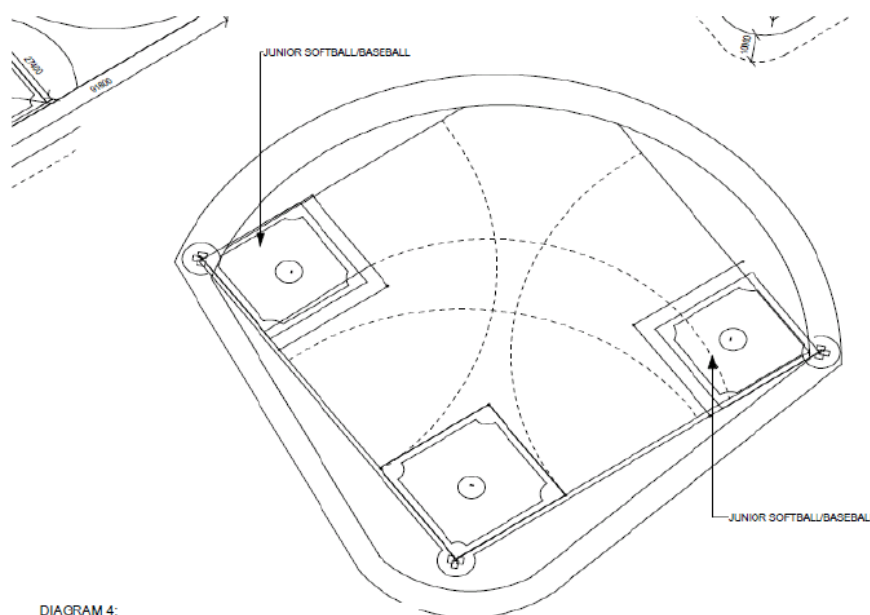


DIAGRAM 4:
REGULATION BASEBALL & JUNIOR SOFTBALL/BASEBALL
1:1000

5 References

5.1.1 Population data source: <https://www.profile.id.com.au/kingston/population>

5.1.2 Baseball Victoria Facilities Development Plan 2012 (BFDP)

5.1.3 Baseball Victoria Club Facility Resource Guide (BCFRG)

5.1.4 Hockey Victoria Facility Management Plan Vol. 1 (HFMP1)

5.1.5 Hockey Victoria Facility Management Plan Vol. 2 (HFMP2)

5.1.6 Hockey Victoria Strategic Plan 2017-2020 (HSP)



Cheltenham Baseball Club



KEY STATS SHEET



The Club

- 297** Players
- 148** Seniors (50%)
- 149** Juniors (50%)
- 36** Females (12%)
- 27** Teams
- 65%** Kingston Residents



Facilities

- 3** Senior fields
- 4** Juniors fields
- 1** Floodlit field
- Shared pavilion with Hockey Club



Club Requests

- Cheltenham Baseball Club have not requested any additional facilities from their current setup.



Projected needs

- Baseball Victoria field:player ratio of 1:100 determines that the club would need 3 Senior fields currently.
- City of Kingston population in 2036 predicted to grow by 11.5%. This brings the club total to approx. 330 players.



CONCLUSIONS

Based on the above information we believe the future projected facility needs for the Cheltenham Baseball Club looks like:

- 3 independent Senior Baseball diamonds/fields
- It would be desirable to have an additional 2 junior/tee ball diamonds to be overlaid per Senior field

This would take the total number of available diamonds to xx.



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Southern United Hockey Club



KEY STATS SHEET



Players

- 545** Players
- 234** Seniors (43%)
- 311** Juniors (57%)
- 209** Females (41%)
- 39** Teams
- 36%** Kingston Residents



Facilities

- 1** Synthetic pitch
- 1** Shared school pitch
- 1** Shared pavilion with Baseball Club



Club Requests



Southern United Hockey Club have requested 2, preferably 3, synthetic Hockey fields to accommodate their needs. They have also requested for expanded and modernized pavilion facilities.



Projected needs

1+

Hockey Victoria field:player ratio of 1:300 determines that the club would need 2 Hockey fields currently.



City of Kingston population in 2036 predicted to grow by 11.5%. Brings total club players to approx. 605



RECOMMENDATIONS

1. Based on the above information, we believe the future projected facility needs for the Southern United Hockey Club would look like:
 - 2 full size synthetic hockey fields
 - Expanded change room facility provision to accommodate any additional fields.



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SITE SELECTION REPORT HOCKEY

Luke Armstrong, Mark Stockton & Bridget Draper

May 2021

community inspired leadership



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1. INTRODUCTION

1.1 Executive Summary

To provide an update on the Kingston Heath Reserve Hockey and Baseball sporting needs analysis and site feasibility discussion that investigates future facility provision for the Southern United Hockey Club.

This report presents key findings supporting a net increase of at least one additional hockey pitch to meet current and future sporting needs. A preliminary assessment of potential hockey sites has been included and is presented for discussion. These sites include Kingston Heath Reserve (existing 'home' of the clubs) and other sites located within the Green Wedge, including Hawthorn Football Club's Kennedy Community Centre planned development in Dingley.

1.2 Background

In response to the clubs' request, at the 27 May 2019 Ordinary Council Meeting, Council considered Notice of Motion No. 11/2019 – Cr Brownlees – Kingston Heath Reserve Sporting Precinct and resolved to:

1. *Endorse a staged approach with the planning for future hockey and baseball facilities that includes the:*
 - a) *Completion of a detailed baseball and hockey sporting needs analysis including the establishment of a Hockey and Baseball Working Group as outlined in Appendix 1;*
 - b) *Report back to Council on the outcomes and implications of this work.*
2. *Write to local and peak stakeholder hockey and baseball groups inviting them to participate upon a Hockey and Baseball Working Group;*
3. *Consider updating the Kingston Heath Master Plan, following the determination of a future direction for the Southern United Hockey Club and Cheltenham Baseball Club.*

The Sporting Needs Project Working Group has been established with representatives from the clubs and peak hockey and baseball associations.

Please see below a table of completed/progressed actions, pursuant to the staged approach (3 Stages) endorsed by Council.

Stage 1a - Situational and demand analysis (Update)	
Likely tasks	Status
Establish Sporting Needs Project Working Group and terms of reference, project scope and brief.	Complete
Review current and future participation trends	
Determine current and future facility utilisation schedule	
Review Club membership catchment	
Review of State Sporting Association Facility plans	
Facilities gap analysis.	
Develop facility component brief	
Clarify club future aspirations.	
Stage 1b – Assess impacts on passive open space users	
Undertake research and analysis of broader community passive open space needs and opportunities.	This analysis is to be concluded following more detailed site investigations within Stage 2
Assess the sporting needs against the broader usage profile of the reserve including the passive open space implications.	Refer above.
HOLD POINT – Check in with Councillors	

Before progressing to Stages 2 and 3 of the endorsed approach (refer below), a hold point was recommended. This hold point enables Councillors to provide feedback upon the findings of Stage 1 – The

Outcomes of the Sporting Needs Analysis and express views regarding the progress of Stage 2 & 3, as set out below:

Stage 2 - Facility analysis and suitability assessment.
<ul style="list-style-type: none"> • Identification of potential facility development sites. • Analysis of sites to support future sporting needs. • Design Development options (concept designs) <p>Prepare report including recommended actions which could include one or all of the following:</p> <ul style="list-style-type: none"> • Explore relocation of one or more clubs to an alternative/more suitable location which may include: Delta, Hawthorn FC, Other Reserves and/or Green Wedge, Multi use/co-location opportunities. • Maximise the facilities at the current location
HOLD POINT – Council consideration of findings and next steps.
Stage 3 – Kingston Heath Reserve Master Plan update
<p>Consider updating the Kingston Heath Master Plan, following the determination of a future direction for the Southern United Hockey Club and Cheltenham Baseball Club, as per stage one and two above.</p> <p>If a Master Plan update is supported, a detailed and broad consultation process would be undertaken and include stakeholders such as the Friends of Kingston Heath Reserve, local residents, passive users, schools, Benteigh Greens Soccer Club and other tenant sporting clubs.</p>

2. POTENTIAL HOCKEY SITES BEING EVALUATED

Potential sites being evaluated
Kingston Heath Reserve
Victory Road Site
Monash Uni Site
Delta Site
The Buggy Place Site
Hawthorn Site
Highett Recreation Reserve
Leslie Rd Site

3. SITE EVALUATION PANEL

Participants

The Site Evaluation Panel (SEP) assessed each site. Details on the officers who were members of the panel are contained within the table below.

Name	Position	Role
Bridget Draper	Manager, Kingston Active	Evaluation Panel Member
Mark Stockton	Team Leader, Kingston Active	Evaluation Panel Member
Luke Armstrong	Sportsground Coordinator	Evaluation Panel Member

4. SELECTION CRITERIA AND RATING SCALE

4.1 Qualitative Selection Criteria

Each site was assessed in accordance with the evaluation criteria set out in the matrix, comprising:

Criteria	Weighting
Catchment	20%
Land Suitability	30%
Site Area & Spatial Analysis	30%
Ownership & Site Value	20%

4.2 Rating Scale

Scoring scale used by the Site Evaluation Panel below:

Score	Definitive Answers	Value Judgement
0 – 2	Unacceptable Proposal	Unacceptable Option <ul style="list-style-type: none"> Only meets site specification requirements in a very minimal way Major reservations <i>Unacceptable level of risk</i>
3 – 4	Marginal Proposal	Marginal Option <ul style="list-style-type: none"> Unconvincing option Meets the site specification requirements in a very minimal way <i>Minor risk</i>
5 – 6	Acceptable Proposal	Acceptable Option <ul style="list-style-type: none"> Convincing and credible option Meets the site specification requirements <i>Generally, risk free</i>
7 – 9	Very Good Proposal	Appropriate Option <ul style="list-style-type: none"> Highly convincing and credible option Exceeds some of the site specification requirements Room for future expansion on site <i>Substantially risk free</i>
10	Superior Proposal	Excellent Option <ul style="list-style-type: none"> Extremely convincing and credible option Exceeds most of the site specification requirements <i>Totally risk free</i>


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5. SITE EVALUATION





5.1 Site Options

The following sites have been identified and assessed against site selection criteria as potential locations for future hockey facility development. The sites are shown below, including summary commentary.


Further site analysis is contained in section 5.2 of this report including; catchment, land suitability, site area and spatial analysis, ownership and site value commentary.

Kingston Heath Reserve 18,000 sqm Cheltenham Timeline: 0-3 years	Comments: Keeps club at their home, Council own the land, known site, potential to purchase land north to maintain open space.	Highett Reserve 15'000 sqm Highett Timeline: 0-3 years	Comments: Will require moving Archery, space for max 2 hockey pitches, existing carpark, Council owned land.
			

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Victory Road Site 31'000 sqm Clarinda Timeline: 3-6 years	Comments: Council owned land, lease for tenants finished maximum 2 years, good access for catchment, space to expand 3 rd field.	Monash Uni Site 45'000 sqm Clarinda Timeline: 3-6 years	Comments: Well sized land, allow for 3 rd field expansion, Melbourne Water drain, LSIO & SBO overlays, owned by Monash Uni. Unpaved access road.
			
Delta Site Up to 270'000 sqm Heatherton Timeline: Unlikely due to State Government acquiring land	Comments: Suburban Rail Loop Authority have identified site as preferred stable yards	'The Buggy Place' 97'000 sqm Heatherton Timeline: Unknown	Comments: Located behind Heatherton Rec, very close to Kingston Heath. Melb Water drain, LSIO overlay, privately owned site.
			

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Hawthorn Site 300'000 sqm (Hawthorn owned land) Dingley Timeline: 6-10 years	Comments: Hawthorn owned land, potential to create a reginal style facility with community accessible fields. Additional land acquisition would also provide further flexibility and opportunities to Council.	Leslie Rd Site 30,000 sqm Clarinda Timeline: 3-6 years	Comments: Private owned land, adjacent to Monash Uni site. Perhaps better suited for long term residential development.
 An aerial photograph showing a large area of land outlined in red. Two yellow stars mark specific locations within the red outline. The text 'Vic Roads Land' is placed near the left star, and 'Private Owned Land' is placed near the right star. The text 'Proposed Hawthorn FC Site' is centered within the red outline.		 An aerial photograph showing a rectangular area of land outlined in yellow. The area is adjacent to a residential area and a road.	

5.2 Site Evaluation Matrix

Site	Address	Size	Timeframe	Criteria Weighting	Catchment 20%	Land Suitability 30%	Site Area + Spatial Analysis 30%	Ownership + Site Value 20%	Score 100%
<u>Kingston Heath Reserve</u> <u>*current club home</u>	100 Farm Road, Cheltenham 3192	18'000 sqm **77'000sqm North of Kingston Heath land	0-3 years						
				Score	9	9	9	10	92%
				Comments	This is the clubs current home which falls within their catchment area.	Known site. Supports current sporting facilities including a hockey field. No known major issues. **North Kingston Heath unknown.	Fitting a 2nd Hockey Field would require displacing either open space or Baseball. Space available for potential 3rd field. **North Site would add more space to the reserve, allowing additional sporting fields as well as open space and a connection to Pietro Rd	Council owned and controlled park. Current sportsground usage. **North Kingston Heath is private land that will need to be purchased.	
<u>Victory Road Site</u>	52 - 60 Victory Road, Clarinda 3169	31'000 sqm	3-6 years						
				Score	8	6	7	9	73%
				Comments	South Road/Dingley Bypass provides a good connection to the club catchment.	Relatively flat land (3m fall over 280m). Current small dam on site. No known overlays.	Provides required sqm. Access from Victory Road. Rectangular area allowing for ideal facility layout. Limited space for a 3rd field.	Council owned and controlled park. Lease for agricultural use for up to 24 months (1+1)	
<u>Monash Uni Site</u>	1A Tully Road, Clarinda 3169	45'000 sqm	3-6 years						
				Score	8	6	9	5	71%
				Comments	South Road/Dingley Bypass good connection to the club catchment.	Relatively flat land (3m fall over 300m). Melbourne Water drain through NW of site. LSIO, SBO overlays. Access road unpaved.	Provides required sqm. Access from Leslie Road. Rectangular area allowing an ideal facility layout. Room for a 3rd field.	Owned by Monash University. Unsure of Uni ideas with the site.	

Site	Address	Size	Timeframe	Criteria Weighting	Catchment 20%	Land Suitability 30%	Site Area + Spatial Analysis 30%	Ownership + Site Value 20%	Score 100%
<u>Delta Site</u>	91 - 185 Kingston Road, Heatherton 3202	270'000 sqm	3-6 years						
				Score	9	8	10	6	84%
				Comments	Close proximity to Kingston Heath Reserve, provides a better road connection than Kingston Heath.	Has recently been identified as the preferred location for Suburban Rail Loop Authority stable yards	Provides required sqm. Delta master plans concept have already included a 2-hockey field setup. Room for supporting assets, access, carpark, etc. May be room for a potential future 3rd field.	Delta site was identified as Council's preferred sporting complex facility, however recent developments with the State Government has indicated other priorities for site.	
<u>The Buggy Place'</u>	433 - 453 Boundary Road, Heatherton 3202	97'000 sqm	3-6 years						
				Score	8	6	7	5	65%
				Comments	Very close proximity to Kingston Heath Reserve. Located behind Heatherton Rec Reserve. Good access from Boundary Road and Old Dandenong Road.	Very flat land. Unknown land quality, prior use as horse stud/training/mixed grazing and farming. LSIO overlay. Melbourne Water drain running along west boundary	Provides area for all facilities and space for a potential future 3rd Hockey Field.	Privately owned, site would need to be purchased.	

Site	Address	Size	Timeframe	Criteria Weighting	Catchment 20%	Land Suitability 30%	Site Area + Spatial Analysis 30%	Ownership + Site Value 20%	Score 100%
Hawthorn Site	94 Tootal Road, Dingley Village 3172	300'000 sqm	5-10 years						
				Score	9	6	9	6	75%
				Comments	10 mins further than Kingston Heath. Connection onto Dingley Bypass.	Mix of relatively flat and steeper land. ESA required. No known overlays.	Site itself provides needed sqm, though this ultimately depends on what space is left over once all AFL facilities are provided for. Additional land acquisition would provide further flexibility for potential regional facility.	Owned by Hawthorn Football Club. Primary AFL use.	
Highett Recreation Reserve	35 Turner Road, Highett 3190	15,000 sqm	0-3 years						
				Score	9	8	7	10	83%
				Comments	10 mins north-west from Kingston Heath. Closer to Hockey Club catchment	Flat land. No known overlays.	Site provides necessary sqm for 2 hockey pitches, though would not allow for a 3 rd field. These facilities may impose limits to expanding Waves in the future on the North side. Current large carpark	Council owned and run site. Current sports usage. Currently used by the Moorabbin Archery Club which would need to be relocated.	

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Site	Address	Size	Timeframe	Criteria Weighting	Catchment 20%	Land Suitability 30%	Site Area + Spatial Analysis 30%	Ownership + Site Value 20%	Score 100%
<u>Leslie Rd Site</u>	Leslie Rd, Clarinda 3169	30,000 sqm	3-6 years						
				Score	8	6	6	5	62%
				Comments	South Road/Dingley Bypass good connection to the club catchment.	Relatively flat land (3m fall over 300m). Access road unpaved.	Provides required sqm. Access from Leslie Road. Rectangular area allowing an ideal facility layout. Room for a 3rd field.	Privately owned land	

5.3 Site Evaluation Scoring Matrix

HOCKEY SITE SELECTION																	
		KINGSTON HEATH		VICTORY ROAD		MONASH UNI		DELTA SITE		THE BUGGY PLACE		HAWTHORN SITE		HIGHTT RESERVE		LESLIE RD SITE	
QUALITY ASSESSMENT																	
Quality - % Weighting of Total Score	100%																
Site Evaluation Selection Criteria	Criteria % Weighting	Mark out of 10	Score	Mark out of 10	Score	Mark out of 10	Score	Mark out of 10	Score	Mark out of 10	Score	Mark out of 10	Score	Mark out of 10	Score	Mark out of 10	Score
Catchment	20%	9	18.0%	8	16.0%	8	16.0%	9	18.0%	8	16.0%	9	18.0%	9	18.0%	8	16.0%
Land Suitability	30%	9	27.0%	6	18.0%	6	18.0%	8	24.0%	6	18.0%	6	18.0%	8	24.0%	6	18.0%
Site Area & Spatial Analysis	30%	9	27.0%	7	21.0%	9	27.0%	10	30.0%	7	21.0%	9	27.0%	7	21.0%	6	18.0%
Ownership & Site Value	20%	10	20.0%	9	18.0%	5	10.0%	6	12.0%	5	10.0%	6	12.0%	10	20.0%	5	10.0%
Weighted Quality Score			92.0%		73.0%		71.0%		84.0%		65.0%		75.0%		83.0%		62.0%
FINAL RANKING		1		5		6		2		7		4		3		8	
Superior Proposal (9 - 10)																	
Very Good Proposal (7 - 8)																	
Acceptable Proposal (5 - 6)																	
Marginal Proposal (3 - 4)																	
Unacceptable Proposal (0 - 2)																	

6. COST ESTIMATES

<u>Proposed Site</u>	<u>Estimated Land Acquisition Cost</u>	<u>SINGLE PITCH</u> <u>Estimated Construction Costs</u>	<u>TWO PITCHES</u> <u>Estimated Construction Costs</u>
	(value of land yet to be determined)	(including hockey field, lights, pavilion, carpark and baseball etc.)	(including hockey field/s, lights, pavilion, carpark and baseball etc.)
*Kingston Heath Reserve	N/A	*\$3-4.5 Million (pavilion not planned with single pitch)	\$8-10.5 Million
Victory Road	N/A	\$8-10 Million	\$12 Million
Monash Uni	Yes	\$8-10 Million	\$9-12 Million
Delta Site	Yes	\$8-10 Million	\$9-12 Million
The Buggy Place	Yes	\$8-10 Million	\$9-12 Million
Hawthorn Site	Yes	\$8-10 Million	\$9-12 Million
Highbett Recreation Reserve	N/A	\$6-9 Million	\$8-11 Million
Leslie Road	Yes	\$8-10 Million	\$9-12 Million

*Single pitch would be considered as an additional field to existing hockey field.
An additional pavilion is not proposed as one already exists on site.

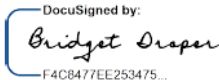
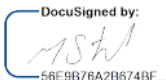

7. SITE SELECTION CONCLUSION

The site assessment has determined that Kingston Heath Reserve is the preferred location for the development of additional hockey facilities. The benefits offered at Kingston Heath Reserve include:

- As the existing location of the Southern United Hockey Club, the site strengthens the Club's existing catchment
- Sporting use is consistent with the current zoning and use of the site
- Kingston Heath Reserve is owned by Council and its development does not incur property acquisition costs associated with privately owned properties
- Council can progress the timely development of sporting facility improvements at Kingston Heath Reserve, which will support the needs of the Southern United Hockey Club
- The Kingston Heath Master Plan has determined the primary strategic focus of the Reserve as an area for active sporting pursuits, namely hockey, soccer, baseball and cricket. A potential site layout shows the repurposing of the existing baseball facilities to accommodate additional hockey facilities at the site
- Council has invested significant funding to develop a hockey facility at Kingston Heath Reserve, recently \$400,000 has been allocated to the renew of the sports lighting
- In addition to meeting current hockey needs, there is capacity at Kingston Heath Reserve for a third hockey pitch to meet future sporting needs (potentially >2036)

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8. ENDORSEMENT BY SITE EVALUATION PANEL

Name	Signed	Date
Bridget Draper	 F4C8477EE253475...	12/5/2021
Mark Stockton	 56E9B76A2B674BF...	12/5/2021
Luke Armstrong	 630F97443B624B2...	12/5/2021

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PROJECT: KINGSTON HEATH RESERVE HOCKEY AND BASEBALL REDEVELOPMENT

PROJECT NO:	10565-00	SKETCH TITLE: HOCKEY REDEVELOPMENT - STAGE 1
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SKETCH NO: SE_10565_SKT_005

REV: A

DATE: 12/05/21

DRAWN BY: BJS

SCALE: N.T.S.

26 July 2021

Agenda Item No: 10.4

KENNEDY COMMUNITY CENTRE PROPOSAL - HAWTHORN FOOTBALL CLUB

Contact Officer: Mark Stockton, Team Leader Active Kingston

Purpose of Report

To seek Council endorsement to partner with the Hawthorn Football Club and contribute funding towards community and sporting benefits at the community oval and pavilion which forms part of the planned Kennedy Community Centre in Dingley.

Disclosure of Officer / Contractor Conflict of Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council:

1. Endorse the Memorandum of Understanding (MOU) (Appendix 1) and authorise the CEO to execute the MOU to progress Council's capital commitment to the planned community oval and pavilion at the Kennedy Community Centre in Dingley Village; and
2. Endorse in principle the financial contribution of \$5M to the project subject to Council receiving a further report detailing:
 - a) A legally binding agreement to confirm funding and community access and use of the community oval and pavilion at the Kennedy Community Centre; and
 - b) A capital contribution allocation of \$5M towards the community oval and pavilion at the Kennedy Community Centre in Dingley Village in the Long-Term Financial Strategy spread over the 22/23 and 23/24 financial years, subject to State Government funding being received by Hawthorn Football Club for the project.

1. Executive Summary

With funding sources provided from Hawthorn Football Club (HFC), Federal and State Governments and Council, there are opportunities for community and sporting outcomes for the Kingston community at the planned Kennedy Community Centre located in Dingley.

The provision of the planned community oval and pavilion is strongly aligned to Council's Sport and Recreation Strategy and presents an investment opportunity for Council consideration and endorsement. With community access and use similar to that of a Council controlled oval and pavilion, with facilities meeting the peak sporting body requirements and providing agreed minimum hours of access per week of between 20 - 30 hours (exact hours to be determined through further review of community sporting needs), the requested \$5M contribution is assessed as having a strong value proposition for Council and the community.

The community oval and pavilion use is to be shared between HFC's proposed AFLW women's team and community club and associations. With considerable spectator facilities, including onsite car parking, the community oval and pavilion will be a prominent and high-quality location to conduct large feature events such as local clubs AFL competitions and finals games.

With all partnerships there are generally risks that are required to be identified, assessed and managed. The establishment of a MOU as an initial strategic statement of intent enables Council and HFC to partner for the purpose of confirming future and important matters including (but not limited to) community access and management arrangements, roles and responsibilities, risk management, project funding, project governance and funding obligations and milestones.

Discussions will continue with Hawthorn Football Club on the potential future expansion of their community facilities proposal including the high-ball stadium, as well as other sporting needs within the city in addition to AFL.

2. Background

Hawthorn Football Club is seeking for Council to partner in the planned Kennedy Community Centre, located in Dingley. Specifically, the Hawthorn Football Club has identified opportunities for Council and the Kingston community to benefit through community access to a new community oval and pavilion facility.

The new community oval and pavilion facility is a part of the planned facilities at the Kennedy Community Centre. Other facilities proposed to be delivered in future stages include:

- Pavilion and function spaces for local events;
- Indoor high-ball stadium, with four basketball / netball courts with the scope to expand to up to 12 indoor courts in the medium to long term;
- Open, green public space, increasing the opportunity for passive recreation providing access to walking and bike paths connecting Dingley to Karkarook Park.

Hawthorn Football Club has secured a funding commitment of \$15M from the Federal Government and is expected to provide in excess of \$30M of its own funding towards the Kennedy Community Centre proposal. In the State Budget delivered on the 20 May 2021, funding from the Victorian Government was committed to the Kennedy Community Centre, subject to AFLW expansion plans.

Hawthorn Football Club purchased the Tootal Road site in Dingley many years ago and has been remediating it for future development (noting a large portion of the site was formally used as a landfill). Whilst the Hawthorn Football Club has always planned to relocate its football and administration functions to the Dingley site, the intention for other uses of the site have varied. Presently Hawthorn Football Club is seeking to develop the Kennedy Community Centre at the site over stages to provide for community sport, namely AFL, basketball and netball.

Hawthorn Football Club has been granted a permit to develop the site and the Planning Scheme amendment has been approved by the Minister with minor variations which are administrative in nature.

This report presents the opportunity for Council to provide additional community and sport outcomes for the Kingston community through a strategic partnership with the Hawthorn Football Club to deliver a community oval and pavilion at the planned Kennedy Community Centre.

3. Discussion

3.1 Council Plan Alignment

Goal 1 - Our well-planned, liveable city supported by infrastructure to meet future needs
Direction 1.1 - Intergenerational land use planning for a sustainable community.

3.2 Consultation/Internal Review

There is a high level of government and community awareness relating to the planned Kennedy Community Centre. Officers understand the Hawthorn Football Club has been actively liaising with potential users/tenants of the planned community oval and pavilion, including the Southern Metro Junior Football League, Southern Netball Football League, and other local sporting clubs.

3.3 Operation and Strategic Issues

Community Oval and Pavilion - Sports fields

Council's Sport and Recreation Strategy (2018) recognises the need for additional playing fields to meet the projected growth in AFL, cricket and soccer activity. Furthermore, it recommends that "*Council purchase of land or long-term leases within the Green Wedge (north) for multiple sports uses*".

Whilst not addressed by the Sport and Recreation Strategy, Kingston does not have a regional AFL facility to cater for large events, such as finals and feature events. With the growth of AFLW and increased use of Moorabbin Reserve, the local AFL clubs would benefit from a purpose-built facility with appropriate supporting infrastructure including spectator stands and car parking.

Council's expectations with the community oval and pavilion would be to host local sporting clubs junior and senior training and competition, and provide the venue for finals. In addition to meeting the required sporting facility standard, the facility would operate similar to a local Council facility. The community oval and pavilion facilities would be required to provide a minimum 20 - 30 hours of community use per week in addition to the HFC AFLW usage, the exact hours to be determined through further review of community sporting needs and agreement between Council and the Hawthorn Football Club. Outside of scheduled usage, the oval will be accessible to the broader community increasing the opportunity for passive recreation providing access to walking and bike paths connecting Dingley to Karkarook Park.

There has been unprecedented growth in female football, with Australian Rules Football now one of the fastest growing female sports in Victoria. The promotion of women's participation in sport is a strategic priority and the success and growth in the AFLW has been exciting and inspiring. Being able to adequately support this growth requires further investment into community sporting infrastructure. It is proposed by Hawthorn that the community oval and pavilion would be shared with its future AFLW team, for training and competition activities.

Recent developments within Kingston indicate the cost of a new local level community oval and pavilion facility would be within the range of \$10M and \$15M, subject to existing ground conditions.

3.3.1 The Partnership – Proposed Memorandum of Understanding (MOU)

Moving forward with a proposed partnership, a draft MOU has been prepared. The MOU seeks to define the strategic intent of the partnership, roles and responsibilities and benefits for the Kingston community.

Hawthorn Football Club project representatives are supportive of, and have endorsed, the attached MOU.

The MOU will assist to inform the development of an agreement for community use and access. Other key aspects of the MOU include:

- to partner in the design, delivery, and operation of the community oval and pavilion facilities for community use
- establishing a clearly defined project governance structure
- agree defined hours of community use during the week (20-30 hours per week)
- that Council will play an active role with the seasonal allocation and coordination of the community oval and pavilion to provide for ongoing community use of those facilities in conjunction with HFC and other nominated partners
- HFC's responsibility for all ongoing maintenance, renewal and operational costs
- community use by clubs would be charged at similar seasonal allocation fees charged by Council
- confirmation of adherence to Council policies in particular Ecologically Sustainable Development (ESD) principles and the Gambling Policy 2020-24. Hawthorn Football Club has confirmed that there will be no Electronic Gaming Machines (EGMs), in line with their approved Planning Permit
- commitment to ongoing reporting to clear agreed Key Performance Indicators (KPIs) and targets (to be set and agreed to the satisfaction of Council)
- ensure that facilities meet the necessary State sporting guidelines for the respective sports, including (but not limited to) sports fields, pavilion, public toilets, sports lighting, fencing, coaches/official boxes, scoreboards, car parking and traffic management
- in partnership with Council, explore other potential sport and recreation development opportunities at the Hawthorn Football Club's Dingley site

Should the MOU and funding commitment be endorsed by Council, the next step would be to develop a legally binding formal Funding and Community Access Agreement to be entered into by both parties, which would be the instrument for the release of agreed funding contribution by Council and community use.

4. Conclusion

4.1 Environmental Implications

Council would seek that the Hawthorn Football Club proposed development minimises its impact on the environment.

An additional sport ground and associated facilities built on the Kennedy Community Centre site reduces the impact on Council's open space and the requirement to potentially purchase more land in the future to accommodate the growth in demand for sport in Kingston.

4.2 Social Implications

There is considerable potential to achieve enhanced sporting and recreation outcomes for Kingston and the broader region through a partnership with Hawthorn Football Club and development of its Dingley site. This includes future opportunities for additional local and regional community sporting outcomes.

4.3 Resource Implications


Council's funding of \$5M towards the community oval and pavilion can be provided within its Long-Term Financial Strategy in the 22/23 and 23/24 financial years.

4.4 Legal / Risk Implications

With all partnerships there are generally risks that are required to be identified, assessed, and responded to. For Council to partner with the Hawthorn Football Club and provide the requested capital contribution, the necessary due diligence would need to be completed and appropriate agreement and project milestones and standards developed.

The establishment of a MOU, as an initial strategic statement of intent, enables Council and Hawthorn to partner for the purpose of confirming future and important matters including (but not limited to) community access and management arrangements, roles and responsibilities, risk management, project funding, project governance and funding obligations and milestones.

Appendices

Appendix 1 - Memorandum of Understanding between Council and Hawthorn Football Club (Ref 21/164739)  [Download](#)

Author/s:	Mark Stockton, Team Leader Active Kingston
Reviewed and Approved By:	Bridget Draper, Acting General Manager City Assets and Environment Samantha Krull, General Manager City Assets and Environment

10.4

KENNEDY COMMUNITY CENTRE PROPOSAL - HAWTHORN FOOTBALL CLUB

- 1 Memorandum of Understanding between Council and
Hawthorn Football Club 547

Memorandum of Understanding

This Memorandum of Understanding (MOU) is dated [insert date] and is made between

KINGSTON CITY COUNCIL
of 1230 Nepean Highway
Cheltenham VIC 3192
(Council)

AND

HAWTHORN FOOTBALL CLUB LIMITED
ACN 005 068 851
c/- of 3/2 Stadium Circuit
Mulgrave VIC 3170
(HFC)

(the Parties)

INTRODUCTION

- A. The Parties are interested in working together in the development of the community oval and pavilion within the Kennedy Community Centre precinct for community use, located on Tootal Road Dingley (**Project**).
- B. The Parties acknowledge further discussions will occur in relation to other community sporting facilities to be located at Dingley in the municipality of Kingston to benefit the Hawthorn Football Club (**HFC**) and the Kingston wider community and will be the subject of further agreement.
- C. This MOU sets out the initial relationship between the Parties as well as the respective rights and obligations of each Party regarding the Project.

1. NON-BINDING

- 1.1. This MOU is not intended to be legally binding but is intended to document the expectations of each Party and is not intended to create a partnership, joint venture, agency, or any type of fiduciary relationship between the Parties.
- 1.2. Notwithstanding the non-binding nature of this MOU, each Party is expected to act in good faith and will use their best endeavours to achieve the Project and to give effect to the terms of this MOU.
- 1.3. Nothing in this MOU affects any other agreement(s) that may exist between the Parties as at the date of this MOU.
- 1.4. Following finalisation of this MOU, a formal agreement incorporating funding and community access for use of the Kennedy Community Centre will be developed and entered into by both Parties as the instrument for the release of the agreed funding commitment by Council (**Funding and Community Access Agreement**).

2. TERM

- 2.1. This MOU is to commence on [insert date – e.g. following resolution of Council]
- 2.2. This MOU ends [end date / terms e.g. in line with the formal Funding and Community Access Agreement.]

3. PURPOSE AND FUNDING

- 3.1. The overall purposes of the MOU are:
 - (a) that the Parties wish to partner in the design, delivery, and operation of the community oval and pavilion facilities in the Kennedy Community Centre precinct (**Stated Facilities**) for community use and access; and
 - (b) the Council desires to play an active role with the seasonal allocation and coordination of the Stated Facilities to provide for ongoing community use of those facilities in conjunction with HFC and other nominated partners.
- 3.2. To achieve the purposes stated in clauses 3.1 and 3.2, Council commits to make a financial contribution to HFC towards the Project of [\$5M] to contribute towards the development and use of the community oval and pavilion to ensure community use. This funding commitment is subject to; the details set out in the legally binding formal Funding and Community Access Agreement, a Council resolution accepting of this formal Agreement; and subject to State Government funding provision.

4. SCOPE

- 4.1. To achieve the Project, following the commitment to the MOU, a working group comprising of Council officers, HFC and others (as required) will be established (**Working Group**) to:
 - (a) develop and agree to terms of reference and a governance structure of the Parties to guide it in achieving the purposes set out in this MOU;
 - (b) finalise and present the Funding and Community Access Agreement to Council and the HFC for execution;
 - (c) design and consider the personnel relevant for the various other phases of the Project including design and construction and ongoing operational use of the Stated Facilities; and
 - (d) meet as required to coordinate and review the ongoing operational aspects of the Stated Facilities.
- 4.2. The overall purpose of the Working Group is to provide advice and guidance into the development, construction and use of the Stated Facilities to achieve the purposes set out in this MOU.
- 4.3. The Working Group commit to:
 - (a) the development and use of the Stated Facilities to achieve between 20 and 30 hours per week of community use for local training and competition, in addition to HFC AFLW; and
 - (b) if the Stated Facilities are not being used as in (a) above or for HFC AFLW, that the use be broadened to general community access.
- 4.4. It is desired that the Stated Facilities will include:
 - (a) a new AFL sport field 165m x 135m (boundary line to boundary line), including (but not limited to) a sports oval, pavilion, public toilets, sports lighting, fencing, behind goal netting (if required), coaches/official boxes, electronic scoreboard and maintenance/emergency access;

- (b) a new sports field (LED) lighting to 200 lux level;
- (c) a new pavilion incorporating (but not limited to):
 - i. unisex change rooms/amenities;
 - ii. umpires/referees unisex change room/amenities;
 - iii. first aid room;
 - iv. kitchen/canteen;
 - v. storage;
 - vi. office space;
 - vii. accessible public toilets;
 - viii. reflecting the minimum AFL Preferred Facility Guidelines for a regional facility and subject to approval by Council;
 - ix. adequate car parking; and
 - x. landscaping.

5. ROLE OF THE COUNCIL

5.1. The role of Council will be to:

- (a) Project development phase – As a key member in the Working Group(s), approve agreed milestone payments set out in the Funding and Community Access Agreement; and
- (b) Design and construction phase – Participate as a key member in relevant project groups (such as funding working groups) including the Project Control Group; and
- (c) Operation phase – As a key member on the Working Group(s), monitor and ensure implementation of the agreed community use as set out in the Funding and Community Access Agreement.

6. ROLE OF HFC

6.1. The role of HFC will be to:

- (a) work in partnership with Council in the design, delivery, and operation of the community oval and pavilion facilities in the Kennedy Community Centre precinct for community use;
- (b) ensure Council plays an active role with the seasonal allocation and coordination of the Stated Facilities to provide for ongoing community use of those facilities in conjunction with HFC and other nominated partners;
- (c) allocate between 20 and 30 hours of community use for local training and competition per week in the Stated Facilities, in addition to HFC AFLW;
- (d) ensure that if the Stated Facilities are not being used for allocated community use in accordance with 6.1(c) of this MOU, that the use be broadened to allow general community access;
- (e) meet all associated Project costs, including (but not limited to) site investigations, design development, construction, and project management;
- (f) meet all ongoing Project maintenance, renewal and operational costs associated with the Kennedy Community Centre;

- (g) seek to implement Council's Environmental Sustainability Policy Commitments in the development of the Project;
- (h) ensure the design and use of Stated Facilities are in alignment with AFL policies and guidelines and Council policies including the Gambling Policy 2020-2024 and its reference to Electronic Gaming Machines;
- (i) achieve all planning and regulatory approvals associated with the Project;
- (j) provide Council with the surety of investment by sharing elements of the business and funding model that identifies the enhanced community sporting outcomes;
- (k) report annually against the Funding and Community Access Agreement, including indicators of success and performance targets; and
- (l) share with Council relevant elements of the project management plan, project governance structure and communication strategy where applicable to ensure Council's interests are represented and transparency of messaging and joint communication is achieved.

7. STANDARDS AND GUIDELINES

- 7.1. The Parties agree that the following Australian Standards/Guidelines, as a minimum, are to be met in the delivery of the Project:
- (a) standards for field dimensions as described in the AFL and Cricket Facility Guidelines;
 - (b) Australian Standards for Sports Lighting - Australian Rules Football training (Series 2560.2.3) - Lighting infrastructure to be built with the provision to enable future lighting upgrades (250 lux); and
 - (c) construction and maintenance of the sports field responds to user needs and usage levels and meets relevant AFL standards in relation to surface stability, hardness, traction, and consistency.

8. DISPUTE RESOLUTION

- 8.1. Where an event or circumstance causes a disagreement between the Parties, or if an issue arises in relation to this MOU, the Parties will observe the following escalation protocol:
- (a) the Parties agree that they will seek to resolve the matter at the Working Group;
 - (b) if the resolution at the Working Group cannot be achieved, then the escalation pathway is:
 - i. initially the General Managers (**Representatives**) from each Party will seek to resolve this matter;
 - ii. if the matter is not resolved by the Representatives within 10 business days, or such later time as agreed between the Parties, the matter will be escalated to the CEO of each Party for resolution.
- 8.2. The Parties agree that despite the existence of a dispute of any nature, each Party must continue to perform their obligations under this MOU during the Term.

9. AMENDMENT AND TERMINATION

- 9.1. This MOU may be amended only by written agreement signed by each Party to the MOU.
- 9.2. Either Party may terminate the MOU by giving the other Party one months' notice in writing.

- 9.3. If the MOU is terminated, or the purposes of the MOU have and will or cannot be met, any funding provided by Council for the Project is to be refunded on a pro-rata basis as linked to the Funding and Community Access Agreement.
- 9.4. The Parties agree to hold each other harmless and release each other from any liability in relation to this MOU should the MOU be terminated.

10. COSTS

- 10.1. Each Party bears their own costs in relation to the drafting, negotiating, and executing of this MOU.

EXECUTED BY THE PARTIES

[insert clause]

DRAFT

26 July 2021

Agenda Item No: 10.5

PRE-SCHOOL DEVELOPMENT LEASING PROPOSAL AT 87 DAVEY STREET, PARKDALE

Contact Officer: Peter Gillieron, Team Leader Property Services
Juli Stickler, Senior Facilities Development and Planning Coordinator
Donna Feore, Team Leader Children's Services Partnerships

Purpose of Report

For Council to consider granting a long-term lease to the Elenora Pre-School Association Inc (the Association) over Council's land at 87 Davey Street Parkdale 3195 (the subject land) for the purposes of a pre-school redevelopment. The subject land is currently leased to the Association for the purpose of outdoor space used in conjunction with the pre-school facility that the Association owns and operates on the adjoining property at 85 Davey Street Parkdale 3195.

An aerial print of the two adjoining properties is shown below



Disclosure of Officer / Contractor Conflict of Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council:

1. Authorise officers to give public notice, in accordance with Council's Community Engagement Policy, on Council's intention to grant a lease to the Elenora Pre-School Association for an initial term of seven (7) years plus two further terms each of seven (7) years over Council's property at 87 Davey St Parkdale 3195 on the terms and conditions outlined in this report, and to invite submissions;
2. Endorse that in the instance that submissions are received that require Council consideration, a committee will be convened, comprising of the Mayor, the Deputy Mayor, Ward Councillor, General Manager City Assets and Environment, Manager Property & Arts and Team Leader Property Services;
3. Endorse that in the instance that no submissions are received that require Council consideration, grant a lease to the Elenora Pre-School Association on the terms and conditions outlined in the report; and
4. Authorise officers to continue progressing the tender for the installation of a modular facility at 85-87 Davey Street, Parkdale, including a future report to Council of the outcome of the tender process.

1. Executive Summary

The Association is the owner of the property at 85 Davey Street Parkdale 3195 and operates a pre-school facility from the property. Council has supported the Association by granting it successive leases for the Council owned adjoining property at 87 Davey Street Parkdale 3195 for purposes of a licenced outdoor space servicing the pre-school.

Given the Victorian State Government's announcement to fund three-year-old kindergarten from 2022, a shortfall in sessional kindergarten places has been identified in Parkdale and Mordialloc. In response to this the Association has been successful in a capital grant of \$742,000 from the State Government's Department of Education and Training (DET), to which the Association has confirmed a contribution of \$75,000 for the purpose of installing a new modular facility that will provide an additional indoor education space. The additional space will allow for greater service delivery capacity to support the increased provision of funded three-year-old sessional kindergarten services.

Partnership between the Association and Council, together with funding from the State Government, enables a proactive response to the anticipated increased demand for funded kindergarten places by increasing the capacity of facilities.

Given the complexity of the project, the Association has requested that Council manage the project, which has been supported by DET. In response, there is a three-way agreement between DET, the Association, and Council to novate DET's Common Funding Agreement from the Association to Council. In addition to this, Council is considered the more appropriate organisation to oversee the fund management and construction of the additional facility under a tender arrangement.

The Association has requested that Council grant the Association a new twenty-one-year lease. The proposal will require Council to agree to terminate the existing lease it granted to the Association and to grant the Association a new longer-term lease to cover the proposed development.

2. Background

A chronological history leading to the current proposal is shown below:

October 1994

Mordialloc (now Kingston) Council grants the Association a twenty-five-year lease over Council's property at 87 Davey Street Parkdale for the purpose of a playground at an annual rental of \$1.

November 1995

The Association becomes the owner of the property at 85 Davey Street Parkdale 3195 and operates a pre-school facility from about that time.

October 2018

State Government funding is announced to support 15 hours of funded 3-year-old sessional kindergarten with a phased implementation approach that will transition to full delivery State-wide by 2029.

January 2020

Kingston Council grants the Association a nine-year lease over Council's property at 87 Davey Street Parkdale for the purpose of a playground at an annual rental of \$104.

April 2020

The Association approached Council, via Children & Family Services, to discuss partnership opportunities in support of future capacity development in recognition that the forthcoming funded three-year-old sessional kindergarten demand is likely to exceed supply. In-kind technical support was provided during concept development to confirm the feasibility of the proposal.

June 2020

Council, via Property Services, issued an Approval in Principal for proposed capital works at 85-87 Davey Street.

December 2020

The Department of Education & Training and the Association execute a Funding Agreement for the Department to fund the redevelopment proposal of \$742,000.

February 2021

Kingston Council, acting as the Responsible Authority under the Kingston Planning Scheme, issues Planning Permit No. 2020/625, the Permit allowing,

"the development of land (i.e. 85-87 Davey St Parkdale 3195) for a single storey building in association with an existing pre-school-child care centre and a reduction to the carparking requirements under clause 52.06 of the Kingston Planning scheme."

Plans have not been submitted for endorsement but will be based on the development shown below.



2021-05-12.

Council, under delegation, executes the Deed on Novation together with the Association and Department that transfers the funding under the Capital Funding Grant to Council.

3. Discussion

3.1 Council Plan Alignment

Goal 3 - Our connected, inclusive, healthy and learning community
Direction 3.3 - Enhance the wellbeing and participation of families and children

The proposal to install a new modular facility will create space for an additional 33 licenced kindergarten places. Support of the Association through provision of a twenty-one-year lease and project delivery of the proposed facility should be considered within the broader context of early years infrastructure requirement throughout the municipality and the forecast increased demand for additional funded three-year old kindergarten places in Parkdale and Mordialloc.

3.2 Consultation/Internal Review

Sections 190/223 (now repealed) of the Local Government Act 1989 would have previously covered this leasing proposal to the Association. Under the previous legislation, Council would have been required to give public notice of its intention to grant a lease to the Association and to allow twenty-eight days for anyone to lodge a submission. Council would have supported the notification by sending a copy of the public notice to the properties in the immediate vicinity of the subject property. Council would have been required to consider any submissions lodged in response to the public

notice before deciding to grant, or not to grant, the lease. Council would also be required to allow submitters to speak in support of their submission.

The Local Government Act 2020 has been promulgated and sections in the Act as they relate to leasing of property come into effect from 1 July 2021. Section 115 now replaces the former section 190. The new section requires that Councils must undertake a community engagement process, in accordance with its Community Engagement Policy, for relevant leases where, as in this case, the proposed lease is for ten years or more.

Council's Community Engagement Policy was adopted on 28 October 2019. The Policy is not prescriptive but is based on the following goals:

- Inform.
- Consult.
- Involve.
- Collaborate.
- Empower.

The public notice/submissions previously undertaken by Council under the 1989 Act are consistent with the Inform/Consult Goals of Council Policy and should be undertaken again as the appropriate community engagement for this leasing proposal.

Council's Community Buildings, Children's & Family Services, and Property Services Departments have been working collaboratively with the Association and are in support of the recommendations in this Report.

3.3 Operation and Strategic Issues

3.3.1 Complexity of Project

The proposed development involves construction of a modular building adjacent to the existing pre-school facility, and will be predominantly sited on 87 Davey Street, currently subject to a lease as outlined in 3.3.2.

As requested by the Association, agreement was reached that Council is best placed to manage the project due to the level of complexity and risk i.e. the design, tender, and installation of the modular facility. The Deed of Novation, between the three parties, gave effect to that agreement.

3.3.2 Term of proposed lease

The Association has requested a new twenty-one-year lease to justify the financial investment of the new modular facility. The proposed lease term is appropriate and consistent with Council's 2018 Lease and Licence Policy that:

".....provides for lease terms up to 21 years to occupiers of dedicated use facilities who have historically established and built the facilities or make a significant financial contribution to the redevelopment of the property, stable administration, and foreseeable proper fit with Council's strategic direction".

3.3.3 Provision of early years infrastructure

The requirement to increase the capacity of early years facilities is largely in response to changes the way the Victorian State Government funds sessional kindergarten as previously noted in a report provided to Councillors in March 2021 (IC21/125 - Funded three-year-old kindergarten and implications for grant income and capital projects).

In the Parkdale and Mordialloc suburbs there is a predicted short fall of 41-174 funded kindergarten places between 2021 and 2029, which is largely due to funding changes and anticipated population increases.

Partnership with a third-party, such as the Association, offers an opportunity to complement and off-set the requirement for Council capital investment in the provision of additional early years infrastructure. The funding and project delivery partnership evident between the Association and Council provides an opportunity for a pilot project, that could be duplicated in the event other community-based kindergartens, in partnership with Council, identify a strategic need to increase capacity.

3.3.4 Program of works

A modular design was determined to be the most suitable design response for this site, offering a cost-effective means of providing additional early years capacity, with minimal disruption to service delivery and neighbouring residential amenity during construction phase and adherence to the timeframe required for project delivery under the terms of the grant funding.

3.4 Options

3.4.1 Commence public consultation

This option, which is recommended, is to commence the processes under Council's Community Engagement Policy leading to Council considering granting a long-term lease to the Association for the purpose outlined in this Report.

The option is supported by

- Planning permit.
- Capital funding agreement.
- Deed of novation.

4. Conclusion

4.1 Environmental Implications

Design development of the proposed building has been done in accordance with the *Environmentally Sustainable Design Policy for Community Buildings*.

4.2 Social Implications

Addressing the forecast shortfall in sessional kindergarten supply in partnership with a third-party, such as the Elenora Pre-School Association, is a proactive response to community led capacity development. Provision of in-kind technical expertise during design development and project delivery has provided the Association an opportunity to respond to an identified community need, offering families increased access and choice of a funded kindergarten placement.

4.3 Resource Implications

The total cost of the project has been estimated at \$817,000 and includes the State Government's contribution of \$742,000 and the Association's contribution of \$75,000. The funding arrangements will be reviewed once tenders have been received and evaluated. This will be elaborated in more detail as part of the proposed tender report to Council later in 2021.

The proposed rental of \$104 pa plus GST is appropriate. A pre-school is classified as a Group 1 tenant under Council's 2018 Lease and Licence Policy where the Council is committed to providing access to property for the benefit of the Kingston community.

4.4 Legal / Risk Implications

The documentation to give effect to this leasing proposal will comprise:

An Agreement to Lease: The Agreement, to be signed by Council and the Association, will outline that if Council constructs the proposed pre-school development in accordance with the endorsed plans in Planning Permit KP-2020-625 then the parties will execute the lease attached to the Agreement as annexure "A". The Agreement will also refer to, and have attached as other annexures, the Common Funding Agreement, the deed of Novation, and the Planning Permit. The Agreement essentially covers the development of the proposal.

Lease (attached to the Agreement): The Lease will be signed by the parties once the development has been completed and is ready for occupation. The lease will define the terms and conditions of the occupancy including, but not limited to, the term of twenty-one-years, rental, maintenance obligations, and any service obligations.

Author/s:	Peter Gillieron, Team Leader Property Services Juli Stickler, Senior Facilities Development and Planning Coordinator Donna Feore, Team Leader Children's Services Partnerships
Reviewed and Approved By:	Mauro Bolin, General Manager Community Sustainability Samantha Krull, General Manager City Assets & Environment

26 July 2021

Agenda Item No: 10.6

52 AND 60 VICTORY ROAD, CLARINDA - SHORT TERM OCCUPANCY OPTIONS

Contact Officer: Michael Major, Property Services Coordinator

Purpose of Report

The purpose of this report is to provide Council with recommendations on the short-term future land use tenancy arrangements of Council owned properties situated at 52 and 60 Victory Road, Clarinda.

Disclosure of Officer / Contractor Conflict of Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council offer the sitting tenants at 52 and 60 Victory Road, Clarinda new leases for a maximum tenure of two years whilst a definitive future use has been identified for the land holding.

1. Executive Summary

The City of Kingston is the freehold owner of 52 and 60 Victory Road, Clarinda, having purchased the properties following a resolution of Council in November 2018. The properties are contained within two Certificates of Titles, having a combined land area of 3.02 hectares (approx.). Improvements to the land include a four-bedroom brick veneer dwelling occupied by a residential tenant and a second weatherboard dwelling in derelict condition. The balance of the land holding is leased to a local market gardener (Butler Market Gardens (Aust) Pty Ltd) for agricultural production.

The purpose of this report is to provide Council with recommendations on the immediate to short term future land use of 52 and 60 Victory Road, Clarinda, noting the parcels' strategic fit with the adjoining and proposed Victory Road Park (former landfill being rehabilitated) and Council's future land use strategies that align with intergenerational land use planning for a sustainable community.

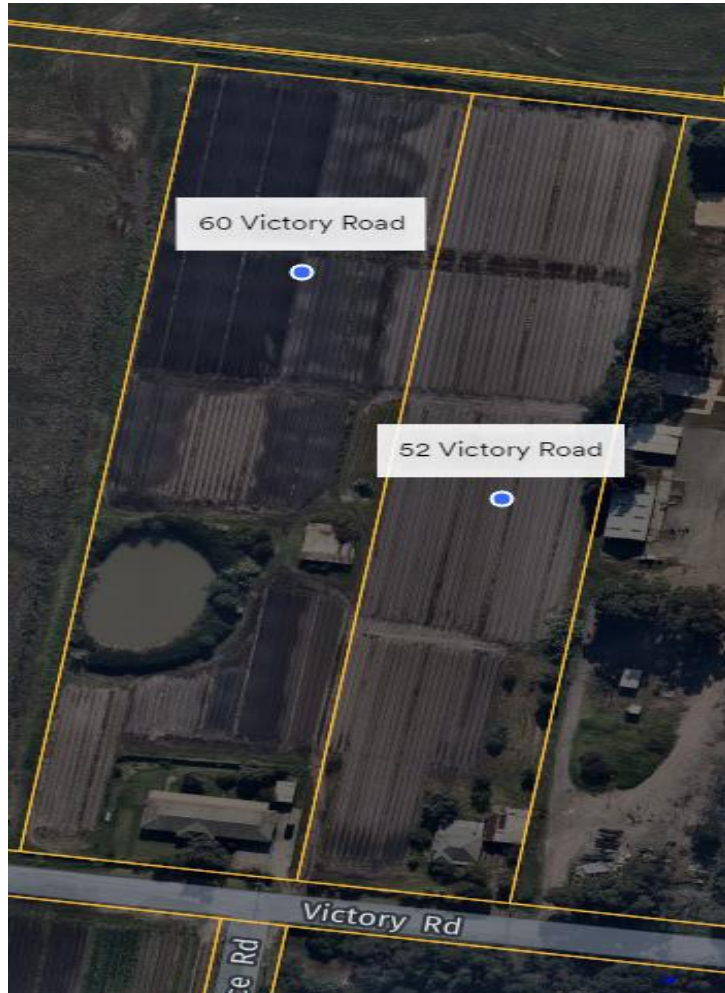
2. Background

Following the resolution of Council on 26 November 2018 Council purchased the properties at 52 and 60 Victory Road, Clarinda by agreement for a combined price of \$2.6M (exGST).

The properties are surrounded by the Victory Road Park Precinct, Clarinda which is currently in the final stages of landfill remediation by Cleanaway and are included within the Kingston Green Wedge Plan. This Plan recognises that the properties have both an existing role in relation to agricultural production and future potential active or passive recreational roles.

52 and 60 Victory Road, Clarinda are contained within two Certificates of Title, namely

- 52 Victory Road – Lot 1 on Plan of Subdivision 31370, being 1.31 hectares
- 60 Victory Road – Lots 2 on Plan of Subdivision 25964, being 1.71 hectares



Source: Nearmap

The Lots are improved with two dwellings, one being of weatherboard construction in a derelict state and the other being of brick veneer construction, comprising a 4 four bedroom dwelling currently leased subject to a monthly overholding (12 month lease expired November 2020) at a passing rental of \$441.00 per week.

The balance of the land holding is leased to Butler Market Gardens (Aust) Pty Ltd being subject to a 1 + 1 + 1 + 1 + 1 year lease, expiring 30 June 2021 with no further options. We note that both the residential and commercial tenants have requested continued tenure at the respective properties.

Council resolved to receive a further report on options regarding the future use of the subject properties. In addition to that resolution, former councillors requested information on the regional groundwater investigation being undertaken by the EPA for the precinct within which the properties are located which is detailed at 3.3.2 of this report

3. Discussion

3.1 Council Plan Alignment

Goal 1 - Our well-planned, liveable city supported by infrastructure to meet future needs
Direction 1.3 - Infrastructure and property investment for a functional city now and into the future

As part of Council's due diligence prior to purchasing this strategic land holding, it was identified that the subject land holds a significant relationship to the planned "Victory Road Park" and any incompatible land use/s on 52 and 60 Victory Road may adversely impact on the future amenity of the Park.

Hence, whilst the optimum land use/s are identified for the subject land holding, it is appropriate that Council continue to support local agricultural production in the form of a market garden and occupancy of the current residential occupant in the form of a short term lease for the respective uses.

3.2 Consultation/Internal Review

In considering the potential future use options for 52 and 60 Victory Road, Clarinda, advice has been sought from Active Kingston. Officers have advised that the property has been considered as a potential site for sporting facilities, potentially hockey at this time, whilst soccer has also been previously considered.

The recreation planning in the Chain of Parks is not fully resolved at this time due to a number of external interdependencies and definitive advice concerning timing on future recreational use for this land is not ready yet. However, should Council decide on a future sporting and/or recreational use of this land, any site development on this land is unlikely to occur for at least three (3) years.

3.3 Operation and Strategic Issues

3.3.1 Short Term Income

Part 52-60 Victory Road, Clarinda is leased to Butler Market Gardens (Aust) Pty Ltd at an annual rental of \$17,400 plus GST. The lease expires as at 30 June 2021.

Part 60 Victory Road, Clarinda is occupied by a residential occupant subject to a monthly overholding (lease expired November 2020) at an annual rental of \$22,932 (\$441.00 per week).

Whilst a definitive future use of the subject property is identified, it is recommended that leases be granted to the respective tenants for maximum terms of two further years each.

Failure to retain the tenants over a two-year period would forfeit a potential income to Council in the vicinity of \$80,000 (approx.).

3.3.2 Environmental Status

The properties are surrounded by landfilling activities. The most proximate landfill is the Cleanaway Victory road landfill which operates on land that is majority owned by Council. The landfilling has ceased on site and the land is being rehabilitated. Cleanaway is implementing their Aftercare Management Plan which includes developing the site as a public park forming a significant link in the Chain of Parks. Cleanaway is required to continue to monitor and manage the environmental status of the land in accordance with their license obligations to the EPA and contractually with Council.

The extensive landfilling in the surrounding precinct led to the EPA commissioning a Regional Groundwater Study (EPA ref: CARMS – 64614) to understand the extent of impacted groundwater. The Study made several recommendations for each of the landfills in the area to undertake additional monitoring and investigations of impacted groundwater including determining the levels of existing leachate in the landfills and the levels of groundwater.

In the context of 52-60 Victory Road the groundwater monitoring bores MB17 and MB18 are the most proximate. The following table summarises the bore observations (RED = exceedance GREEN = below trigger):

	TDS	SODIUM	CHLORIDE	SULPHATE	AMMONIA
MB 17	470	120-145	170-232	48-65	0.1-0.25
MB 18	470-536	116-130	226-260	<5-72	0.14-0.42

The groundwater in this location is slightly saline, the Auditor does not consider the exceedances of Sodium or Chlorite to be significant and is likely commensurate with background levels in the area. The low Total Dissolved Solids (TDS) and the absence of Ammonia exceedances indicates the groundwater is not being impacted by Leachate. Should the groundwater be extracted for agricultural purposes its use would however require a risk review for Sodium and Chlorine as it is in technical exceedance.

3.4 Options

3.4.1 Re-lease the properties to the sitting tenants on commercial terms for a maximum period of up to two years

Lease the properties in arms-length transactions on commercial terms for a maximum period of two years. This is the recommended option.

This option is supported as it generates an income for Council and avoids functional obsolescence and anti-social behaviours normally associated with vacant land or buildings.

We reiterate that both the residential and commercial tenant have requested continued tenure at Victory Road. In light of no immediate to short term requirement by Council for alternative recreation, social or commercial use, it is recommended that Council offer each tenant a new two-year term with no further options.

3.4.2 Retain the sitting tenants on a monthly overholding

The residential tenant is currently occupying the dwelling subject to monthly overholding provisions, whilst Butler Market Gardens (Aust) Pty Ltd lease expires as at 30 June 2021. Both tenants have indicated a strong desire to commit for a term of up to two years. If Council was to ignore the requests, exposure to flight risk by one or both tenants is a real possibility as they seek an alternative location to sure up their security of tenure.

3.4.3 Seek vacant possession of the land

This option is not supported for the following reasons:

- Loss of short-term income whilst no immediate future use of the land has been identified;

- Avoids functional obsolescence and anti-social behaviors normally associated with vacant land or buildings; and
- Avoids unnecessary expenditure by Council to secure, maintain and manage vacant properties.

4. Conclusion

4.1 Environmental Implications

The properties are adjacent to landfills and therefore a degree of caution must be deployed when considering any further development of the land. The Regional Ground Water Study has not revealed any matters requiring an intervention to continue to use the properties as currently developed for agriculture and residential purposes.

4.2 Social Implications

The Kingston Green Wedge Plan has provided for significant community consultation which has identified a range of adaptive future land uses in and around the proposed Victory Road Park precinct. This consultation will ultimately determine land use outcomes that will derive significant intergenerational benefit to the wider Kingston community.

4.3 Resource Implications

The leasing of the property in the short term and subsequent long-term hold of the asset is considered an investment into the future capacity of Council. The versatile and strategic nature of the property lends itself to provide much needed recreational playing fields for uses such as hockey and/or soccer to name a few.

4.4 Legal / Risk Implications

Risk to Council can be minimised through the terms and conditions of the respective lease agreements, namely length of lease (maximum two years), assessed rental and Lessor's expectations. The tenants have been in occupation of the properties for over 16 months and 4 years respectively, providing Council with payment and performance history, thus providing comfort in offering extended tenure.

Author/s: Michael Major, Property Services Coordinator
Reviewed and Approved By: Julian Harvey, Manager Property and Arts
Samantha Krull, General Manager City Assets & Environment

11. Corporate Services Reports

Council Meeting

26 July 2021

Agenda Item No: 11.1

AUDIT AND RISK COMMITTEE MINUTES - 16 JUNE 2021

Contact Officer: Hayley Gniel, Team Leader Financial Accounting

Purpose of Report

The purpose of this report is to provide Council the opportunity to view the recent activity of the Audit and Risk Committee. The minutes of the meeting held on 16 June 2021 are attached. The Audit and Risk Committee Charter has a requirement to provide the minutes of the Audit and Risk Committee meetings to Council on a quarterly basis.

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That the minutes of the Audit and Risk Committee meeting held on 16 June 2021 be noted.

Appendices

Appendix 1 - Audit and Risk Committee Minutes - 15 June 2021 (Ref 21/164112) 

Author/s: Hayley Gniel, Team Leader Financial Accounting

Reviewed and Approved By: Tony Ljaskevic, General Manager Corporate Services

11.1

AUDIT AND RISK COMMITTEE MINUTES - 16 JUNE 2021

1	Audit and Risk Committee Minutes - 15 June 2021	573
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Minutes

Audit and Risk Committee

16 June 2021 at 9.15 am
Via MS Teams



Members:

Ms Claire Filson (Chair)
Mr Bruce Potgieter
Mr Geoff Harry
Cr Steve Staikos (Mayor)
Cr Georgina Oxley

In Attendance:

Mr Tim Tamlin (Interim Chief Executive Officer)
Mr Tony Ljaskevic (General Manager Corporate Services)
Ms Ange Marshall (Manager Finance & Corporate Performance)
Ms Hayley Gniel (Team Leader Financial Accounting)
Ms Samantha Krull (General Manager City Assets & Environment)
Mr Charles Turner (Manager Infrastructure)
Mr Eric Bouwmeester (Manager Information Services)
Mr Richard Frazer (Manager People Support)
Mr Phil De Losa (Manager Governance)
Ms Kelly Shacklock (Organisational Governance Coordinator)
Ms Susannah Kenny (Principal Environment Officer)
Ms Claire Sinni (Diversity & Inclusion Coordinator)

Mr Graham Noriskin (Pitcher Partners)
Mr Ben Dunn (Pitcher Partners)

1. Apologies

Nil

2. Declaration by members & officers of any interest or conflict of interest in items on the agenda

Nil

3. Declaration by CEO of any breach of legislation/regulation that needs to be brought to the attention of the Audit Committee

Nil

4. Advice from the CEO on emerging sector and Council matters that need to be brought to the attention of the Audit Committee

Mr Tamlin informed the committee about a recent Ombudsman report regarding procurement practices at Melton City Council. Findings highlighted serious conflicts of interest and misuse of position. Management undertook to summarise the findings and report back to the Committee at the next meeting.

5. Declaration of any work undertaken at Council by Pitcher Partners outside of the Internal Audit Plan

Nil

6. Update from Interim CEO, Tim Tamlin

Mr Tamlin provided the Committee with an overview of his plan when appointed Interim CEO, indicating his main focus so far has been the development of the four year Council plan and its alignment with the budget.

7. Review and confirmation of previous minutes**RESOLVED**

That the Minutes of the Audit and Risk Committee held on 17 March 2021 were confirmed.

Proposed: Mr Geoff Harry, seconded: Mr Bruce Potgieter.

8. Audit and Risk Committee Action List - June 2021

It was noted that some actions from the previous meeting (items 12, 14, 24 and 27) were still to be added to the action list.

Further discussion included:

Item 1: The secure pay file transfer to CommBiz. Mr Ljaskevic advised that CBA had responded, noting that Council was currently using the most secure transfer option. However, security could be further enhanced by reducing the time the file was saved in the local drive and limiting access to the local drive. Council proposed to implement these changes. The Committee asked Management to further investigate with CBA and other affected Councils as to whether there was a more secure option available.

Item 2: Pitcher Partners review of the Tenix/DCA parking contracted vs actual hours delivered. Pitcher Partners was to verify an internal review undertaken of the contracted vs actual hours of Tenix/DCA but no approval was given by Management to proceed with the review. Mr Ljaskevic would review the matter and report back to the Committee in September.

9. Audit & Risk Committee Charter Responsibilities Assessment

The Committee noted that the Charter was approved by Council in April and no further amendment was required at the present time and the Charter would be reviewed again in two years' time.

The Standing item would to be removed from the agenda.

10. FINAL - Internal Audit Report - Volunteer Management

Mr Dunn provided an overview of the audit, noting that Council currently has sound processes in place to manage volunteers.

The audit recommended Management undertake a more centralised approach to volunteer management and improvement to HR practices and record keeping.

The Committee noted the report and actions would be added to the outstanding internal audit recommendations action list with progress to be reported at each meeting.

11. Sexual Harassment in Local Government - Update

Ms Sinni provided a verbal update on the work undertaken since the March meeting including:

- The production of a stand-alone Sexual Harassment policy;
- Design of an online code of conduct training module including sexual harassment training and education; and
- Implementation of an anonymous reporting line.

The Committee requested more formal reporting for the September and December meetings, including a short report tracking the status of Council's progress against the 12 original recommendations.

Ms Oxley highlighted the importance of Councillors being included in the training.

12. Draft Internal Audit Scope - IT General Controls

There was some discussions on key focus points for this audit.

The Scope was approved.

13. Protective Data Security Assessment Update

Mr Ljaskevic summarised the results of the latest independent data security measurement assessment, noting that Council had fully implemented 69% of the recommended security controls in the Victorian Government's protective data security standards. He noted that Management was currently working through the actions and the Committee would be updated when the next review occurs in approximately 18 months.

14. Internal Audit Status Report

The Internal Audit Status Report was noted .

15. Interim Draft Internal Audit Plan 21/22 to 24/25

The Interim draft internal audit plan noted by the Committee.

Mr Dunn explained that a more comprehensive audit plan would be presented at the September Audit and Risk Committee meeting once the review of Council's Strategic Risks was complete and a revised list of Strategic Risks was available.

The Committee requested an update on the Strategic Risks to be presented at the September committee meeting.

16. Independent Governance Review

The Committee requested a further response from Management on the Independent Governance Review in September, including detailed responses from Management on the recommendations made in the independent governance review.

17. Assess Control Environment is Consistent with Overarching Governance Principles

The Committee asked for a more formalised approach to be documented and reported on what changes would be implemented to address the governance principles including:

- How policies and the review of policies are aligned with overarching governance principles;
- How the internal audits will address the principles in their scopes; and
- How reporting would be changed to address compliance with the principles.

18. Review Fraud Prevention Policy and Controls

Ms Marshall acknowledged the importance of determining where fraud and corruption responsibility sits within Management, in order to address the recent audit recommendations.

Mr Ljaskevic noted that Council has a current fraud and corruption policy and control plan.

19. Bi-Annual Report from the Chair of the Audit and Risk Committee

The Committee agreed that the Bi-Annual Report to Council was from the Committee and not the Chair. The Committee approved the report to go to Council.

The format and content of the report would be revised over the coming months, with the aim of making the report useful and more valuable to Councillors. Councillor input would also be important.

It was also suggested that the timing of the report be changed to September and March in order to allow a more timely review of year end activities. The work plan would be updated to reflect this change.

The Committee would meet with the Councillors to present their report.

20. Develop and Adopt Annual Audit and Risk Committee Work Plan

The Committee discussed the format of the work plan and suggested a further column next to the current month, listing the agenda items relevant to the ticked items. This would highlight the completed items on the work plan.

The Committee also requested that the work plan appear immediately following the agenda so members can monitor the work plan.

21. Interim Financial Audit Update

Ms Marshall noted that the interim audit had been conducted and Crowe was currently still finalising testing.

No issues had as yet been brought to the attention of Management and a formal interim letter would be circulated to the Committee once received.

22. Asset Management Internal Audit (2019) Progress Report

Mr Turner presented his report, noting that actioning all recommendations was dependent on the budget being approved for additional resources. Nonetheless, a position had been advertised in anticipation of the budget being approved. Once approved, it was expected that the majority of the actions would be addressed within 18 months.

The Committee requested quarterly updates continue until the outstanding items had been closed.

23. Independent Climate Expert for Council's Audit and Risk Committee

While the Committee recognised the need to address climate change, its strong view was that the Audit & Risk Committee was not the appropriate forum for an independent climate expert. The Committee agreed that it is the Audit and Risk Committee's responsibility to manage all risk and Climate Change is just one of those risks.

It was recommended that an alternative appropriate sub-committee be established to manage Climate change.

24. Ombudsman Report - Investigation into how Councils respond to ratepayers in financial hardship

The Committee requested Management report back to the Committee in September with a more detailed response to the recommendations in the Ombudsman's report.

25. Kingston Performance Report, January to March 2021 and Quarterly Financial Statements Report, March 2021

The Committee discussed the reports and in particular the delay with capital works and potential carry overs.

26. Status Update on Prior Audit Recommendations

The Committee noted that some progress had been made. The Committee asked for the focus to be on completing old recommendations more than 12 months old.

Management was also asked to review all outstanding recommendations to check the response was consistent with the original recommendation, noting some items may already be complete.

27. May 2021 Recent Issues Brief - Local Government

For future updates, the Committee requested a response from Council accompanying each report which addressed whether any of the issues raised were relevant to Council.

28. Other Business

The Committee met in camera with Mr Tamlin.

The meeting closed at 11.40 a.m.

Confirmed: Claire Filson, Chair of Kingston City Council Audit & Risk Committee

Agenda Item No: 11.2

BI ANNUAL REPORT FROM THE AUDIT AND RISK COMMITTEE

Contact Officer: Kingston City Council, Audit & Risk Committee

Purpose of Report

As a part of Council's governance obligations to its community, the Audit and Risk Committee (the Committee) was re-established under Section 53 of the Local Government Act 2020 as an independent Advisory Committee to Council in August 2020 and it has been my privilege to have been a part of the Committee since 2012 and Chair since last year.

The primary objective of the Committee is to support the Council in discharging its oversight responsibilities related to:

- Enhancing the credibility and objectivity of financial, performance and management reporting;
- The effective management of Council's strategic risks, including Business Continuity and Recovery;
- The protection and control of Council assets;
- Monitoring and review of the standard of the internal control environment;
- The effectiveness of assurance activities including internal and external audit; and
- Council's governance practice, including compliance with its policies and legislative and regulatory requirements as well as the use of best practice guidelines.

The Committee acts in this capacity by monitoring, reviewing, endorsing and advising on the above matters. The appointment of independent members to the Committee enables the Committee to provide advice to the Council on matters related to its responsibilities based on different skills and experience than might otherwise be the case and in so doing bring additional benefits to the Council.

The Charter adopted by Council requires a bi-annual report from the Committee to be presented to the Council.

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council note the Annual Report of the Audit and Risk Committee.

Membership

The membership of the Audit and Risk Committee during the reporting period was:-

Name	Qualifications	Role	Period	Attendance
Ms Claire Filson	LLB; MBA, Grad. Dip. Applied Corporate Governance, FGIA, MAICD	Independent Member	January - June 2021	2 of 2 meetings
Mr Bruce Potgieter	FCA - Australia ICA - South Africa	Independent Member	January - June 2021	2 of 2 meetings
Mr Geoff Harry	B(Eco), FCA, FCPA, GAICD	Independent Member	January - June 2021	2 of 2 meetings
Cr Steve Staikos	Mayor	Internal Member	January - June 2021	2 of 2 meetings
Cr Georgina Oxley	Councillor	Internal Member	January - June 2021	2 of 2 meetings

Meetings

The Committee considered agendas on two occasions so far in 2021:-

- 17 March 2021
- 16 June 2021

2020/21 Review

The Committee is pleased to report that Kingston has in place a strong Audit and Risk Committee that has undertaken a thorough and comprehensive review of many of Council's higher risk profile systems and processes. It has also continued to oversee the activities of Council's contracted Internal Auditor and of the External Auditor (who is appointed by the Victorian Auditor-General), as well as responded to ad hoc issues raised from time to time, and provided advice to Management and the Council on those issues.

The Committee's activities have been guided by the Charter and Annual Workplan.

A highlight of the Committee continues to be the attendance in turn of each of Council's General Managers who have briefed the Committee on the current activities of their respective division within Council. This has enabled the Committee to gain a better appreciation of current issues in local government and of Kingston specific matters.

The Committee has also received detailed updates from Council's interim CEO Tim Tamlin, as well as the Manager Information Services and Strategy, outlining Council's strategic approach to Information Technology. There is a strong focus on cyber security and protective data security. Briefings have also been received on relevant topics such as Kingston's governance framework, business continuity planning, risk management, asset management practices, and relevant reports from the Victorian Auditor-General, the Ombudsman and other integrity agencies.

The Committee has already focussed on ensuring that its responsibilities under the Local Government Act (2020) and the recently revised Charter are being monitored and reported to Council. A copy of the Committee's Charter and annual workplan is attached to this report.

The high-level responsibilities assigned to the Committee by Council are:

Financial and Performance Reporting

- At least annually review significant accounting and external reporting issues, including complex or unusual transactions, transactions and balances in areas where judgement is required, changes to accounting policies, recent accounting, professional and regulatory pronouncements and legislative changes, and understand their effect on the annual financial report and the external audit thereof;
- Review any changes to the Local Government Performance Reporting Framework and understand the impact of those changes on Council's performance indicators;
- Review the annual financial report and annual performance statement and consider whether they are complete, consistent with information known to Committee members, reflect appropriate accounting treatments and adequately disclose Council's financial performance and position;
- Review with management and the external auditors the results of the audit, including any difficulties encountered by the auditors and how they were resolved; and
- Recommend the adoption of the annual financial report and annual performance statement to the Council.

Risk Management

- Review annually the effectiveness of Council's risk management framework;
- Review Council's risk appetite statement and the degree of alignment with Council's risk profile;
- Review Council's risk profile;
- Review Council's treatment plans for strategic risks, including the timeliness of mitigating actions and progress against those plans; and
- Review the approach to business continuity planning arrangements, including whether business continuity and disaster recovery plans have been regularly updated and tested.

Fraud Prevention Systems and Controls

- Review Council's Fraud Prevention policies and controls, including the Fraud Control Plan and fraud awareness programs;
- Receive reports from management about actual or suspected instances of fraud or corruption including analysis of the underlying control failures and action taken to address each event; and
- Review reports by management about the actions taken by Council to report such matters to the appropriate integrity bodies.

Internal Control Environment

Through the Strategic Audit Plan:

- Review the adequacy and effectiveness of key policies, systems and controls for providing a sound internal control environment;
- Determine whether systems and controls are reviewed regularly and updated where required;
- Monitor significant changes to systems and controls to assess whether those changes significantly impact Council's risk profile;
- Ensure that a programme is in place to test compliance with systems and controls;
- Assess whether the control environment is consistent with Council's overarching governance principles in accordance with section 9(2) of the Local Government Act 2020.

Assurance - Internal Audit

- Review and approve the Strategic Audit Plan, the annual internal audit plan and any significant changes to them;
- Review progress on delivery of annual internal audit plan;
- Review and approve proposed scopes for each review in the annual internal audit plan;
- Review reports on internal audit reviews, including recommendations for improvement arising from those reviews;
- Meet privately (without staff) with the contracted Internal Auditor each year;
- Monitor action by management in addressing internal audit recommendations in a timely manner;
- Review the effectiveness of the internal audit function and ensure that it has appropriate authority within Council and has no unjustified limitations on its work;
- Ensure that the Committee is aware of any proposed changes to the appointment of the internal audit service provider, including being appropriately briefed on the need for any proposed change;
- Have an independent member be part of the tender evaluation panel for the appointment of an Internal Audit Service provider;
- Recommend to Council, if necessary, the termination of the internal audit contractor.

Assurance - External Audit

- Annually review and approve the external audit scope and plan proposed by the external auditor;
- Discuss with the external auditor any audit issues encountered in the normal course of audit work, including any restriction on scope of work or access to information;
- Ensure that significant findings and recommendations made by the external auditor, and management's responses to them, are appropriate and are acted upon in a timely manner;
- Review the effectiveness of the external audit function and ensure that the Victorian Auditor General's Office (VAGO) is aware of the Committee's views; and
- Meet privately (without staff) with the contracted External Auditor each year;

Governance

- Applying a risk lens, monitor the compliance of Council policies and procedures with **the overarching governance principles** contained in the Local Government Act 2020; the Local Government Act 2020 and the regulations; and any Ministerial directions that may be issued.
- Obtain briefings on any significant governance or compliance matters and management's response to those matters;
- Develop and adopt an Annual Work program pursuant to S54 (3) of the Act;
- Receive reports from management on the findings of relevant reports by regulatory or integrity agencies (whether related to the municipal sector or other public-sector agencies), such as VAGO, the Ombudsman, IBAC, Victoria Government Inspectorate, etc. and monitor Council's responses; and
- Receive a bi-annual report detailing all reimbursements of Councillor expenses pursuant to S40 of the Local Government Act 2020.

The Committee's workplan ensures that each of these responsibilities are discharged over a rolling 12-month period .

To discharge these responsibilities the Committee receives, considers and comments on reports presented by Management, the internal auditor and the external auditor.

Financial and Performance Reporting

To discharge this responsibility the Committee has received reports that relate to the core financial controls that are in place at Council. The Committee has met with the External Auditor to understand the year end audit plan and the emerging accounting issues that may have affected the accounts being prepared by Management.

Risk Management

Council, being a diverse organisation delivering around 100 individual services, must have a robust risk management framework in place. The Committee continues to review and consider Council's approach to risk management through the provision of reports and presentations covering:

- Management of former tip sites;
- The adequacy of insurance coverage;
- Cyber security;
- Management of strategic risks; and
- Occupational Health and Safety.

The Committee also received reports on emerging sector-wide matters and is provided with Management's comments on and response to these issues. This provides further assurance to the Council that the themes identified by other Councils have been actively addressed and considered by Kingston.

Internal Control Environment

The Committee has in place a Strategic Internal Audit Plan which, over a rolling three-year period continues to examine the higher risk areas of Council's operations to give a level of assurance that Council's stewardship of the Kingston community's assets is maintained at the highest level. The current Strategic Audit Plan was adopted in 2018/19 to guide the cyclical review of the Internal Control Environment that is in place at Kingston for the 2019/20 year through to 2021/22. To take account of any emerging issues the Plan is subject to an annual review with Management and the Internal Auditor. The reports received from the Internal Auditor generally show that Kingston has a well-developed/mature internal control environment with improvement opportunities generally at the lower end of the risk scale.

Assurance - Internal Audit

Council's current Internal Auditors are Pitcher Partners who have extensive experience in the Local Government sector as Internal Auditors at other municipalities.

The Strategic Audit Plan is subject to annual review by Internal Audit and Management and then confirmed by the Audit and Risk Committee. The Internal Audit program that the Committee has overseen is in place to assist both Council and Management to achieve sound control over all Council activities. Internal Audit is not involved in the day-to-day internal transaction checking but provides an independent and objective assurance that the appropriate processes are in place. The Audit and Risk Committee also formally reviews the performance of the Internal Auditor each year.

Assurance - External Audit

Council's External Auditor is the Victorian Auditor-General. The Auditor-General has elected to contract this activity for 2020/21 to Crowe. It is normal practice for the External Auditor to review the Internal Audit program to better understand the internal control framework that exists at Council. Crowe is responsible for providing a recommendation to the Auditor-General that the Annual Financial Statements of Council present fairly and in accordance with applicable Accounting Standards. Representatives of Crowe met with the Audit Committee during March 2021 to brief the Committee on how they would be conducting the annual audit and will again in September to receive a report on the findings of the examination of Council's financial records.

Governance

To ensure the transparency of the Committee's deliberations, each meeting receives declarations of:

- any interest or conflict of interest in items on the agenda;
- any breach of legislation/regulation that needs to be brought to the attention of the Audit and Risk Committee.

These declarations are sought from the Chief Executive Officer together with advice on emerging sector and Council matters that need to be brought to the attention of the Committee. To ensure the transparency of the work of the Internal Auditor, the Committee is advised whether any work has been undertaken at Council by the Internal Auditor in addition to the approved Internal Audit Plan.

The Committee applies a risk lens to monitor the compliance of Council's policies and procedures with the overarching governance principles contained in the Local Government Act 2020, the Local Government Regulations, and any Ministerial directions that may be issued.

Accountability

In addition to this bi-annual report, the Committee's minutes are provided to Council as part of the communication from the Committee to the Council. While the Committee has two Councillors as members, the Committee welcomes the opportunity to meet with Council to discuss this report and the work of the Committee.

Status of Audit Recommendations

To enable the Committee to monitor the implementation of agreed actions to address recommendations contained in the Internal Auditor's reports, a progress report from Management is provided to each meeting. Whilst it is particularly pleasing that during the year a large number of actions, including some very long-standing ones of high or significant importance, have been completed by Management. Some lower-level recommendations remain outstanding. In summary:

Recommendations open at December 2020	36
Recommendations added to June 2021	13
Recommendations closed to June 2021	18
Recommendations open at June 2021	31

While the Committee is appreciative of Management's focus on addressing the recommendations, the occasional lack of timely implementation of audit recommendations is drawn to Council's attention, noting that resourcing is an issue for completing some long-outstanding issues in asset management.

Acknowledgements

The Committee would like to acknowledge the professionalism and participation of all members of the Audit and Risk Committee. The level of discussion on matters brought before the Committee has been of a very high standard, which we believe has resulted in tangible benefits to the community, Council and Management. The Committee has also greatly benefited from the contributions of the Councillor Committee Members who bring significant local knowledge and local community experience to the meeting.

The Committee wishes to record its appreciation of the commitment and involvement of Tim Tamlin, the Interim Chief Executive Officer, Paul Franklin and Tony Ljaskevic, the former and new General Manager Corporate Services, in supporting the work of the Committee. We also wish to acknowledge the support provided to the Committee of all Council officers who have attended the Committee.

Conclusion

Council has an obligation to the community to properly utilise the resources put at its disposal. The Committee and the activities that it oversees is one mechanism that allows the community to be assured that Council is properly discharging its obligations.

Appendices

Appendix 1 - Audit and Risk Committee Charter (Ref 20/167525)  [↓](#)

Appendix 2 - Kingston Audit & Risk Committee Annual Work Plan 2021-22 (Ref 21/139702)  [↓](#)

Author/s: Kingston City Council, Audit & Risk Committee

Reviewed and Approved By: Kingston City Council, Audit & Risk Committee

11.2

BI ANNUAL REPORT FROM THE AUDIT AND RISK COMMITTEE

1	Audit and Risk Committee Charter	589
2	Kingston Audit & Risk Committee Annual Work Plan 2021-22	599



Audit and Risk Committee Charter

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1 Document Information

The electronic version of this document is the controlled version. Printed copies are considered uncontrolled. Before using a printed copy, verify that it is the current version.

RESPONSIBLE GENERAL MANAGER	General Manager Corporate Services
RESPONSIBLE MANAGER (Policy Owner)	Manager Finance and Corporate Performance
APPROVED/ADOPTED BY	Council
APPROVAL DATE	26 April 2021
EFFECTIVE DATE (If different from approval date)	
REVIEW DATE	1/09/2022
CM REF AND VERSION	20/167525 [v2]
VERSION HISTORY	This Policy Replaces 18/71421

2 Purpose

The Council has established an Audit & Risk Committee (the Committee) pursuant to Section 53 of the *Local Government Act 2020* (the Act) to support the Council in discharging its oversight responsibilities related to:

- Enhancing the credibility and objectivity of financial, performance and management reporting;
- The effective management of Council's strategic risks, including Business Continuity and Recovery;
- The protection and control of Council assets;
- Monitoring and review of the standard of the internal control environment;
- The effectiveness of assurance activities including internal and external audit; and
- Council's governance practice, including compliance with its policies and legislative and regulatory requirements as well as the use of best practice guidelines.

The Committee acts in this capacity by monitoring, reviewing, endorsing and advising on the above matters. This Charter has been developed in accordance with Section 54 of the Act.

The appointment of independent members to the Committee enables the Committee to provide advice to the Council on matters related to its responsibilities based on different skills and experience than might otherwise be the case and in so doing bring additional benefits to the Council.

The Committee has no executive authority and no delegated responsibilities and is therefore independent of management.

3 Authority

The Committee is directly responsible to the Council for discharging its responsibilities as set out in this Charter. The Committee has no delegated authority from Council unless specifically provided by the Council from time to time and any such authority shall be temporary and only relate to specific matters as resolved by the Council.

The Committee has the authority to:

- Endorse key documents and reports that must be approved by Council, including annual financial reports, annual performance statements, relevant new or revised policies or other documents that assist in maintaining a strong internal control environment;
- Develop and adopt an Annual Work Program;
- Approve internal and external audit scopes and plans, including the Strategic Audit Plan;
- Provide advice and make recommendations to Council on matters within its areas of responsibility;
- Seek any relevant information or support through the Chief Executive Officer where it considers that is necessary to meet its responsibilities under this Charter; and
- Meet with Council Officers, internal and external auditors and other parties as required to discharge its responsibilities.

The Committee will, through the Chief Executive Officer, have access to appropriate management support to enable it to discharge its responsibilities effectively.

If the Committee is considering a material increase in the size of the Annual or Strategic Audit Plan to enable it to discharge its responsibilities effectively, a report recommending additional budget will be presented to Council for consideration.

4 Membership and Tenure

The Committee will comprise five members:

- The Mayor;
- One other Councillor nominated annually by Council; and
- Three external independent members.

Council may nominate an alternate member to substitute for either of the two Councillors either on a meeting by meeting basis or for a longer period.

Council employees cannot be members of the Committee.

Independent Members:

- Will be appointed for three-year terms;
- May be reappointed subject to satisfactory performance, by the Council on the recommendation of the Chief Executive Officer;
- The selection criteria that candidates will be assessed against include:
- Financial analytical / management skills
- Knowledge of Audit, Risk and Governance Frameworks;
- Experience in public sector management;
- Demonstrated strategic skills including, but not limited to: financial acumen, information technology; governance standards and organisational risk management;
- The terms of appointment should be; as far as practical, arranged to ensure the orderly rotation and continuity;
- When considering new members, the Committee will ensure that external independent members collectively possess appropriate experience and expertise in the above criteria.
- Remuneration by way of an annual fee determined by Council will be paid to independent members and indexed annual by the Melbourne All Groups CPI adjusted annually on 1 July.

Chairperson

- The Chairperson of the Committee must be an independent member;
- The Council will appoint the Chairperson on the recommendation of the Chief Executive Officer;
- If the Chairperson is unable to attend a meeting, the members in attendance at the meeting will appoint a Chairperson for that meeting from among the attending Independent members.

5 Meetings

The Committee will meet at least five times a year, with authority to convene additional meetings as circumstances require.

- A schedule of meetings will be developed annually and agreed by members;
- All Committee members are expected to attend each meeting in person or via an video conference where the member can as a minimum:
 - hear the proceedings; and
 - be heard (to speak).
- The Committee may invite the internal and external auditors and other staff including members of Council's management team, to attend meetings.
- The Chief Executive Officer and the General Manager, Corporate Services and Manager Finance and Corporate Performance (or equivalents) will attend all meetings, except where the Committee wishes to meet privately;
- The Council, Committee members, the internal or external auditors can request the Chairperson to convene additional meetings if they feel that is justified to address unexpected matters that may have arisen and cannot be held over to the next scheduled meeting;
- The Chief Executive Officer will ensure that Meeting agendas and appropriate briefing materials are provided to members at least five days prior to the meeting;
- Minutes will be prepared for all meetings; and
- A quorum shall comprise at least one Councillor member and two independent members.

6 Responsibilities

The Committee will carry out the following responsibilities.

Financial and Performance Reporting

- At least annually review significant accounting and external reporting issues, including complex or unusual transactions, transactions and balances in areas where judgement is required, changes to accounting policies, recent accounting, professional and regulatory pronouncements and legislative changes, and understand their effect on the annual financial report and the external audit thereof;
- Review any changes to the Local Government Performance Reporting Framework and understand the impact of those changes on Council's performance indicators;
- Review the annual financial report and annual performance statement and consider whether they are complete, consistent with information known to Committee members, reflect appropriate accounting treatments and adequately disclose Council's financial performance and position;
- Review with management and the external auditors the results of the audit, including any difficulties encountered by the auditors and how they were resolved; and
- Recommend the adoption of the annual financial report and annual performance statement to the Council.
- Review Council's quarterly Financial and Performance Report

Risk Management

- Review annually the effectiveness of Council's risk management framework;
- Review Council's risk appetite statement and the degree of alignment with Council's risk profile;
- Review Council's risk profile;
- Review Council's treatment plans for strategic and operational risks, including the timeliness of mitigating actions and progress against those plans; and
- Review the approach to business continuity planning arrangements, including whether business continuity and disaster recovery plans have been regularly updated and tested.

Fraud Prevention Systems and Controls

- Review Council's Fraud Prevention policies and controls, including the Fraud Control Plan and fraud awareness programmes;
- Receive reports from management about actual or suspected instances of fraud or corruption including analysis of the underlying control failures and action taken to address each event; and
- Review reports by management about the actions taken by Council to report such matters to the appropriate integrity bodies.

Internal Control Environment

Through the Strategic Audit Plan:

- Review the adequacy and effectiveness of key policies, systems and controls for providing a sound internal control environment;
- Determine whether systems and controls are reviewed regularly and updated where required;
- Monitor significant changes to systems and controls to assess whether those changes significantly impact Council's risk profile;
- Ensure that a programme is in place to test compliance with systems and controls;
- Assess whether the control environment is consistent with Council's overarching governance principles in accordance with section 9(2) of the Local Government Act 2020.

Assurance - Internal Audit

- Review and approve the Strategic Audit Plan, the annual internal audit plan and any significant changes to them;
- Review progress on delivery of annual internal audit plan;
- Review and approve proposed scopes for each review in the annual internal audit plan;
- Review reports on internal audit reviews, including recommendations for improvement arising from those reviews;
- Meet privately (without staff) with the contracted Internal Auditor each year;
- Monitor action by management in addressing internal audit recommendations in a timely manner;
- Review the effectiveness of the internal audit function and ensure that it has appropriate authority within Council and has no unjustified limitations on its work;
- Ensure that the Committee is aware of any proposed changes to the appointment of the internal audit service provider, including being appropriately briefed on the need for any proposed change;
- Have an independent member be part of the tender evaluation panel for the appointment of an Internal Audit Service provider;
- Recommend to Council, if necessary, the termination of the internal audit contractor.

Assurance - External Audit

- Annually review and approve the external audit scope and plan proposed by the external auditor;
- Discuss with the external auditor any audit issues encountered in the normal course of audit work, including any restriction on scope of work or access to information;
- Ensure that significant findings and recommendations made by the external auditor, and management's responses to them, are appropriate and are acted upon in a timely manner;
- Review the effectiveness of the external audit function and ensure that the Victorian Auditor General's Office (VAGO) is aware of the Committee's views; and
- Meet privately (without staff) with the contracted External Auditor each year;

Governance

- Applying a risk lens, monitor the compliance of Council policies and procedures with the overarching governance principles contained in the Local Government Act 2020; the Local Government Act 2020 and the regulations; and any Ministerial directions that may be issued. (see Appendix A for the Overarching Governance Principles)
- Obtain briefings on any significant governance or compliance matters and management's response to those matters;
- Develop and adopt an Annual Work program pursuant to S54(3) of the Act;
- Receive reports from management on the findings of relevant reports by regulatory or integrity agencies (whether related to the municipal sector or other public-sector agencies), such as VAGO, the Ombudsman, IBAC, Victoria Government Inspectorate, etc. and monitor Council's responses; and
- Receive a bi-annual report detailing all reimbursements of Councillor expenses pursuant to S40 of the Local Government Act 2020.

7 Reporting to Council

- Minutes of Committee meetings will be provided to Council after clearance by the Committee Chairperson following each Committee meeting;
- The Chairperson will prepare an audit and risk report to Council through the Chief Executive Officer on the Committee's activities, findings and recommendations twice per annum. The reports will advise Council how the Committee has discharged its responsibilities as set out in this Charter for the previous year.
- The Committee will also report to the Council after the meeting at which the annual statements have been considered and recommended to Council for adoption.
- The Chairperson must request the Chief Executive Officer to list for the next Council meeting any report prepared by the Audit and Risk Committee.

8 Performance Evaluation

The Committee shall undertake a process to evaluate its performance against this Charter annually and report the outcomes of the evaluation process to Council through the Chief Executive Officer, including recommendations for any opportunities for improvement. The evaluation will include feedback from both Committee members and senior officers who have regular interactions with the Committee.

9 Member Regulatory Obligations

Committee members are expected to be aware of their obligations under Section 53 of the Act. These obligations relate to misuse of position as a member of the Committee (Section 123), confidential information (Section 125) and conflicts of interest (Sections 126 to 131). Details about these obligations are included in Appendix B to this Charter

10 Review of Charter

The Committee shall review and assess the adequacy of the Charter every two years or earlier if necessary and submit requests to Council through the Chief Executive Officer for Council approval.

Appendix A**Overarching Governance Principles
S9 Local Government Act 2020**

- (1) A Council must in the performance of its role give effect to the overarching governance principles.
- (2) The following are the overarching governance principles—
 - (a) Council decisions are to be made and actions taken in accordance with the relevant law;
 - (b) priority is to be given to achieving the best outcomes for the municipal community, including future generations;
 - (c) the economic, social and environmental sustainability of the municipal district, including mitigation and planning for climate change risks, is to be promoted;
 - (d) the municipal community is to be engaged in strategic planning and strategic decision making;
 - (e) innovation and continuous improvement is to be pursued;
 - (f) collaboration with other Councils and Governments and statutory bodies is to be sought;
 - (g) the ongoing financial viability of the Council is to be ensured;
 - (h) regional, state and national plans and policies are to be taken into account in strategic planning and decision making;
 - (i) the transparency of Council decisions, actions and information is to be ensured.

Appendix B

Committee Member Regulatory Obligations

Guidance to Members

LGA Section	LGA Requirement
Misuse of Position	
123(1)	A Committee member must not intentionally misuse their position to: <ul style="list-style-type: none"> a) Gain or attempt to gain, directly or indirectly, an advantage for themselves or for any other person; or b) Cause, or attempt to cause, detriment to the Council or another person
123(3)	Circumstances involving misuse of a position by a member of the Committee include: <ul style="list-style-type: none"> a) Making improper use of information acquired as a result of being a member of the Committee; or b) Disclosing information that is confidential information; or c) Directing or improperly influencing, or seeking to direct or improperly influence, a member of Council staff; or d) Exercising or performing, or purporting to exercise or perform, a power, duty or function that the person is not authorised to exercise or perform; or e) Using public funds or resources in a manner that is improper or unauthorised; or f) Participating in a decision on a matter in which the member has a conflict of interest.
Confidential Information	
125	A member of the Committee must not intentionally or recklessly disclose information that the member knows, or should reasonably know, is confidential information. There are some exemptions to this requirement, the key one being that if the information disclosed by the member has been determined by Council to be publicly available.
Conflicts of Interest	
126	A member of the Committee has a conflict of interest if the member has: <ul style="list-style-type: none"> a) A general conflict of interest as described in Section 127; or b) A material conflict of interest as described in Section 128.
127	A member of the Committee has a general conflict of interest in a matter if an impartial, fair-minded person would consider that the members private interests could result in that member acting in a manner that is contrary to their public duty as a member of the Committee.
128	A member of the Committee has a material conflict of interest in a matter if an affected person would gain a benefit or suffer a loss depending on the outcome of the matter.
<p style="text-align: center;">Please Note</p> <p><i>The above guidance is not verbatim from the Act and does not include all details as explained in Sections 123, 125 & Part 6, Division 2 of the Act. For a full understanding of the requirements of the Act in relation to the matters summarised above, members are expected to make themselves fully aware of the requirements of the Act.</i></p>	

Kingston City Council Audit & Risk Committee Annual Work Plan - Year Ending 30 June 2022								
No	Charter Requirement	Charter Ref	Indicative Timing	Aug	Sept	Dec	Mar	June
Meeting Governance								
1	Acknowledgement of Traditional Owners		All Meetings	✓	✓	✓	✓	✓
2	Attendance			✓	✓	✓	✓	✓
3	Declaration of Conflicts of Interest			✓	✓	✓	✓	✓
4	Minutes of Previous Meeting			✓	✓	✓	✓	✓
5	Matters Arising from Previous Meetings			✓	✓	✓	✓	✓
6	Review Committee's tracking against Annual Work Plan			✓	✓	✓	✓	✓
7	Review of Committee Charter		Annually				✓	
8	Set the Committee Meeting Schedule		Annually			✓		
Chief Executive Officer Engagement								
9	Briefing on Relevant Council Matters		All Meetings	✓	✓	✓	✓	✓
10	Report on any Significant Breaches of Legislation			✓	✓	✓	✓	✓
11	Briefing on any Significant Sector Wide Issues			✓	✓	✓	✓	✓
Financial & Performance Reporting								
12	Review changes in significant accounting standards, policies and disclosures to understand their effect on the Annual Financial Statements	FPR 1	Annually				✓	
13	Review LGPRF changes for impact on Performance Indicators	FPR 2	Annually				✓	
14	Review Annual Statements with external Audit and Management	FPR 3	Annually	✓				
15	Review outcomes of the external audit with management and the External Auditors	FPR 4	Annually	✓				
16	Recommend adoption of annual financial report and performance report to Council	FPR 5	Annually	✓				
Risk Management								
17	Review effectiveness of Council's risk management framework	RM 1	Annually		✓			
18	Review Council's risk appetite statement	RM 2	Annually				✓	
19	Review changes in Council's risk profile	RM 3	Quarterly	✓	✓	✓	✓	✓
20	Review Council's treatment plans for significant risks	RM 4	Half Yearly		✓		✓	
21	Review BCP framework and testing regime	RM 5	Annually				✓	
Fraud Prevention Systems & Controls								
22	Review Council's fraud prevention policy and controls	FP 1	Annually					✓
23	Receive reports on any instances of fraud, corruption or improper behaviour	FP 2	As Required	✓	✓	✓	✓	✓
24	Review actions taken to report any incidents of fraudulent or corrupt behaviour	FP 3	As Required	✓	✓	✓	✓	✓
Internal Control Environment								
25	Review key policies, systems and controls adequacy and currency thereof	ICE 1 & 2	Quarterly	✓	✓	✓	✓	✓
26	Monitor significant changes to systems and controls to consider impact of changes on Council's risk profile	ICE 3	Quarterly	✓	✓	✓	✓	✓
27	Ensure a program is in place to test compliance with systems and controls	ICE 4	Quarterly	✓	✓	✓	✓	✓
28	Assess whether the control environment is consistent with the overarching Governing Principles	ICE 5	Half Yearly			✓		✓
Assurance - Internal Audit								
29	Review and approve strategic & annual internal audit plans	AlA 1	Annually				✓	✓
30	Review status of delivery of annual internal audit plan	AlA 2	Quarterly		✓	✓	✓	✓
31	Review scopes of proposed internal audit reviews	AlA 3	Quarterly		✓	✓	✓	✓
32	Review reports on internal audit reviews	AlA 4	Quarterly		✓	✓	✓	✓
33	Meet privately with Internal Audit	AlA 5	Annually				✓	
34	Review progress by management of addressing open audit recommendations	AlA 6	Quarterly		✓	✓	✓	✓
35	Review effectiveness of the internal audit function	AlA 7	Annually				✓	
36	Committee involvement in appointment of internal audit service provider	AlA 8, 9 & 10	As Required					
Assurance - External Audit								
37	Review and approve external audit scope and plan	AEA 1	Annually				✓	
38	Discuss any audit issues encountered during the course of the audit	AEA 2	Annually	✓			✓	
39	Ensure that management responses to any audit findings are appropriate and timely	AEA 3	Quarterly	✓	✓	✓	✓	✓
40	Review effectiveness of the external auditor in conjunction with management	AEA 4	Annually	✓				
41	Meet privately with external auditor	AEA 5	Annually	✓				
Governance								
42	Review systems and processes to monitor compliance with legislation and regulations and management follow up of instances of non compliance	G 1	Half Yearly			✓		✓
43	Develop and Adopt Annual Audit and Risk Committee Workplan	G 3	Annually					✓
44	Consider reports by regulatory and integrity agencies on investigations and relevance for Council	G 4	Quarterly		✓	✓	✓	✓
45	Review Report on Reimbursement of Expense to Councillors and Members of Delegated Committees	G 5	Half Yearly		✓		✓	
Reporting to Council								
46	Provide Minutes to Council	RTC 1	Quarterly	✓	✓	✓	✓	✓
47	Report on activities to Council	RTC 2, 3 & 4	Half Yearly		✓		✓	
Performance Evaluation								
48	Assessment of Committee performance	PE 1	Annually			✓		
Other Matters								

49	Consider other matters referred by Council		As Required	✓	✓	✓	✓	✓
50	Committee member induction		As Required					

26 July 2021

Agenda Item No: 11.3

INFORMAL MEETINGS OF COUNCILLORS

Contact Officer: Gabby Pattenden, Governance Officer

Purpose of Report

To provide copies of the Informal Meetings of Councillors records in line with Rule 1 of Chapter 6 of the Governance Rules to support openness and transparency of Governance processes.

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council receive the report.

1. Executive Summary

This report contains records for meetings defined as an Informal Meetings of Councillors under Rule 1 of Chapter 6 of the Governance Rules (the Rules).

2. Background

The Governance Rules requires that Informal Meetings of Councillors records are reported to the next possible meeting of Council. This seeks to promote openness and transparency of Council decision making.

3. Discussion

3.1 Council Plan Alignment

Goal 5 - Our well-governed and responsive organisation

Direction 5.1 - Support decision making to provide an efficient and effective council which embodies the principles of democracy

The reporting of Informal Meetings of Councillors meets the requirements of the Rules and is critical to Direction 5.1.

3.2 Consultation/Internal Review

Not applicable to this report

3.3 Operation and Strategic Issues

3.3.1 Governance Rules requirements

As prescribed by Rule 1 of Chapter 6 of the Rules, if there is a meeting of Councillors that:

- is scheduled or planned for the purpose of discussing the business of Council or briefing Councillors;
- is attended by at least one member of Council staff; and
- is not a Council meeting, Delegated Committee meeting or Community Asset Committee meeting

the Chief Executive Officer must ensure that a summary of the matters discussed at the meeting are:

- a) tabled at the next convenient Council meeting; and
- b) recorded in the minutes of that Council meeting.

A standard Informal Meeting of Councillors form will be used as the record for the purposes of the Rules. These form the appendices to the report.

Rule 6 of Chapter 5 of the Rules requires Councillors attending a meeting under the auspices of Council (to which an Informal Meeting of Councillors falls under) to disclose a conflict of interest and leave the room whilst the matter is being considered.

4. Conclusion

4.1 Environmental Implications

Nil

4.2 Social Implications

Tabling Informal Meetings of Councillors records supports disclosure and transparency of Council operations.


4.3 Resource Implications


Nil.


4.4 Legal / Risk Implications


Nil.

Appendices

Appendix 1 - Informal Meetings of Councillors Record - Planning CIS 5 July 2021 (Ref 21/163753)  [↓](#)

Appendix 2 - Informal Meetings of Councillors Record - Kingswood 8 July 2021 (Ref 21/176893)  [↓](#)

Appendix 3 - Informal Meetings of Councillors Record - Strategic CIS 12 July 2021 (Ref 21/175420)  [↓](#)

Appendix 4 - Informal Meetings of Councillors Record - Strategic CIS 19 July 2021 (Ref 21/175437)  [↓](#)

Author/s:

Gabby Pattenden, Governance Officer

**City of Kingston
Council Meeting**

Agenda

26 July 2021

Reviewed and Approved By: Phil DeLosa, Manager Governance
Tony Ljaskevic, General Manager Corporate Services

11.3

INFORMAL MEETINGS OF COUNCILLORS

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Informal Meetings of Councillors Record

Governance Rules Chapter 6

This form must be completed by the appropriate attending Council Officer and submitted immediately to the Governance Department for reporting to Council.



Meeting Details

Date: 5 July 2021

Time: 6.00pm

Meeting Location: Online via Microsoft Teams

Meeting Reason: Planning Councillor Information Session

Attendees:

Councillor/s:

Cr Steve Staikos (Mayor)
Cr Hadi Saab (Deputy Mayor)
Cr Tim Cochrane
Cr Tracey Davies
Cr Jenna Davey-Burns
Cr David Eden
Cr Chris Hill
Cr Cameron Howe
Cr George Hua
Cr Georgina Oxley

Officer/s:

Tim Tamlin, Interim Chief Executive Officer
Jonathan Guttman, General Manager Planning and Development
Tony Ljaskevic, General Manager Corporate Services
Bridget Draper, Acting General Manager City Assets and Environment
Steve Lewis, Acting General Manager Community Sustainability
Michelle Devanny, Program Leader - Communications and Engagement
Alfred Carnovale, Acting Manager City Development
Paul Marsden, Manager City Strategy
Patrick O'Gorman, Governance Officer
Emily Scopel-Reed, Governance Officer
Claire Audley, Major Transport Project Officer
Julian Birthisel, Traffic and Transport Planning Engineer
James Kearney, Senior Project Manager
Rita Astill, Team Leader Strategic Planning
Jennifer Roche, Team Leader Statutory Planning
Astrid DiCarlo, Executive Manager Legal
Emily Boucher, Manager Open Space
Jane Grace, Manager Libraries and Social Development
Jihan Wassef, Team Leader Social Development
Dominic McCann, Co-ordinator Community Wellbeing
Juli Stickler, Senior Facilities Development & Planning Coordinator

Guests:

Adam Maguire, Program Director LXRP
Christopher Woodroffe, Manager Stakeholder Relations and Communications LXRP
Luc Colombies, Construction Manager LXRP
Andrew Mason, Traffic Manager Southern Program Alliance
Nick Clements, Principal Town Planner Tract
Alistair Wenn, Principal Landscape Architect Tract
Nevin Wadeson, Town Planner Tract
Susan Fairley, Australian Super

Apologies:

Cr Tamsin Bearsley

[continued over page](#)

1 of 2

Informal Meetings of Councillors Record

Governance Rules Chapter 6

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Summary of Matters Discussed:

- 1 Apologies
- 2 Declaration by Councillors, Officers and Contractors of any Conflict of Interest
- 3 Notes of CIS of 21 June 2021
- 4 LXRP Briefing to Councillors
- 5 Kingswood Briefing
- 6 Individual Ward Briefings
- 7 By exception:
Planning Delegation Policy Email - June 2021
- 4 Draft Agenda - Planning Committee - See Separate Agenda
- 5 Heatherton Park Monash Recovery Update
Pursuant to Chapter 6, Rule 2 of the Governance Rules, this report is designated as confidential information by the CEO in accordance with the Local Government Act 2020.
- 6 Glyphosate Ban Review
- 7 Free Plant Voucher Scheme
- 8 Community Grants Program 2021 - 2022 Funding Recommendations for Partnership Grants and Annual Grants Allocations
- 9 Activating Heritage Collections - Overview
- 10 By exception:
Report on Legal Advice
- 11 Invitations
- 12 Councillor/CEO Discussion

Conflict of Interest Disclosures:

Councillor Disclosures: Nil

Name of Councillor:

Explanation of the nature of the conflict:

General OR Material

Councillor left the meeting prior to discussion:

YES/NO

Time left:

Time returned:

Informal Meetings of Councillors Record

Governance Rules Chapter 6

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Officer Disclosures:

Name of Officer: *Nil*

Explanation of the nature of the conflict: General OR Material

Councillor left the meeting prior to discussion: YES/NO

Time left: Time returned:

Completed by: Emily Scopel-Reed, Governance Officer

Date: 6 July 2021

Brief Explanation – Governance Rules Chapter 6:

If there is a meeting of Councillors that:

- 1.1 is scheduled or planned for the purpose of discussing the business of Council or briefing Councillors;
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- 1.3 is not a *Council meeting, Delegated Committee meeting or Community Asset Committee meeting*

the *Chief Executive Officer* must ensure that a summary of the matters discussed at the meeting are:

- (a) tabled at the next convenient Council meeting; and
- (b) recorded in the minutes of that Council meeting.

Some examples of an Informal Meeting of Councillors will include:

- Councillor briefing session;
- Meeting / briefing of one or more Ward Councillors;
- Advisory committee where one or more Councillor/s is present;
- Budget discussion;
- Workshop re key Council priorities;
- Site inspection;
- Preliminary planning conference

If you require further clarification, please contact the Governance team.

Informal Meetings of Councillors Record

Governance Rules Chapter 6

This form must be completed by the appropriate attending Council Officer and submitted immediately to the Governance Department for reporting to Council.



Meeting Details

Date: 8 July 2021

Time: 11am

Meeting Location: Microsoft Teams

Meeting Reason: Discussion of Planning Scheme Amendment C199

Attendees:

Councillor/s:

Cr Hua, Cr Staikos, Cr Cochrane (left early), Cr Hill, Cr Saab

Officer/s:

Jonathan Guttmann, Tanya Sokolowski, Jennifer Roche

Apologies: Nil

Summary of Matters Discussed:

Proposed Planning Scheme Amendment C199 – the residential redevelopment of Kingswood Golf Club

Conflict of Interest Disclosures:

Councillor Disclosures:

Nil

Officer Disclosures:

Nil

Completed by: Jennifer Roche

Date: 8 July 2021

Brief Explanation – Governance Rules Chapter 6:

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- Workshop re key Council priorities;
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Informal Meetings of Councillors Record

Governance Rules Chapter 6

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Meeting Details

Date: 12 July 2021

Time: 6.00pm

Meeting Location: Oakleigh Room, 1230 Nepean Highway, Cheltenham and via Microsoft Teams

Meeting Reason: Strategic Councillor Information Session

Attendees:

Councillors

Cr Steve Staikos (Mayor)
 Cr Hadi Saab (Deputy Mayor)
 Cr Tamsin Bearsley (arrived at 6.16pm)
 Cr Tracey Davies
 Cr Jenna Davey-Burns
 Cr Chris Hill (arrived at 6.04pm)
 Cr Cameron Howe
 Cr George Hua (arrived at 6.15pm)
 Cr Georgina Oxley

Officers

Tim Tamlin, Interim Chief Executive Officer
 Mauro Bolin, General Manager Community Sustainability
 Jonathan Guttman, General Manager Planning and Development
 Samantha Krull, General Manager City Assets and Environment
 Tony Ljaskevic, General Manager Corporate Services
 Michelle Devanny, Program Leader - Communications and Engagement
 Phil De Losa, Manager Governance
 Gabby Pattenden, Governance Officer
 Yenni Lim, Manager Compliance and Amenities
 Paul Marsden, Manager City Strategy
 Steve Lewis, Manager Community Buildings
 Juli Stickler, Senior Facilities Development and Planning Coordinator
 Bridget Draper, Manager Active Kingston
 Charles Turner, Manager Infrastructure

Apologies:

Cr Tim Cochrane

Summary of Matters Discussed:

1. **Apologies**
Cr Tim Cochrane
2. **Disclosures by Councillors, Officers and Contractors of any Conflict of Interest**
Nil
3. **Notes of the Strategic CIS Meeting of 21 June 2021**

Strategic Briefings

4. **Councillor Weekly Update and Executive Updates**

[continued over page](#)

1 of 2

Informal Meetings of Councillors Record

Governance Rules Chapter 6

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5. Access and Equity Advisory Committee Meeting Notes - 27 May 2021

6. Draft Agenda - Council Meeting - See Separate Agenda

Draft Agenda - Council Meeting - See Separate Agenda

1. Petitions

Nil

2. Presentation of Awards

Annie Cummings

3. Reports from Delegates Appointed by Council to Various Organisations

4. Question Time

5. Planning and Development Reports

8.1 Fire Pits Consultation Results

8.3 Response to Climate and Ecological Emergency Declaration

8.3 Big Housing Build and Homes for Homes

6. Community Sustainability Reports

9.1 Response to Council Resolution - Request for Additional Works - 7th Cheltenham Scouts (Argus Street) & 7th Chelsea Aspendale Scouts (Brown's Lane)

9.2 Dingley Village Community Precinct - Stage 2: Outcome of Community Consultation

7. City Assets and Environment Reports

10.1 Kingston Heath Reserve – Hockey and Baseball Needs Analysis and Feasibility

10.2 Australasian Golf Club - Partnership Grant Funding Agreement

10.3 Response to Council Resolution – Traffic Management in Chelsea

10.4 Pre School Development Leasing Proposal – 87 Davey Street, Parkdale

10.5 52 and 60 Victory Road, Clarinda - Short Term Occupancy Options

8. Corporate Services Reports

11.1 Naming Proposal of Pavilion at Rowan Reserve, Dingley Village

11.2 Authorisation of Officers under the Planning and Environment Act 1987

11.3 Quick Response Grants

Brief Explanation – Governance Rules Chapter 6:

If there is a meeting of Councillors that:

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- Advisory committee where one or more Councillor/s is present;
- Budget discussion;
- Workshop re key Council priorities;
- Site inspection;
- Preliminary planning conference

If you require further clarification, please contact the Governance team.

Informal Meetings of Councillors Record

Governance Rules Chapter 6

This form must be completed by the appropriate attending Council Officer and submitted immediately to the Governance Department for reporting to Council.



9. Notices of Motion

Other Business

7. Invitations

8. Councillor/CEO Only Discussion

Nil

Conflict of Interest Disclosures:

Councillor Disclosures:

Nil

Officer Disclosures:

Nil

Brief Explanation – Governance Rules Chapter 6:

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- Budget discussion;
- Workshop re key Council priorities;
- Site inspection;
- Preliminary planning conference

If you require further clarification, please contact the Governance team.

Informal Meetings of Councillors Record

Governance Rules Chapter 6

This form must be completed by the appropriate attending Council Officer and submitted immediately to the Governance Department for reporting to Council.



Meeting Details

Date: 19 July 2021

Time: 6.00pm

Meeting Location: via the Zoom platform

Meeting Reason: Strategic Councillor Information Session

Attendees:

Councillor/s:

Cr Steve Staikos (Mayor)
Cr Hadi Saab (Deputy Mayor)
Cr Tamsin Bearsley (arrived at 6.06pm)
Cr Tim Cochrane (arrived at 6.03pm)
Cr Tracey Davies (arrived at 6.06pm)
Cr Jenna Davey-Burns
Cr David Eden (arrived at 6.10pm)
Cr Chris Hill (arrived at 6.04pm)
Cr Cameron Howe (arrived at 6.30pm)
Cr George Hua (arrived at 6.06pm)
Cr Georgina Oxley

Officer/s:

Tim Tamlin, Interim Chief Executive Officer
Mauro Bolin, General Manager Community Sustainability
Jonathan Guttman, General Manager Planning and Development
Samantha Krull, General Manager City Assets and Environment
Tony Ljaskevic, General Manager Corporate Services
Tracey Cheeseman, Manager Communications and Community Relations
Michelle Devanny, Program Leader Communications and Engagement
Phil De Losa, Manager Governance
Patrick O'Gorman, Governance Officer
Paul Marsden, Manager City Strategy
Jane Grace, Manager Libraries and Social Development
Gail McDonald, Team Leader Library Buildings, Hubs and Partnerships
Emily Boucher, Manager Open Space
Helen F Scott, Team Leader Environmental Planning
Bridget Draper, Manager Active Kingston

Guests

Claire Filson, Chair Audit & Risk Committee
Bruce Potgieter, Audit & Risk Committee
Geoff Harry, Audit & Risk Committee

Apologies:

Nil

[continued over page](#)

1 of 2

Informal Meetings of Councillors Record

Governance Rules Chapter 6

This form must be completed by the appropriate attending Council Officer and submitted immediately to the Governance Department for reporting to Council.



Summary of Matters Discussed:

- 1 Apologies
- 2 Disclosures by Councillors, Officers and Contractors of any Conflict of Interest
- 3 Notes of the Strategic CIS Meeting of 12 July 2021
- 4 Audit and Risk Committee Minutes – 16 June 2021
- 5 Bi Annual Report from the Audit and Risk Committee
- 6 Opportunity for Councillor to meet Council's Audit and Risk Committee Members
- 7 Councillor Weekly Updates and Executive Updates
- 8 Minutes from the June 2021 Community Safety Advisory Committee meeting
- 9 Response to Resolution - Tree Removal Over Eight (8) Metres - July 2021 Report
- 10 Patterson Lakes Community Centre Consultation Update
- 11 Suburban Rail Loop - Design Advocacy - Community consultation
- 12 Vegetation and Tree Management – Background
- 13 Kennedy Community Centre Proposal – Hawthorn Football Club
- 14 Invitations

Conflict of Interest Disclosures:

Councillor Disclosures: Nil

Name of Councillor:

Explanation of the nature of the conflict: General OR Material

Councillor left the meeting prior to discussion: YES/NO

Time left: Time returned:

Officer Disclosures: Nil

Brief Explanation – Governance Rules Chapter 6:

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- Advisory committee where one or more Councillor/s is present;
- Budget discussion;
- Workshop re key Council priorities;
- Site inspection;
- Preliminary planning conference

If you require further clarification, please contact the Governance team.

Informal Meetings of Councillors Record

Governance Rules Chapter 6

This form must be completed by the appropriate attending Council Officer and submitted immediately to the Governance Department for reporting to Council.



Name of Officer:

Explanation of the nature of the conflict:

General OR Material

Councillor left the meeting prior to discussion:

YES/NO

Time left:

Time returned:

Completed by: Patrick O’Gorman

Date: 20/07/2021

Brief Explanation – Governance Rules Chapter 6:

If there is a meeting of Councillors that:

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 - 1.3 is not a *Council meeting*, *Delegated Committee meeting* or *Community Asset Committee meeting*
- the *Chief Executive Officer* must ensure that a summary of the matters discussed at the meeting are:
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- Budget discussion;
- Workshop re key Council priorities;
- Site inspection;
- Preliminary planning conference

If you require further clarification, please contact the Governance team.

2 of 2

26 July 2021

Agenda Item No: 11.4

QUICK RESPONSE GRANTS

Contact Officer: Gabby Pattenden, Governance Officer

Purpose of Report

To seek Council's consideration of Quick Response Grant applications received.

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council approve the following Quick Response Grant applications:

- Parkdale Vultures Amateur Football Club - \$1500.00
- Chelsea Men's Shed - \$1500.00
- Mordialloc Motor Yacht Club - \$1500.00
- Aspies: Find Your Tribe Inc. - \$1500.00

1. Executive Summary

The Quick Response Grants Program gives individuals and community groups the opportunity to apply for small grants required at short notice to help them achieve their goals and ambitions.

This Program responds to the community's need for a form of grant that is flexible and efficient in terms of the time between application and approval and applies to smaller amounts of funding to a maximum of \$1,500.00.

Quick Response Grants are a category under Council's Community Grants Program.

2. Background

In April 2019 Council revised the Quick Response Grants Guidelines. Grant applications are checked for eligibility in line with a set of criteria outlined in the Guidelines. An application must be submitted to Council and considered for approval at a Council Meeting.

Any not-for-profit group, school or community organisation providing services within the City of Kingston may apply.

Individuals must be a resident of the City of Kingston and participating in an activity in an unpaid capacity and not as a requirement of any formal course of study or of their employment. Individuals can apply for a grant to assist them to participate in a sporting, educational, recreational or cultural activity; other pursuit of a personal development nature; which will have a clear benefit to the community.

Community groups can apply for a grant to assist with the provision of a service, program or activity used by or of benefit to Kingston residents.

3. Discussion

3.1. Council Plan Alignment

Goal 3 - Our connected, inclusive, healthy and learning community

Direction 3.4 - Promote an active, healthy and involved community life

3.2. Operation and Strategic Issues

3.2.1. Assessment of Application Criteria

Applications for Quick Response Grants are assessed against the criteria outlined in the guidelines as follows:

- Are funds needed at short notice or can they wait for the Annual Grants program?
- Does the proposed activity/event/project benefit the City of Kingston residents?
- Has the applicant demonstrated a clear need for funds?
- Has the applicant received any other funding from Council?
- That the organisation is a not-for-profit and has a bank account in the name of organisation.
- Can the project be funded under any other Council grant program?

4. Applications

Name:	Parkdale Vultures Amateur Football Club	
Amount requested:	\$1500.00	
Description of Project/Event:	Replacement of goal post padding	
How the funds will be used:	Goal post padding	
Assessment Criteria:		
• The applicant meets the eligibility criteria		✓
• Funds are needed at short notice		✓
• The activity/event/project benefits the City of Kingston residents		✓
• The applicant has demonstrated a clear need for funds		✓
• The applicant has not received any other funding from Council		✓
• The applicant is an individual or not for profit organisation		✓
• The project cannot be funded under any other Council Grant program		✓
Grants received in current or last financial year		
\$2.0k - Annual Grant - Sep'20		
\$1.4k - Quick Response Grant - Jul'20		
Officer Comment:		
This application meets the assessment criteria and is recommended for approval for an amount of \$1500.00.		

**City of Kingston
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26 July 2021

Name:	Chelsea Men's Shed	
Amount requested:	\$1500.00	
Description of Project/Event:	Repair and maintenance of tools	
How the funds will be used:	Renegade Industrial 170 Piece HSS Bulk Metric Drill Bit Set \$180 Bench Sander sheets \$80 S170 Piece HSS Bulk Metric Drill Bit Set \$180 Router bits \$150 Bench Sander sheets \$120 Saw blade sharpening \$180 Thickneser service \$330 Repair Benchtop router table \$120 Replenish first aid kit \$100 Battery packs \$160 Band saw blades \$80 Jigsaw Blades \$80 Total \$1500	
Assessment Criteria:	<ul style="list-style-type: none"> The applicant meets the eligibility criteria Funds are needed at short notice The activity/event/project benefits the City of Kingston residents The applicant has demonstrated a clear need for funds The applicant has not received any other funding from Council The applicant is an individual or not for profit organisation The project cannot be funded under any other Council Grant program 	✓ ✓ ✓ ✓ ✓ ✓ ✓
Grants received in current or last financial year \$1.7k - Annual Grant - Aug'20		
Officer Comment: This application meets the assessment criteria and is recommended for approval for an amount of \$1500.00.		

**City of Kingston
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26 July 2021

Name:	Mordialloc Motor Yacht Club	
Amount requested:	\$1500.00	
Description of Project/Event:	This grant would enable the Mordialloc Motor Yacht Club (MMYC) to obtain cost plans for a proposed multipurpose, unisex, fit for purpose clubhouse incorporating a boat training centre to meet the changing needs of the community. MMYC has already paid for architectural concept plans because we see the need to quickly prepare a full proposal including an economic impact statement to enable effective advocacy for funding from all levels of government, particularly outside the City of Kingston to Federal and State Governments during 2021 in the lead up to both State and Federal elections. This project has been discussed with Tim Tamlin CEO Kingston Council and with Cr Bearsley, Cr Davies and Cr Cochrane. We have also spoken with Tim Richardson MP and will speak with the federal member but we require a costing for the project to undertake informed advocacy.	
How the funds will be used:	The funds will assist cover costs a quantity surveyor to provide cost plans for the proposed project to assist advocacy and the preparation of an economic impact report for the project. The funding requested will not cover the full cost of the consultant but the club will pay the difference.	
Assessment Criteria:	<ul style="list-style-type: none"> • The applicant meets the eligibility criteria • Funds are needed at short notice • The activity/event/project benefits the City of Kingston residents • The applicant has demonstrated a clear need for funds • The applicant has not received any other funding from Council • The applicant is an individual or not for profit organisation • The project cannot be funded under any other Council Grant program 	<ul style="list-style-type: none"> ✓ ✓ ✓ ✓ ✓ ✓ ✓
Grants received in current or last financial year \$1.5k - Quick Response Grant - Dec'20 \$5.2k - Annual Grant - Sep'20		
Officer Comment: This application meets the assessment criteria and is recommended for approval for an amount of \$1500.00.		

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26 July 2021

Name:	Aspies: Find Your Tribe Inc.	
Amount requested:	\$1500.00	
Description of Project/Event:	Aspies: Find Your Tribe Inc. is a not-for-profit organisation, run by volunteers with lived experience of Aspergers (Autism). We aim to create a community of like-minded people through interest groups called 'Tribes'. Tribes are as diverse as our members and may include art, music, sport, games, book and conversational groups. Members are equally valued irrespective of their level of involvement in Tribe activities. By sharing information, stories and resources, Tribes assist members to become stronger, wiser and more resilient; to feel included and be supported. Life-changing connections result, leading to a happier and more community-focused society. Aspies: Find Your Tribe Inc. also strives to advocate for those who struggle to be heard, can't find their words or need support, in education, medical and allied health systems, workplaces and anywhere we can make a difference.	
How the funds will be used:	The funds will be used for room rental at Highett Neighbourhood Community Centre for the Parents and Carers Group which is held twice a month during school terms; approximately 21 meetings per annum. The cost of the room is \$33 per hour, and the morning meetings run for 2 hours and evening meetings for 2.5 hours. Therefore the room rental costs are calculated as follows: Morning meeting: \$33 x 2 x 11 = \$726 Evening meeting: \$33 x 2.5 x 10 = \$825 Total: \$726 + \$825 = \$1,551	
Assessment Criteria:	<ul style="list-style-type: none">• The applicant meets the eligibility criteria• Funds are needed at short notice• The activity/event/project benefits the City of Kingston residents• The applicant has demonstrated a clear need for funds• The applicant has not received any other funding from Council• The applicant is an individual or not for profit organisation• The project cannot be funded under any other Council Grant program	<div>✓</div> <div>✓</div> <div>✓</div> <div>✓</div> <div>✓</div> <div>✓</div> <div>✓</div>
Grants received in current or last financial year Nil		
Officer Comment: This application meets the assessment criteria and is recommended for approval for an amount of \$1500.00. Whilst the group is located just outside the Kingston municipal boundary, it is considered that the group offers community benefit to Kingston residents who access its activities and resources.		

5. Conclusion

The grant applications in this report have been assessed according to the assessment criteria approved by Council in the Quick Response Guidelines.

5.1. Environmental Implications

N/A

5.2. Social Implications

The allocation of Quick Response Grants allows for Council to provide funds on a small scale to groups and individuals or towards projects or events that are consistent with Council's strategic directions and of benefit to Kingston's residents and community.

5.3. Resource Implications

Funds for Quick Response Grants are allocated by Council through its annual budget process.

5.4. Legal / Risk Implications

N/A

Author/s: Gabby Pattenden, Governance Officer
Reviewed and Approved By: Phil DeLosa, Manager Governance
Tony Ljaskevic, General Manager Corporate Services

26 July 2021

Agenda Item No: 11.5

AUTHORISATION OF OFFICERS UNDER THE PLANNING AND ENVIRONMENT ACT 1987

Contact Officer: Marilyn DeBenedictis, Governance Officer

Purpose of Report

The purpose of this report is to seek a Council resolution to authorise officers for the purposes of the *Planning and Environment Act 1987* (the Act) and regulations made under that Act.

Disclosure of Officer / Contractor Conflict of Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That:

1. In the exercise of the powers conferred by s147(4) of the *Planning and Environment Act 1987*, Kingston City Council resolves that the members of Council staff referred to in each instrument attached (refer to appendices) be appointed and authorised as set out in the instrument.
2. Each instrument comes into force immediately on resolution and remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless Council determines to vary or revoke it earlier.

1. Executive Summary

A resolution of Council is sought to authorise Council staff under the *Planning and Environment Act 1987* (the PE Act). Instruments of Appointment and Authorisation under this Act must be approved by resolution of Council.

2. Background

This request to authorise officers is due to a recent review of authorisation requirements for the Statutory Planning team and the appointment of Council's new Deputy Municipal Building Surveyor (MBS) within the Building team.

As the *responsible authority* under the *Planning and Environment Act 1987*, Council can authorise officers under section 147(4) of the Planning and Environment Act (PE) Act.

The authorisation of officers under other Acts, including the *Local Government Act 1989* and Council's Local Laws is performed by the Chief Executive Officer. Officers are authorised under the *Local Government Act 1989* to enforce the *Local Government Act 1989*, the *Local Government Act 2020* and the Local Laws made under those Acts.

The following instruments are proposed and made under the PE Act to ensure officers are authorised to administer the function, powers and duties of their roles and to meet legislative compliance obligations.

3. Discussion

3.1 Council Plan Alignment

Goal 5 - Our well-governed and responsive organisation

Direction 5.1 - Support decision making to provide an efficient and effective council which embodies the principles of democracy

3.2 Consultation/Internal Review

The administration for appointing Authorised Officers is undertaken by the Governance Department. Governance maintains the Register of Authorised Officers, produces the draft instruments for approval by the relevant authority and, upon approval, organises the issuing of Authorised Officer identity cards. The Manager City Development and senior members of the team have participated in a review of the statutory and practical requirements of each role within the team and have been involved in the subsequent development and review of the instruments. The Municipal Building Surveyor was involved in the development of the required instrument for the Deputy MBS.

3.3 Operation and Strategic Issues

The proper appointment and authorisation of officers is an essential governance requirement for Council enforcement functions. New authorisations are required when new staff join Council or existing staff are appointed to roles requiring authorisation. Reviews are undertaken regularly to ensure all officers have the appropriate authorisations to carry out their roles effectively.

4. Conclusion

Authorisation under the *Planning and Environment Act 1987* is essential to empower the Officer to carry out their role on behalf of Council. It is recommended that Council resolve at the Ordinary Meeting on 28 July 2021 to appoint and authorise the officers as per the attached Instruments.Environmental Implications

Not applicable

4.1 Social Implications

Not applicable

4.2 Resource Implications

Not applicable

4.3 Legal / Risk Implications

The proper appointment and authorisation of officers is important as the instruments may be used in court to demonstrate that an authorised officer was duly authorised to take the action or make the decision they made. If the appointment and authorisation are not properly made, the officer's actions or decisions could be found to be invalid.





Appendices

- Appendix 1 - Instrument of Appointment and Authorisation - Planning and Environment Act - Team Leader Statutory Planning – Amy Lin (Ref 21/152053)  [↓](#)
- Appendix 2 - Instrument of Appointment and Authorisation - Planning and Environment Act - Team Leader Statutory Planning – James Leonard (Ref 21/152046)  [↓](#)
- Appendix 3 - Instrument of Appointment and Authorisation - Planning and Environment Act - Team Leader Statutory Planning – Jennifer Pippo (Ref 21/151949)  [↓](#)
- Appendix 4 - Instrument of Appointment and Authorisation - Planning and Environment Act - Team Leader Statutory Planning – Nicole Bartley (Ref 21/152037)  [↓](#)
- Appendix 5 - Instrument of Appointment and Authorisation - Planning and Environment Act - Senior Planner - Girija Shrestha (Ref 21/152059)  [↓](#)
- Appendix 6 - Instrument of Appointment and Authorisation - Planning and Environment Act - Senior Planner - Rochelle Reinhardt (Ref 21/152064)  [↓](#)
- Appendix 7 - Instrument of Appointment and Authorisation - Planning and Environment Act - Senior Planner - Timur Yildirim (Ref 21/152118)  [↓](#)
- Appendix 8 - Instrument of Appointment and Authorisation - Planning and Environment Act - Senior Planner - David Tancheff (Ref 21/152118)  [↓](#)
- Appendix 9 - Instrument of Appointment and Authorisation - Planning and Environment Act - Senior Planner - Todd Cracknell (Ref 21/152072)  [↓](#)
- Appendix 10 - Instrument of Appointment and Authorisation - Planning and Environment Act - Principal Planner - Hugh Charlton (Ref 21/151973)  [↓](#)
- Appendix 11 - Instrument of Appointment and Authorisation - Planning and Environment Act - Principal Planner - Beau McKenzie (Ref 21/151958)  [↓](#)
- Appendix 12 - Instrument of Appointment and Authorisation - Planning and Environment Act - Statutory Planner - Laurence Lim (Ref 21/152080)  [↓](#)
- Appendix 13 - Instrument of Appointment and Authorisation - Planning and Environment Act - Statutory Planner - Rhys Oatley (Ref 21/151949)  [↓](#)
- Appendix 14 - Instrument of Appointment and Authorisation - Planning and Environment Act - Statutory Planner - Matthew Yeung (Ref 21/152088)  [↓](#)
- Appendix 15 - Instrument of Appointment and Authorisation - Planning and Environment Act - Statutory Planner - Chelsea Campo (Ref 21/152104)  [↓](#)
- Appendix 16 - Instrument of Appointment and Authorisation - Planning and Environment Act - Statutory Planner - Metika Claxton (Ref 21/152108)  [↓](#)
- Appendix 17 - Instrument of Appointment and Authorisation - Planning and Environment Act - Development Approval Engineer - Margaret Nowak (Ref 21/156725)  [↓](#)
- Appendix 18 - Instrument of Appointment and Authorisation - Planning and Environment Act - Development Approval Engineer - Helen Scott (Ref 21/151932)  [↓](#)
- Appendix 19 - Instrument of Appointment and Authorisation - Planning and Environment Act - Senior Development Approval Engineer - Roshan Khanal (Ref 21/151978)  [↓](#)
- Appendix 20 - Instrument of Appointment and Authorisation - Planning and Environment Act - Student Development Approvals Engineer - Aiden Reisinger (Ref 21/151994)  [↓](#)
- Appendix 21 - Instrument of Appointment and Authorisation - Planning and Environment

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- Act - Student Planner - Alexander Bitmead (Ref 21/151988)  [↓](#)
- Appendix 22 - Instrument of Appointment and Authorisation - Planning and Environment
Act - Student Planner - Sinead Fortune (Ref 21/151984)  [↓](#)
- Appendix 23 - Instrument of Appointment and Authorisation - Planning and Environment
Act - VicSmart Planning Officer - Troy Proudfoot (Ref 21/152003)  [↓](#)
- Appendix 24 - Instrument of Appointment and Authorisation - Planning and Environment
Act - Deputy MBS - Heshan Mendis (Ref 21/156725)  [↓](#)

Author/s: Marilyn DeBenedictis, Governance Officer
Reviewed and Approved By: Phil DeLosa, Manager Governance
Tony Ljaskevic, General Manager Corporate Services

11.5

AUTHORISATION OF OFFICERS UNDER THE PLANNING AND ENVIRONMENT ACT 1987

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- 23 Instrument of Appointment and Authorisation - Planning and Environment Act - VicSmart Planning Officer - Troy Proudfoot 677**
- 24 Instrument of Appointment and Authorisation - Planning and Environment Act - Deputy MBS - Heshan Mendis 679**



Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)

In this instrument "**officer**" means -

Amy Lin

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and
2. under s 313 of the *Local Government Act 2020* authorises the officer either generally or in a particular case to institute proceedings for offences against the Acts and regulations described in this instrument.

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021



Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)

In this instrument "**officer**" means -

James Leonard

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and
2. under s 313 of the *Local Government Act 2020* authorises the officer either generally or in a particular case to institute proceedings for offences against the Acts and regulations described in this instrument.

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021



Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)

In this instrument "**officer**" means -

Margaret Nowak

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021



Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)

In this instrument "**officer**" means -

Nicole Bartley

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and
2. under s 313 of the *Local Government Act 2020* authorises the officer either generally or in a particular case to institute proceedings for offences against the Acts and regulations described in this instrument.

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)



In this instrument "**officer**" means -

Girija Shrestha

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)



In this instrument "**officer**" means -

Rochelle Reinhardt

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**



In this instrument "**officer**" means -

Timur Yildirim

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**



In this instrument "**officer**" means -

Timur Yildirim

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**



In this instrument "**officer**" means -

Todd Cracknell

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**



In this instrument "**officer**" means -

Hugh Charlton

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**



In this instrument "**officer**" means -

Beau McKenzie

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**



In this instrument "**officer**" means -

Laurence Lim

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)



In this instrument "**officer**" means -

Margaret Nowak

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**



In this instrument "**officer**" means -

Matthew Yeung

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**



In this instrument "**officer**" means -

Chelsea Campo

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**



In this instrument "**officer**" means -

David Tancheff

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021



Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)

In this instrument "**officer**" means -

Heshan Mendis

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and
2. under s 313 of the *Local Government Act 2020* authorises the officer either generally or in a particular case to institute proceedings for offences against the Acts and regulations described in this instrument.

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021



Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)

In this instrument "**officer**" means -

Margaret Nowak

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021



Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)

In this instrument "**officer**" means -

Roshan Khanal

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)



In this instrument "**officer**" means -

Aiden Reisinger

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**



In this instrument "**officer**" means -

Alexander Bitmead

By this instrument of appointment and authorisation Kingston City Council -

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**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**



In this instrument "**officer**" means -

Sinead Fortune

By this instrument of appointment and authorisation Kingston City Council -

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This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021



Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)

In this instrument "**officer**" means -

Troy Proudfoot

By this instrument of appointment and authorisation Kingston City Council -

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It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
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Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)



In this instrument "**officer**" means -

Heshan Mendis

By this instrument of appointment and authorisation Kingston City Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and
2. under s 313 of the *Local Government Act 2020* authorises the officer either generally or in a particular case to institute proceedings for offences against the Acts and regulations described in this instrument.

It is declared that this instrument -

- (a) comes into force immediately upon resolution of Council;
- (b) remains in force until such time as the officer is no longer employed, contracted or otherwise engaged to undertake the duties on behalf of Kingston City Council, unless varied or revoked earlier.

This instrument is authorised by a resolution of the Kingston City Council on 28 July 2021

26 July 2021

Agenda Item No: 11.6

NAMING PROPOSAL OF PAVILION AT ROWAN RESERVE, DINGLEY VILLAGE

Contact Officer: Patrick O'Gorman, Governance Officer

Purpose of Report

The purpose of this report is to consider the naming of the pavilion utilised by the Springvale & District Netball Association (SDNA) in Rowan Reserve Dingley Village, and a process for community consultation.

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

OFFICER RECOMMENDATION

That Council commence a process of consultation regarding the proposed naming including the proposal of 'Lynne Fleming Pavilion'.

1. Executive Summary

The President of the SDNA has submitted a naming proposal for the SDNA pavilion in Rowan Reserve, Dingley Village to be named the 'Lynne Fleming Pavilion' (Appendix 1). As a naming authority, Council can make an application to the Office of Geographic Names to name the pavilion if considered the name appropriate and compliant.

The proposed name is in honour of Lynne Fleming, who served as President of the SDNA for 4 separate terms. Lynne Fleming played a role in approaching the Springvale Council to purchase the land at Rowan Road and build the netball courts. Springvale Council eventually purchased the land at Rowan Road to which is the present location of the SDNA in Rowan Reserve.

It is proposed that community consultation be conducted in accordance with the naming rules to understand community views.

Following community consultation, a further report will be provided to Council outlining the results of this consultation and the next steps that are required in the process.

In previous consultation processes, alternate naming proposals have been provided due to a broad community interest, but in this naming process this pavilion is used exclusively by the netball clubs affiliated with the SDNA and their partners the Southern Football Netball League (SFNL), with supporting evidence (found in Appendix 4) that suggests the naming proposal has significant endorsement from their members who are also residents of Kingston and other municipalities.

2. Background

The Naming Rules for Places in Victoria, Statutory Requirements for naming roads, features and localities – 2016 (Naming Rules) outline the statutory requirements under the *Geographic Place Names Act 1998*. They are therefore mandatory for all naming authorities in Victoria.

1.

Council is the authority for the naming of public features within the City of Kingston. Council is required to comply with the Naming Rules when making any application to the Office of Geographic Names to name or rename a public feature. An application to name a feature can take between 3 and 6 months to complete.

3. Discussion

3.1 Council Plan Alignment

Goal 5 - Our well-governed and responsive organisation

Direction 5.1 - Support decision making to provide an efficient and effective council which embodies the principles of democracy

As the naming authority, Council is responsible for undertaking the naming proposal process.

3.2 Consultation/Internal Review

The key stakeholders regarding community consultation for this naming proposal are the Kingston residents and clubs that utilise the courts, including the following clubs which are associated with the SDNA; Dingley Netball Club, Aspendale Arrows Netball Club, Edithvale Netball Club, Maroons Netball Club, MCC Panthers Netball Club, Mentone Clovers Netball Club, Mordialloc Redbacks Junior Sporting Club and the Noble Park Netball Club. The SDNA also partners with the Southern Football Netball League (SFNL) to provide senior netball to SDNA members to which they use the pavilion.

3.3 Operation and Strategic Issues

3.3.1 Proposed Name – 'Lynne Fleming Pavilion'

This naming proposal recognises Lynne Fleming who was a key figure of the SDNA, who passed away in February 2021. Lynne Fleming advocated to Springvale Council to purchase the land and build 16 netball courts in what is now the home of the SDNA in Dingley Village. Lynne Fleming served as President of the SDNA for 4 terms and was made a Life Member of SDNA in 1975 in recognition of her contribution and dedication. Lynne continued to remain an active member of the SDNA outside of her terms as President. Further information regarding Ms. Fleming can be found in Appendix 1. An accompanying local paper story on Lynne Fleming that was provided in the application by the SDNA is found in Appendix 2.

SDNA made an application in 2017 to Council to request that the pavilion be named the Lynne Fleming Pavilion in 2017, and an application was submitted to the Office of Geographic Names for an exemption to Principle (H) – Using Commemorative Names, but was rejected.

The naming proposal is supported by a list of adult members of the SDNA, as well as parents and grandparents of junior players who have long standing ties to the SDNA, many to whom are local residents to Dingley as well as residents of surrounding suburbs & municipalities (Appendix 4).

Evidence of family consent, a preference of the Office of Geographic Names, is provided via a letter of support (Appendix 3).

3.3.2 Naming Rules Compliance

The general principles contained within the Naming Rules ensure no ambiguity, confusion, error or discrimination is caused by the naming process. To make an application to the Office of Geographic Names, Council must address the following 12 principles upon application:

- Principle (A) Ensuring public safety
- Principle (B) Recognising the public interest
- Principle (C) Linking the name to place
- Principle (D) Ensuring names are not duplicated
- Principle (E) Names must not be discriminatory
- Principle (F) Recognition and use of Aboriginal languages in naming
- Principle (G) Dual names
- Principle (H) Using commemorative names
- Principle (I) Using commercial and business names
- Principle (J) Language
- Principle (K) Directional names to be avoided
- Principle (L) Assigning extent to a road, feature or locality

Officers are satisfied the naming proposal is compliant with the Naming Rules and Principles. The Office of Geographic Names have indicated preliminary compliance of this proposal, specifically on the preference of commemorative names, noting the intention to reflect the late Lynne Fleming.

3.3.3 Proposed Community Engagement

A 30-day community consultation period is required to seek community views of naming the pavilion at SDNA, including the proposed 'Lynne Fleming Pavilion'. The consultation will involve utilising Council's online engagement platform, bulletins, signage, and letters/emails to key stakeholders such as the abovementioned sporting groups and surrounding residents.

Anyone can raise an objection or support a naming proposal submission. Results of the community consultation including submissions will be included in an assessment report for Council's consideration.

3.4 Options

3.4.1 Option 1- Conduct community consultation that only includes the naming proposal of 'Lynne Fleming Pavilion'.

In responding to the naming request, Council could conduct a community consultation process endorsing the name 'Lynne Fleming Pavilion'.

3.4.2 Option 2 – Council proposes an alternate name

If Council considers the naming proposal isn't suitable, then an alternate name may be proposed.

4. Conclusion

4.1 Environmental Implications

NA

4.2 Social Implications

Appropriate and consistent naming of public features provides benefits for the community including easy recognition and identification of place, acknowledgement of culture, heritage, landscape and connection to country, efficiency in emergency service response and natural disaster relief, communications, trade and commerce.

4.3 Resource Implications


Should the naming application to the Office of Geographic Names be successful, costs may be incurred through the provision of signage of the pavilion. Additional costs associated with undertaking community consultation may also be required.


4.4 Legal / Risk Implications

In accordance with the *Geographic Place Names Act 1998*, there is a formal process for naming which Council is required to follow. There is also the naming process as set out by *Naming Rules for Place in Victoria, Statutory Requirements for naming roads, features and localities – 2016*.

Appendices

Appendix 1 - SDNA - Lynne Fleming Pavilion - Naming Request (Ref 21/132473)  [↓](#)

Appendix 2 - Lynne Fleming - Local Paper - (Ref 21/132475)  [↓](#)

Appendix 3 - Consent from the Fleming Family - SDNA Naming Pavilion (Ref 21/133433)  [↓](#)

Appendix 4 - Lynne Fleming Pavilion - Signatures (Ref 21/132477) - Confidential

Author/s: Patrick O'Gorman, Governance Officer

Reviewed and Approved By: Phil DeLosa, Manager Governance

Tony Ljaskevic, General Manager Corporate Services

11.6

NAMING PROPOSAL OF PAVILION AT ROWAN RESERVE, DINGLEY VILLAGE

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2	Lynne Fleming - Local Paper -.....	689
3	Consent from the Fleming Family - SDNA Naming Pavilion....	691



17th April 2021

Dear Councillors,

In 2017 SDNA made an application to KCC to name our pavilion after Lynne Fleming. The request was rejected by the Office of Geographic Names due to the current ruling that naming rights can only be considered once a person is no longer living. I have attached their response letter for your perusal.

Sadly, Lynne lost her battle with breast cancer and passed away on February 17th, 2021. We now request that KCC Consider re-submitting our application as we believe that Lynne truly deserves to be honoured for her contribution to our netball community.

Lynne was instrumental in sourcing the land in Rowan Road Dingley Village as at the time our Association had no home to call its own. I have attached a local newspaper article showing Lynne and Ann Castles (nee McAndrew) looking over the swamp land in Rowan Road. The article outlines our plight of having to play at several school venues throughout the Springvale area which was logistically challenging to manage.

Lynne and other members approached Springvale Council to purchase the land and build the 16 courts required to service our growing number of netball teams. Lynne and her committee were determined to be heard by council. They organised a protest consisting of all members with placards marching up Springvale Road to the door of the Town Hall. Springvale Council did eventually purchase and allocate the land at Rowan Road to build the 16 courts and so begins the SDNA story in Dingley Village. From humble beginnings SDNA has continued to prosper and offer a valuable service to this community thanks to Lynne and her steadfast committee.

Lynne made a significant contribution to the Association as President for the following terms: 1974 -1985, 1988-1989, 2009 -2011, 2012-2013. Lynne was made a Life Member of SDNA in 1975 in recognition of her contribution and dedication.

During periods where she was not President Lynne remained either a committee member or volunteer. She has been selfless in her endeavour to ensure that the young people of this area are able to enjoy their netball and follow their dreams. In later years she continued to contribute by assisting the Umpire and Representative programs. She remained an active member right up until the weeks prior to her passing.

In support of this application, I have included a list of signatures of adult members who have known Lynne for many years either as a player or parent. In some instances, they are people who knew Lynne in their younger years and who continued to be amazed at her on-going involvement when they come to watch their children and grandchildren.

I hope that you will consider this application favourably and grant our request to re-submit to the Office of Geographic names to re-consider the naming of the pavilion to – **'Lynne Fleming Pavilion'**.

Should you require any additional information to support this application please let me know.
You can contact me on [REDACTED]

I look forward to hearing from you soon.

Kind Regards,

Julie Pool.
SDNA President.

Location: Rowan Road Dingley Village VIC 3172
Mailing Address: P.O. Box 65 Dingley Village Vic 3172
Website: sdna.net.au
Email: secretary@sdna.net.au

1,800 NETBALLERS WANT ONE 'HOME'



• **ABOVE** — Mrs Lynne Fleming, president of Springvale and district netball association (left) and association secretary Mrs Ann McAndrew inspect the area of land they would like converted into a netball complex. It would require draining, but is basically flat.

Youth, Sport and Recreation Minister, Mr Brian Dixon, has been asked by Springvale and district netball association to help it acquire a permanent complex in Springvale for its 1,800 members.

This plea for support comes after much talking and letter writing between netball officials and Springvale Council. Association secretary Ann McAndrew told Mr Dixon Springvale Council

had said no property was available for a complex.

However, Mrs McAndrew said Warner Reserve in the Mile Creek area of Springvale would be ideal.

The News asked Springvale Mayor Cr Graeme Duggan about the area.

He said: "Warner Reserve would lend itself to the development of such a complex."

"If the Mile Creek area is suggested to council by the association, it would be considered."

Cr Duggan said he was sympathetic to the needs of the netball players and said the time had arrived to seriously consider a central venue handy to transportation.

177 TEAMS

Mrs McAndrew told the Minister the association consisted of 95 junior teams and 47 senior teams, all of which played on Saturday, plus 35 married ladies' teams, which had competition on Wednesdays.

The Saturday games have been divided between three venues, behind the city hall in

Springvale Road, at Glendale pavilion area and at Parkfield Reserve.

Due to increased membership of a local tennis club, Parkfield Reserve will be reduced to two netball courts, the other two being converted to tennis courts.

The association started 20 years ago and has been shifted to nine different locations.

President Mrs Lynne Fleming and Mrs McAndrew say there are sufficient numbers of members to warrant a complex being built with 12 to 16 courts and a pavilion that would provide change rooms and a creche.

Mr Dixon's department gave a prompt acknowledgement of the association's letter.

Ann McAndrew said that at present quite a few parents had several daughters in teams and had to drive miles each Saturday from one lot of courts to the next.

She added: "A lot of sporting clubs have good facilities in Springvale. We think it's netball's turn to get a complex."

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212 SPRINGVALE ROAD, SPRINGVALE
 (exactly halfway along)
 Established since 1932
 Phone 546 4100

From: [Kerryl Fleming](#)
To: [Patrick O'Gorman](#)
Subject: Fwd: Fleming approval
Date: Tuesday, 1 June 2021 5:46:25 PM
Attachments: [Fleming Approval.docx](#)

Good afternoon Patrick,

Attached please find our letter of approval to name the pavilion at SDNA in memory of my mum and her many years at SDNA including fighting to get the pavilion built.

We appreciate your time and effort.

If you require anything further please do not hesitate to contact me.

Kind Regards

Kerryl Fleming & Family

[Redacted signature]

Get [Outlook for Android](#)

From: [Redacted]
Sent: Tuesday, June 1, 2021 5:40:45 PM
To: Mum [Redacted]
Subject: Fleming approval

01/06/2021

Attention: Patrick O’Gorman
City of Kingston

I refer to the proposal to name the Pavilion at Springvale & District Netball Association in Rowans Rd Dingley in the name of my late mum, Lynne Fleming.

On behalf of my brothers, myself and the entire Fleming family we give our full consent for the naming of the pavilion to go ahead in remembrance of our mother, and acknowledgement of the contribution to this association including the construction of the pavilion many years ago

Please feel free to contact me at any time in relation to this matter on:

[REDACTED]

Kind regards

Kerryl Fleming

12. Notices of Motion

Council Meeting

26 July 2021

Agenda Item No: 12.1

NOTICE OF MOTION NO. 11/2021 - CR OXLEY - FEMALE FRIENDLY AND DISABILITY COMPLIANT FACILITIES

That officers provide a report to Council at the August Council Meeting outlining which Council sporting facilities do not have dedicated female change rooms/female friendly change rooms and which Council facilities do not have a dedicated disability compliant toilet/change room.

Cr Georgina Oxley

Council Meeting

26 July 2021

Agenda Item No: 12.2

NOTICE OF MOTION NO. 12/2021 - CR OXLEY - CHELSEA MEN'S SHED

Noting:

1. That the Chelsea Men's Shed have a MOU regarding tenancy at the Chelsea Church until June 2022 – after which time the Men's Shed will not have a location to move to and resume operations.
2. The ongoing discussions and already developed project scope and concept developed for use of the Council owned site at Catherine Avenue for use by the Men's Shed.

That officers provide a report to the August Council Meeting outlining the options and funding/budget requirements for moving the Chelsea Men's Shed to the Council owned former kinder site at Catherine Avenue.

Cr Georgina Oxley

26 July 2021

Agenda Item No: 12.3

NOTICE OF MOTION NO. 13/2021 - CRS HOWE, DAVEY-BURNS & BEARSLEY - PUBLIC ART BUDGET

That Council

1. Receives a report at the November 2021 Council meeting that:
 - a) outlines opportunities to create a network of contemporary arts and cultural trails throughout Kingston, featuring artistic works by recognised professional artists along high-profile cultural trails including the Patterson River trail;
 - b) outlines a multi-year funding plan to integrate public art as part of the 5 year capital works programme and operational budget, including the allocation of 2% of the budget for open space and building projects over \$1,000,000 and ongoing funding for curation, staffing and maintenance of the works;
 - c) proposes project timelines and a community engagement process, with a priority to implementing at least 3 works at the Patterson River trail;
 - d) identifies potential external funding opportunities; and
2. Receives a further report at a future Council meeting that investigates the establishment of a public art strategy and ongoing annual budget, which adequately services the growing internal and external demand for public art across the municipality now and into the future.

Cr Cameron Howe

Cr Tamsin Bearsley

Cr Jenna Davey-Burns

14 Confidential Items

This information is confidential information under section 3(1) of the *Local Government Act 2020* and therefore suitable for consideration in closed session. In accordance with the *Local Government Act 2020*, Council may resolve to consider these items in open or closed session.

Confidential Appendices

11.6 Naming Proposal of Pavilion at Rowan Reserve, Dingley Village

Appendix 4, Lynne Fleming Pavilion - Signatures is designated confidential as it relates to (s3(1)(f))

RECOMMENDATION

That in accordance with section 66(1) and 66(2)(a) of the *Local Government Act 2020*, the meeting be closed to members of the public for the consideration of the following confidential items:

Confidential Appendices

11.6 Naming Proposal of Pavilion at Rowan Reserve, Dingley Village

Appendix 4, Lynne Fleming Pavilion - Signatures

This appendix is confidential in accordance with the Local Government Act 2020, s3(1) as it relates to (s3(1)(f)).