

# Agenda

## Planning Committee Meeting

**Wednesday, 21st June 2023**

Commencing at 7.00pm

Council Chamber  
1230 Nepean Highway, Cheltenham

[kingston.vic.gov.au](http://kingston.vic.gov.au)

Peter Bean  
Chief Executive Officer  
Kingston City Council

## **ACKNOWLEDGEMENT OF COUNTRY**

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The City of Kingston proudly acknowledges the Bunurong People of the Kulin Nation as the Traditional Owners and Custodians of this land, and we pay our respect to their Elders, past and present and emerging.

Council acknowledges the Bunurong's continuing relationship to the land and waterways and respects that their connection and spiritual identity is maintained through ancient ceremonies, songlines, dance, art and living culture.

Council pays tribute to the invaluable contributions of the Bunurong and other Aboriginal and Torres Strait Island elders who have guided and continue to guide the work we do.

**City of Kingston  
Planning Committee Meeting**

**Agenda**

**21 June 2023**

**Notice** is given that Planning Committee Meeting of Kingston City Council will be held at 7.00pm at Council Chamber, 1230 Nepean Highway, Cheltenham, on Wednesday, 21 June 2023.

**1. Apologies**

**2. Confirmation of Minutes of Previous Meetings**

Minutes of Planning Committee Meeting 19 April 2023

**3. Foreshadowed Declaration by Councillors, Officers or Contractors of any Conflict of Interest**

*Note that any Conflicts of Interest need to be formally declared at the start of the meeting and immediately prior to the item being considered – type and nature of interest is required to be disclosed – if disclosed in writing to the CEO prior to the meeting only the type of interest needs to be disclosed prior to the item being considered.*

**4. Planning and Place Reports**

4.1	Town Planning Application Decisions - May 2023 .....	5
4.2	KP-2022/475 - 19-23 Central Avenue Moorabbin .....	21
4.3	KP-2019/359/A - 94 Tootal Road, Dingley Village .....	127

**5. Confidential Items**

Nil

# Explanation of Meeting Procedure

## Meeting Procedure is Regulated by Local Law

The procedures for this Planning Committee Meeting are regulated by Council's Meeting Procedures Local Law.

## Chairperson

The Mayor as Chairperson is the ultimate authority for the conduct of the meeting.

## Agenda

The business to be dealt with at the meeting is set out in the agenda. No other business can be dealt with.

## Motions

A motion must be moved and seconded to be valid. The mover of the motion will then be permitted to speak to it. Other Councillors will then be permitted to speak either for or against the motion. The mover will be permitted a right-of-reply, which will conclude the debate.

## Voting

The motion will then be voted on by show of hands. If the motion is carried, it becomes a resolution (decision) of the Committee. Any Councillor may call for a Division, in order that the vote of each Councillor is formally recorded.

## Amendments

A Councillor may move an amendment to a motion. Any amendment moved shall be dealt with in the same way as a motion, except that there is no right of reply for the mover of the amendment and the mover of the motion if the amendment is carried. If carried, the amendment becomes the motion and the previous motion is abandoned.

## Speaking at the Meeting

No visitor to a Planning Committee meeting may speak to the meeting, except for:

- The applicant (or his/her representative) and one objector in relation to an application for a planning permit;
- Special circumstances in which leave to speak is granted by the Chairperson.

Unless special circumstances apply, the Chairperson will limit the presentation of a speaker to three minutes duration.

## Confidential Business

The meeting may be closed at any time to deal with confidential items in camera. In these instances members of the public will be asked to leave the Council Chamber, and the meeting re-opened once the confidential business is completed.



## **4. Planning and Place Reports**

## Planning Committee Meeting

21 June 2023

**Agenda Item No: 4.1**

### **TOWN PLANNING APPLICATION DECISIONS - MAY 2023**

**Contact Officer: Carly De Mamiel, Senior Customer Liaison and Administration Officer**

Attached for information is the report of Town Planning Decisions for the month of May, 2023.

A summary of the decisions is as follows:

<b>Type of Decision</b>	<b>Number of Decisions Made</b>	<b>Percentage (%)</b>
Planning Permits	96	76
Notice of Decision	8	6
Refusal to Grant a Permit	4	3
Other - Withdrawn (12) - Prohibited (0) - Permit not required (5) - Lapsed (2) - Failure to Determine (0)	19	15
<b>Total</b>	<b>127</b>	<b>100</b>

(NB: Percentage figures have been rounded)

#### **OFFICER RECOMMENDATION**

That the report be noted.

#### **Appendices**

Appendix 1 - Town Planning Application Decisions May 2023 (Ref 23/149833) 

Author/s: Carly De Mamiel, Senior Customer Liaison and Administration Officer

Reviewed and Approved By: Naomi Crowe, Team Leader City Development Administration

# **4.1**

## **TOWN PLANNING APPLICATION DECISIONS - MAY 2023**

<b>1</b>	<b>Town Planning Application Decisions May 2023.....</b>	<b>9</b>
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Planning Decisions May, 2023							
APPL. No.	PROPERTY ADDRESS	SUBURB	APPL. DATE	DATE DECIDED	PROPOSAL DESCRIPTION	DECISION	VCAT DECISION
KP-2022/599	164 Lower Dandenong Road	PARKDALE	5/09/2022	1/05/2023	The construction of one (1) double storey dwelling to the rear of the existing dwelling and a first floor addition to the existing dwelling	Permit	No
KP-2023/215	2 47 Stewart Avenue	PARKDALE	28/04/2023	1/05/2023	build carport partial being on common area all owners in agreement	Withdrawn	No
KP-2022/518/B	56-62 Cochranes Road	MOORABBIN	23/03/2023	1/05/2023	Buildings and works associated with the existing industrial use and a reduction in the car parking requirement	Permit	No
KP-2023/107	1 Captain Street	ASPENDALE	7/03/2023	1/05/2023	Subdivide the land into three (3) lots	Permit	No
KP-2022/781	4 Sheppard Street	MOORABBIN	6/12/2022	2/05/2023	The construction of two (2) double storey dwellings	Permit	No
KP-2014/67/B	16 Woods Avenue	MORDIALLOC	10/02/2023	2/05/2023	Development of the land for four (4) dwellings	Permit	No
KP-2022/771	42 Clydebank Road	EDITHVALE	2/12/2022	2/05/2023	Extend and alter the existing dwelling and construct one (1) dwelling to the rear	Permit	No
KP-2023/196	11 Third Street	PARKDALE	22/04/2023	2/05/2023	The construction of a double storey dwelling in the Special Building Overlay	Permit	No
KP-2023/191	25 Hawke Street	PARKDALE	19/04/2023	2/05/2023	Subdivide the land into two (2) lots	Permit	No
KP-2007/45/B	2 Springvale Road	ASPENDALE GARDENS	28/10/2022	2/05/2023	The use and development of the site for a car wash and convenience restaurant, alter access to a road in a Transport Zone 2, display of business identification and internally illuminated business identification	Permit	No

					signage and associated works in accordance with the endorsed plans		
KP-2023/115	29 Wilson Street	CHELTENHAM	8/03/2023	3/05/2023	Subdivide the Land into Three (3) Lots	Permit	No
KP-2023/195	662-666 South Road	MOORABBIN	20/04/2023	4/05/2023	The construction of a pedestrian bridge between two buildings	Permit	No
KP-2022/704	1 587 Nepean Highway	BONBEACH	28/10/2022	4/05/2023	Develop the land for a dwelling extension on a lot less than 300m2 (enclosure of first floor balcony)	Permit	No
KP-2016/975/A	28 Turner Road	HIGHETT	3/11/2022	4/05/2023	To amend the original planning permit preamble and endorsed plans to include one (1) additional double storey dwelling (three (3) dwellings in total)	Permit	No
KP-2018/722/A	447 Main Street	MORDIALLOC	9/09/2022	4/05/2023	Development of a three (3) storey apartment building containing twenty-six (26) dwellings and roof top deck within the Design and Development Overlay Schedule 10, create access to a road in a Transport Zone 2 and associated works in accordance with the endorsed plans	Permit	No
KP-2019/359/B	94 Tootal Road	DINGLEY VILLAGE	26/04/2023	4/05/2023	Use and develop the land for a minor sport and recreation facility, function centre, indoor recreation facility, medical centre, residential building, shop, food and drink premises (café), museum and reduction of bicycle parking requirements	Permit	No
KP-2023/44	12 Victoria Street	PARKDALE	6/02/2023	4/05/2023	Development of two (2) dwellings	Permit	No
KP-2022/470	536 South Road	MOORABBIN	13/07/2022	5/05/2023	Use and develop the land for a medical centre, construct and put up for display business identification signage, alter access to a road in a	Permit	No

					Transport Zone 2 and associated works in accordance with the endorsed plans		
KP-2023/202	15 Como Parade East	MENTONE	24/04/2023	5/05/2023	Externally paint buildings in the Heritage Overlay (Schedule 107)	Permit	No
KP-2023/41	1308 Centre Road	CLAYTON SOUTH	6/02/2023	5/05/2023	Use of the land for a food truck in association with existing restaurant/cafe	Lapsed	No
KP-2023/84	711 Clayton Road	CLARINDA	17/02/2023	8/05/2023	The construction of an extension to the existing driveway and crossover and alterations to the access to a road in a Transport Zone 2	Permit	No
KP-2022/583	19 Moonda Grove	CHELTENHAM	31/08/2022	8/05/2023	The construction of a double storey dwelling to the rear of an existing dwelling, with associated buildings and works to the existing dwelling	Permit	No
KP-2021/929	40A Latrobe Street	MENTONE	24/12/2021	8/05/2023	The development of three (3) dwellings	Permit	No
KP-2023/128	19 Keiller Avenue	PARKDALE	26/04/2023	8/05/2023	The construction of an outbuilding (studio) associated with the existing dwelling in the Special Building Overlay	Permit	No
KP-2023/201	29 Broome Avenue	MENTONE	26/04/2023	8/05/2023	The construction of a ground floor extension to the existing dwelling in the Special Building Overlay	Permit	No
KP-2023/221	32 Dahmen Street	CARRUM	1/05/2023	8/05/2023	The construction of a front fence in the Special Building Overlay	Permit	No
KP-2023/222	48 Farm Road	CHELTENHAM	1/05/2023	8/05/2023	Subdivide the land into two (2) lots	Permit	No
KP-2023/186	74 Nepean Highway	ASPENDALE	17/04/2023	8/05/2023	Develop the land for the construction of one (1) dwelling	Permit Not Required	No
KP-2021/862	18 Clay Street	MOORABBIN	15/12/2021	9/05/2023	The development of two (2) dwellings	Notice of Decision	No
KP-2022/658	7 Taunton Drive	CHELTENHAM	4/10/2022	9/05/2023	Subdivide the Land into Two (2) Lots and for the Creation of a Party Wall Easement.	Permit	No

KP-2023/219	65 Nirringa Avenue	ASPENDALE	1/05/2023	9/05/2023	Subdivide the land into two (2) lots	Permit	No
KA-2/2022	2A Lewellin Grove	CARRUM	23/11/2022	9/05/2023	Removal of Section 173 Agreement S106042R from Certificate of Title	Refused	No
KP-2023/243	711 Clayton Road	CLARINDA	3/05/2023	9/05/2023	Please disregard this application only half processed please use KP-2023/244  Installation of a car park shelter. The roof will incorporate solar panels as part of the structure.	Withdrawn	No
KP-2023/244	711 Clayton Road	CLARINDA	3/05/2023	9/05/2023	Installation of a car park shelter. The roof will incorporate solar panels as part of the structure.	Withdrawn	No
KP-2022/690	47 Kallay Street	CLAYTON SOUTH	20/10/2022	9/05/2023	Construction of two (2) double storey dwellings	Notice of Decision	No
KP-2022/483	410-412 Warrigal Road	HEATHERTON	19/07/2022	10/05/2023	The development and use of the site for two (2) convenience restaurants, the display of advertising signage and the construction and alteration of access to a road in a Transport Zone 2	Notice of Decision	No
KP-2023/94	Unit 2 1 Thomas Court	PARKDALE	21/02/2023	10/05/2023	Boundary realignment to transfers part of Common Property No. 1 to Lot T02	Permit	No
KP-2023/223	7 Verbena Street	MORDIALLOC	2/05/2023	10/05/2023	Subdivide the land into two (2) lots	Permit	No
KP-2023/224	12 Barkly Street	MORDIALLOC	2/05/2023	10/05/2023	Subdivide the Land into Two (2) Lots	Permit	No
KP-2023/88	384A Nepean Highway	CHELSEA	22/02/2023	10/05/2023	The construction of buildings and works to extend the ground floor of the existing building and a reduction in the car parking requirement associated with a food and drink premises	Permit	No

KP-2022/720	27 Myola Street	CARRUM	4/11/2022	10/05/2023	Development of the land for three (3) double storey dwellings, including two (2) new dwellings and alterations and additions to the existing dwelling	Notice of Decision	No
KP-2023/176	24 Houston Street	MENTONE	6/04/2023	10/05/2023	The development of one (1) dwelling within a Design and Development Overlay	Permit	No
KP-2022/185	41 Broadway	BONBEACH	23/03/2022	10/05/2023	The construction of twenty-two (22) double storey dwellings and a reduction in the residential visitor car parking requirement	Refused	No
KP-2014/957/B	30-36 Edithvale Road	EDITHVALE	10/03/2023	10/05/2023	Develop the Land for the construction of ten (10) double storey dwellings and to create access to a road in a Transport Zone 2	Permit	No
KP-2023/62	55 Keys Road	MOORABBIN	10/02/2023	10/05/2023	The display of internally illuminated and business identification signage	Permit	No
KP-2002/740/B	Unit 8 6 Dahmen Street	CARRUM	14/04/2023	10/05/2023	Develop the Land for the Construction of Five (5) Dwellings	Permit	No
KP-2023/188	Warehouse 2 35 Lakewood Boulevard	BRAESIDE	17/04/2023	10/05/2023	The construction of an extension to the mezzanine level in an existing warehouse	Withdrawn	No
KP-2023/137	3 Bertram Street	MORDIALLOC	22/03/2023	10/05/2023	The construction of a front fence in the Land Subject to Inundation Overlay	Permit	No
KP-2019/273/A	6 Deanswood Court	CHELTENHAM	16/05/2022	10/05/2023	The development of two (2) double storey dwellings within a Special Building Overlay	Withdrawn	No
KP-2022/515/A	91-93 Cochranes Road	MOORABBIN	21/12/2022	10/05/2023	The construction of an entry foyer and ramp	Withdrawn	No
KP-2023/121	7 587 Nepean Highway	BONBEACH	16/03/2023	12/05/2023	Develop the land for a dwelling extension on a lot less than 300m2 (enclosure of first floor balcony)	Notice of Decision	No



KP-2022/828	62 Springs Road	CLARINDA	22/12/2022	12/05/2023	The development of two (2) double storey dwellings on land affected by a Special Building Overlay	Permit	No
KP-2023/81	2 2 Melaleuca Drive	CARRUM	16/02/2023	12/05/2023	Extension (deck and verandah) of one (1) dwelling on a lot (Retrospective) in the Special Building Overlay	Permit Not Required	No
KP-2023/149	5 Regent Parade	CHELTENHAM	28/03/2023	12/05/2023	Subdivide the land into two (2) lots	Permit	No
KP-2023/45	107 Wells Road	CHELSEA HEIGHTS	3/02/2023	15/05/2023	The display of an internally illuminated promotion sign	Permit	No
KP-2023/46	332-348 Lower Dandenong Road	MORDIALLOC	3/02/2023	15/05/2023	The display of an internally illuminated promotion sign	Permit	No
KP-2023/48	1190 Centre Road	CLARINDA	3/02/2023	15/05/2023	The display of an internally illuminated promotion sign	Permit	No
KP-2023/49	617 Lower Dandenong Road	DINGLEY VILLAGE	3/02/2023	15/05/2023	The display of an internally illuminated promotional sign	Permit	No
KP-2023/50	71-109 Bourke Road	CLARINDA	3/02/2023	15/05/2023	The display of an internally illuminated promotional sign	Permit	No
KP-2023/51	580-584 Warrigal Road	OAKLEIGH SOUTH	3/02/2023	15/05/2023	The display of an internally illuminated promotional sign	Permit	No
KP-2023/52	376 Warrigal Road	HEATHERTON	3/02/2023	15/05/2023	The display of an internally illuminated promotional sign	Permit	No
KP-2023/123	75 Centre Dandenong Road	CHELTENHAM	16/03/2023	15/05/2023	The display of an internally illuminated promotional sign	Permit	No
KP-2023/124	208 Centre Dandenong Road	DINGLEY VILLAGE	16/03/2023	15/05/2023	The display of an internally illuminated promotional sign	Permit	No
KP-2023/125	2 Nurten Parade	ASPENDALE GARDENS	16/03/2023	15/05/2023	The display of an internally illuminated promotional sign	Permit	No
KP-2023/126	702 South Road	MOORABBIN	16/03/2023	15/05/2023	The display of an internally illuminated promotional sign	Permit	No

KP-2023/127	229 Warrigal Road	CHELTENHAM	16/03/2023	15/05/2023	The display of an internally illuminated promotional sign	Permit	No
KP-2022/751	14-16 Kevlar Close	BRAESIDE	21/11/2022	15/05/2023	The use of the land for an education centre and the display of business identification signage	Permit	No
KP-2023/156	23 Pier One Drive	PATTERSON LAKES	30/03/2023	15/05/2023	Development of a dwelling within the Land Subject to Inundation Overlay	Permit	No
KP-2023/240	7 Third Street	CLAYTON SOUTH	8/05/2023	16/05/2023	Subdivide the land into two (2) lots	Permit	No
KP-2023/164	38 Patty Street	MENTONE	4/04/2023	16/05/2023	The construction of a swimming pool to the rear of an existing dwelling in the Special Building Overlay	Permit	No
KP-2022/537	5-7 Manikato Avenue	MORDIALLOC	10/08/2022	17/05/2023	Subdivide the land into Twenty (20) lots and create common property	Permit	No
KP-2022/433	27 Edmond Street	PARKDALE	28/06/2022	17/05/2023	The construction of two (2) double storey dwellings	Permit	No
KP-2023/21	Shop 1 116-118 Gladesville Boulevard	PATTERSON LAKES	20/01/2023	17/05/2023	Display of business identification signs and buildings and works (associated with click and collect facility)	Permit	No
KP-2020/316/A	49 McSwain Street	PARKDALE	24/01/2023	18/05/2023	Development of one (1) dwelling to the rear of an existing dwelling	Permit	No
KP-2020/339/B	22 Gipps Avenue	MORDIALLOC	3/05/2023	18/05/2023	Develop the land for the construction of two (2) dwellings	Permit	No
KP-2022/37/A	1076-1078 Centre Road	OAKLEIGH SOUTH	9/03/2023	18/05/2023	Use and develop the land for the construction of a three-storey building containing a self-storage facility and to create and alter access to a road in a Transport Zone 2	Permit	No
KP-2022/237	17 Latrobe Street	CHELTENHAM	11/05/2022	18/05/2023	Develop the land for two (2) dwellings on a lot (retain existing dwelling and associated works and construct one new dwelling)	Permit	No
KP-2014/531/A	316-332 Kingston Road	CLARINDA	6/02/2023	18/05/2023	Develop the Land for the Construction of Alterations and	Permit	No

					Additions to the existing Educational Facility		
KP-2021/300/A	7 Darvall Court	CHELTENHAM	29/03/2023	18/05/2023	The construction of two (2) double storey dwellings	Permit	No
KP-2022/799	179-217 Centre Dandenong Road	DINGLEY VILLAGE	9/12/2022	18/05/2023	Removal of native vegetation	Permit Not Required	No
KP-2023/74	5 Hall Street	BRAESIDE	15/02/2023	19/05/2023	The use of the land as a transfer station	Notice of Decision	No
KP-2019/802/A	43 Levanswell Road	MOORABBIN	5/12/2022	19/05/2023	The use of land as a place of assembly, the sale and consumption of liquor on the premises and a reduction of the car parking requirement	Notice of Decision	No
KP-2023/147	51 Riviera Street	MENTONE	28/03/2023	19/05/2023	Subdivide the Land into four (4) Lots	Permit	No
KP-2023/163	976 Centre Road	OAKLEIGH SOUTH	4/04/2023	19/05/2023	Subdivision of land into Two (2) Lots adjacent to a Road in a Transport Zone 2	Permit	No
KP-2023/239	69 Bernard Street	CHELTENHAM	8/05/2023	19/05/2023	Subdivide the land into two (2) lots	Permit	No
KP-2023/232	15 136-138 Cochranes Road	MOORABBIN	8/05/2023	19/05/2023	The construction of a pergola	Permit	No
KP-2020/408/A	35-37 Lakewood Boulevard	BRAESIDE	11/05/2023	19/05/2023	Develop 10 warehouses and a reduction of the car parking requirement	Permit	No
KP-2023/148	1 128 Centre Dandenong Road	DINGLEY VILLAGE	28/03/2023	19/05/2023	The relocation of the front door	Permit	No
KP-2022/241	8 Second Avenue	CHELSEA HEIGHTS	12/04/2022	19/05/2023	The construction of two (2) double storey dwellings	Permit	Yes
KP-2023/145	2 182 Beach Road	PARKDALE	27/03/2023	19/05/2023	Buildings and works to construct a swimming pool to the rear of an existing dwelling	Withdrawn	No

KP-2022/801	179-217 Centre Dandenong Road	DINGLEY VILLAGE	9/12/2022	19/05/2023	Removal of native vegetation	Permit Not Required	No
KP-2022/802	179-217 Centre Dandenong Road	DINGLEY VILLAGE	9/12/2022	19/05/2023	Removal of native vegetation	Permit Not Required	No
KP-2023/254	102-104 Malcolm Road	BRAESIDE	15/05/2023	19/05/2023	Construction of a 2m high front fence	Withdrawn	No
KP-2022/225	15 Lincoln Drive	CHELtenham	11/04/2022	19/05/2023	The construction of two (2) double storey dwellings	Permit	No
KP-2022/780	Unit 1 7 Nursery Avenue	CLAYTON SOUTH	6/12/2022	19/05/2023	The construction of buildings and works to an existing warehouse	Permit	No
KP- 2021/808/A	60 Embankment Grove	CHELSEA	10/05/2023	19/05/2023	Alterations and additions to the existing dwelling in the Special Building Overlay	Permit	No
KP-2023/165	22 Tennyson Avenue	CLAYTON SOUTH	4/04/2023	22/05/2023	The construction of four (4) double storey dwellings	Withdrawn	No
KP-2022/226	62 Railway Parade	HIGHETT	10/05/2022	22/05/2023	In accordance with the endorsed plans The construction of four (4) double storey dwellings and a basement car park	Permit	Yes
KP- 1997/570/A	630-646 South Road	MOORABBIN	5/04/2023	22/05/2023	Building & works and Alteration of Access to a Transport 2 Zone	Withdrawn	No
KP-2022/815	8 Afton Way	ASPENDALE	19/12/2022	22/05/2023	Construction of two (2) dwellings	Permit	No
KP-2023/7	5 Darvall Court	CHELtenham	9/01/2023	22/05/2023	The development of two (2) dwellings	Permit	No
KP-2023/63	19 Delville Avenue	MENTONE	10/02/2023	22/05/2023	Construction of two (2) dwellings	Permit	No
KP-2023/158	503 Station Street	CARRUM	31/03/2023	22/05/2023	To construct a building and carry out works (Cool Room/Storage)	Permit	No

KP-2022/827	24 McMillan Street	CLAYTON SOUTH	22/12/2022	23/05/2023	The development of two (2) dwellings	Notice of Decision	No
KP-2020/602/B	5 587 Nepean Highway	BONBEACH	28/03/2023	23/05/2023	The development of an extension to the existing dwelling on a lot less than 300sqm and in the Design and Development Overlay - Schedule 7.	Permit	No
KP-2022/750	118 Boundary Road	BRAESIDE	21/11/2022	23/05/2023	The display of internally illuminated, animated (rotating), business identification and sky signage	Permit	No
KP-2022/165	26-28 Graham Road	CLAYTON SOUTH	17/03/2022	23/05/2023	Use and develop the land for a transfer station and a reduction in the car parking requirement	Refused	No
KP-2022/668	29 Jacaranda Avenue	CHELTENHAM	11/10/2022	24/05/2023	The development of two (2) dwellings	Permit	No
KP-1997/467/A	134 Chute Street	MORDIALLOC	17/11/2022	24/05/2023	To develop and use this site for a dual occupancy in accordance with plans to be submitted pursuant to Condition 1 hereof	Permit	No
KP-2020/648/A	9 Sinclair Avenue	EDITHVALE	1/03/2023	24/05/2023	Construction of two (2) dwellings	Permit	No
KP-2012/471/A	Unit 1 1 Laura Street	ASPENDALE	6/12/2022	24/05/2023	To develop the land for the construction of one (1) dwelling to the rear of the existing dwelling	Permit	No
KP-2017/16/A	66 La Perouse Boulevard	BONBEACH	16/11/2022	24/05/2023	Develop the land for the construction of buildings and works within a Land Subject to Inundation Overlay	Withdrawn	No
KP-2023/55	18-20 Graham Road	CLAYTON SOUTH	13/02/2023	24/05/2023	The use of the land for a transfer station, buildings and works and a reduction in the car parking requirement	Lapsed	No
KP-2023/116	17A Munro Avenue	EDITHVALE	31/03/2023	25/05/2023	The construction of one (1) double storey dwelling	Permit	No
KP-2023/273	116 Valetta Street	CARRUM	23/05/2023	25/05/2023	This is an amendment to planning application KP-2022/728	Withdrawn	No

					Construction of double storey dwelling with walls on boundary and swimming pool within a SBO.  Please see amended plans attached and refer to previous application for other relevant attachments.		
KP-2016/159/B	590 Main Street	MORDIALLOC	9/11/2022	26/05/2023	Partial demolition of an existing building, develop the land for the construction of buildings and works, use the land for the sale and consumption of liquor, display of advertising signage, waiver of car parking and loading bay requirements and reduction of the bicycle facility requirements.	Permit	No
KP-2007/522/A	3 Lewellin Grove	CARRUM	14/02/2023	26/05/2023	Construction of deck, pool and office within a Special Building Overlay	Permit	No
KP-2022/198/B	5-11 Japaddy Street	MORDIALLOC	22/11/2022	26/05/2023	Building and works for canopy to car parking area	Permit	No
KP-2022/756	5 Clarevale Street	CLAYTON SOUTH	24/11/2022	26/05/2023	Construction of two (2) dwellings and associated 1.5m front fence	Permit	No
KP-2022/157	164 Centre Dandenong Road	DINGLEY VILLAGE	16/03/2022	26/05/2023	The development of two (2) double storey dwellings on land affected by a Special Building Overlay	Permit	No
KP-2022/194	5 Libbett Avenue	CLAYTON SOUTH	25/03/2022	26/05/2023	Use the land for a transfer station and construct and carry out associated buildings and works.	Refused	No
KP-2022/477	17 Davanzo Avenue	CLARINDA	18/07/2022	29/05/2023	The construction of two (2) double storey dwellings	Permit	No
KP-2004/50/A	46A Fraser Avenue	EDITHVALE	10/02/2023	29/05/2023	The development of two (2) dwellings	Permit	No
KP-2023/112	320 Charman Road	CHELTENHAM	8/03/2023	29/05/2023	Display of two (2) internally illuminated business identification signs.	Permit	No

KP-2023/166	19 Imes Street	PARKDALE	4/04/2023	29/05/2023	Subdivide the land into Three (3) Lots	Permit	No
KP-2023/272	7 Mill Street	ASPENDALE	22/05/2023	29/05/2023	Subdivide the land into two (2) lots	Permit	No
KP-2023/230	711 Clayton Road	CLARINDA	3/05/2023	31/05/2023	The construction of a carport	Permit	No

## Planning Committee Meeting

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**Agenda Item No: 4.2**

### **KP-2022/475 - 19-23 CENTRAL AVENUE MOORABBIN**

**Contact Officer: Beau McKenzie, Principal Planner**

#### **Purpose of Report**

This report is for the Planning Committee to consider Planning Permit Application No. KP-2022/475 - 19-23 Central Avenue Moorabbin.

#### **Disclosure of Officer / Contractor Direct or Indirect Interest**

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

#### **RECOMMENDATION**

That Planning Committee determine to support the proposal and issue a Notice of Decision to Develop the land for a five storey apartment building with basement car parking comprising of 44 dwellings at 19-23 Central Avenue Moorabbin, subject to the conditions contained within this report.

This application requires a decision by Council for the following reasons:

- It is of major significance; and
- 10 or more trees with a trunk circumference greater than 110 centimetres are proposed to be removed.



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EXECUTIVE SUMMARY			
Address	19-23 Central Avenue Moorabbin		
Legal Description	Lot 66, 67 and 68 on LP010705		
Applicant	Pitard 10 Pty Ltd		
Planning Officer	Beau McKenzie		
PLANNING REQUIREMENTS			
Planning Scheme	Kingston		
Zoning	Clause 37.08 – Activity Centre Zone (Schedule 3)		
Overlays	None		
Particular Provisions	Clause 52.06 – Car Parking Clause 52.34 – Bicycle Facilities Clause 58 – Apartment Developments		
Permit Trigger/s	Clause 37.08-5 – construct two or more dwellings on a lot in the Activity Centre Zone		
APPLICATION / PROCESS			
Proposal	Develop the land for a five-storey apartment building with basement car parking comprising of 44 dwellings		
Reference No.	KP-2022/475	RFI Received	02/02/2023
App. Received	15/07/2022	App. Amended	23/05/2023 (s57a)
Site Inspection	Yes		
S.52 Advertising	Commenced: 23/02/2023	Advertising Completed	13/03/2023
S.55 Referrals	None		
Internal Referrals	Yes		
Objection(s)	25 (TRIM checked on 13/06/2023)		
Vegetation	Trees > 8m    Yes	No. of Trees to be removed (circumference 110cm)	14
LEGISLATIVE			
Covenant/other Restriction	Yes	Complies: Yes	
Aboriginal Cultural Sensitivity Area	No	CHMP	N/A
Considered Plans	Prepared by ‘Pitard Group’ comprising drawing no. TP01 to TP25, Revision 4 (dated 22 May 2023), submitted to Council on 23 May 2023		
	Landscape plan prepared by ‘Species Landscape Architecture’ drawing no. L1b, project no. 22034, dated 08/11/2022		

**1. SITE HISTORY**

1.1. There are no recent planning decisions relevant to the assessment of this application.

**2. SUBJECT LAND**

2.1. The photograph below illustrates the subject site from a streetscape perspective.



Looking north-east towards site (no. 19 on left and no. 23 on far right)



Looking north-west towards site (no. 23 in foreground and no. 21 to the left)





No. 19 Central Avenue



No. 21 Central Avenue





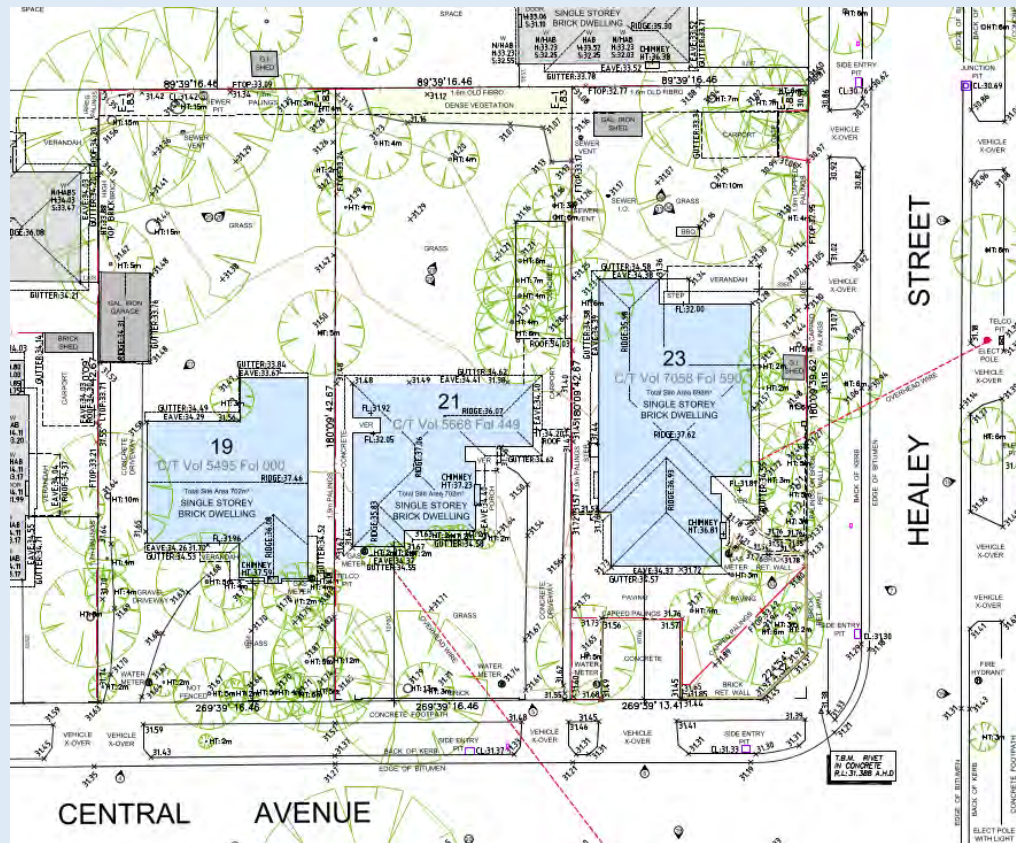
No. 23 Central Avenue (from Central Avenue)



No. 23 Central Avenue (from Healey Street)

**Lot configuration**

The subject site comprises of three (3) allotments on the north side of Central Avenue. No. 23 Central Avenue is a corner allotment that has dual street frontages including Central Avenue on its south side and Healey Street on its east side. The three (3) properties are depicted in the below plan:



**Built form**

A single storey brick dwelling with gable and hip tile roofing exists on each allotment. The dwellings at 19, 21 and 23 Central Avenue are setback 8.15m, 10.7m and 8.7m respectively.

**Lot Size (m<sup>2</sup>)**

2102m<sup>2</sup>

**Dimensions**

**Central Avenue frontage:**  
46.33m (4.32m corner splay)  
**Healey Street frontage:**  
39.62m (4.32m corner splay)  
**Northern boundary:** 49.38m  
**Western boundary:** 42.67m

**Topography**

The land is generally flat.

**Fencing**

Central Avenue – a combination of no fencing, high and low brick fencing and timber paling fence.

Healey Street – low brick and timber paling fencing.

Northern boundary – combination of 1.6m high fibro and 1.7m high timber paling fencing.



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Vegetation

Western boundary – combination of high brick wall and 1.7m high timber paling fencing.

The land is significantly vegetated which is scattered throughout the site but along each street frontage and the north-west corner. Within this vegetation are seven (7) trees equal to or greater than 8 metres in height and fourteen (14) trees that have a trunk circumference of more than 110cm. The vegetation is a mix of exotic and Australian and Victorian native species. A detailed list and map of the existing vegetation on the land is included below:

No	Dbh	htd	H x S	Species	Common Name	Age	Health	Structure	Arb Value	TPZ	SRZ	Origin	Comments
1	5	7	2 x 1	<i>Tristanopsis laurina</i>	Kanooka	Young	Fair-Poor	Fair	Low	2.0m	1.5m	Vic. Native	street tree
2	18	25	5 x 5	<i>Malus ioensis</i>	Crabapple	Semi-mature	Fair-Poor	Poor	Low	2.2m	1.8m	Exotic Deciduous	street tree
3	30	45	5 x 7	<i>Agonis flexuosa</i>	Willow Myrtle	Semi-mature	Poor	Poor	Low	3.6m	2.4m	Aust. Native	
4	m	60	4 x 8	<i>Callistemon citrinus</i>	Crimson Bottlebrush	Maturing	Fair-Poor	Very Poor	None			Vic. Native	multiple bifurcations
5	15	20	6 x 5	<i>Uystrum lucidum</i>	Glossy Privet	Semi-mature	Fair-Poor	Fair-Poor	None			Exotic Weed	
6	35	45	8 x 9	<i>Eucalyptus leucopylon</i>	Yellow Gum	Semi-mature	Very Poor	Fair-Poor	Low	4.2m	2.4m	Vic. Native	significant decline
7	30/25/18/18	55	6 x 9	<i>Callistemon viminalis</i>	Weeping Bottlebrush	Maturing	Fair-Poor	Very Poor	None			Aust. Native	multiple bifurcations
8	m	30	5 x 4	<i>Leptospermum petersonii</i>	Lemon Scented Tea-tree	Semi-mature	Poor	Poor	None			Vic. Native	
9	m	28	4 x 6	<i>Citrus limon</i>	Common Lemon	Maturing	Very Poor	Poor	None			Exotic Evergreen	
10	30/15	45	5 x 7	<i>Callistemon viminalis</i>	Weeping Bottlebrush	Maturing	Poor	Poor	None			Aust. Native	
11	m	55	5 x 7	<i>Cotoneaster pannosus</i>	Silver-leaf Cotoneaster	Maturing	Fair-Poor	Very Poor	None			Exotic Weed	
12	m	28	5 x 5	<i>Rhus succedanea</i>	Scarlet Rhus	Mature	Poor	Very Poor	None			Exotic Evergreen	
13	25	28	5 x 6	<i>Camellia sasanqua</i>	Sasanqua Camellia	Mature	Poor	Fair-Poor	None			Exotic Evergreen	
14	25	28	5 x 7	<i>Lagerstroemia indica</i>	Creeper Myrtle	Maturing	Fair-Poor	Poor	Low	3.0m	1.3m	Exotic Deciduous	
15	12/12/2010	28	5 x 3	<i>Pittosporum undulatum</i>	Sweet Pittosporum	Semi-mature	Fair	Very Poor	None			Vic. Native	multiple bifurcations
16	m	30	5 x 6	<i>Cotoneaster pannosus</i>	Silver-leaf Cotoneaster	Semi-mature	Fair-Poor	Very Poor	None			Exotic Deciduous	
17	m	28	4 x 5	<i>Ficus carica</i>	Common Fig	Semi-mature	Fair-Poor	Poor	None			Exotic Deciduous	
18	18	25	6 x 6	<i>Ginkgo biloba</i>	Ginkgo	Semi-mature	Fair-Poor	Fair	Low-Moderate	2.2m	1.8m	Exotic Evergreen	neighbouring property tree
19	50	50	11 x 13	<i>Acacia dealbata</i>	Silver Wattle	Mature	Fair	Poor	Low	6.0m	2.5m	Vic. Native	
20	55	80	12 x 10	<i>Banksia integrifolia</i>	Coast Banksia	Maturing	Fair-Poor	Fair	Moderate-High	6.6m	3.0m	Vic. Native	
21	12	18	5 x 2	<i>Banksia integrifolia</i>	Coast Banksia	Young	Poor	Fair	Low	2.0m	1.3m	Vic. Native	
22	m	40	4 x 5	<i>Nerium oleander</i>	Oleander	Semi-mature	Fair-Poor	Very Poor	None			Exotic Evergreen	
23	m	28	4 x 6	<i>Camellia sasanqua</i>	Sasanqua Camellia	Maturing	Fair	Poor	None			Exotic Evergreen	
24	20/18/18/15	38	8 x 8	<i>Syzygium smilii</i>	Lilly Pilly	Semi-mature	Fair	Very Poor	Low-Moderate	4.3m	2.2m	Aust. Native	neighbouring property tree
25	25/25/20	55	11 x 13	<i>Persia americana</i>	Avocado	Maturing	Fair	Very Poor	None			Exotic Evergreen	
26	m	40	5 x 8	<i>Buddleja divi-divi</i>	Butterfly Bush	Maturing	Fair-Poor	Very Poor	None			Exotic Evergreen	
27	95	110	16 x 20	<i>Azara paraguayana</i>	Box Elder	Over-mature	Poor	Fair-Poor	Low-Moderate	11.4m	3.4m	Exotic Deciduous	overall decline
28	60/50/50/40	130	18 x 18	<i>Agonis flexuosa</i>	Willow Myrtle	Mature	Fair-Poor	Poor	Moderate	12.0m	3.7m	Aust. Native	
29	55	80	18 x 16	<i>Fraxinus angustifolia</i>	Desert Ash	Mature	Fair-Poor	Fair	Moderate	6.6m	3.0m	Exotic Deciduous	



Easement(s)

A 1.83m wide drainage and sewerage easement is located along the entirety of the site's northern boundary.



**Footpath  
assets /  
access**

Each property consists of a vehicle crossing on their Central Avenue frontage. No. 19 and 23 Central Avenue have a double width crossover whereas no. 21 Central Avenue has a single width crossover. Another two (2) crossovers are provided to no. 23 Central Avenue along its Healey Street frontage.

There are two (2) street trees to the front of the site, one (1) along each street. The street trees are of low significance due to poor health and young age.

Other assets include street parking signage and drainage pits.

**Covenant(s) /  
Restrictions**

Each title contains a restrictive covenant as summarised below:

- Lot 66 – instrument no. 2039283
- Lot 67 – instrument no. 1459646
- Lot 68 – instrument no. 1398360

The above covenants relate to the same restrictions in prohibiting the excavation of earth, clay, stone, gravel or sand from the land except for the purposes of excavation for building construction. The covenants also prohibit the use of land for the manufacturing of bricks, tiles or pottery ware. The proposal does not breach the covenants.

### **3. SURROUNDING LAND**

3.1. The following map illustrates the subject site in its surrounding context.



Source – Nearmaps, dated 24 April 2023

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<b>North</b>	<p>No. 21 Healey Street – single storey brick dwelling with hip tile roof. The dwelling is set back 8.3m from its street frontage. Vehicle access is located on the north side of the property frontage. The direct interface with the subject site includes a habitable room window and secluded private open space (SPOS). There are no trees in proximity to the shared boundary of the subject site that will be impacted by the proposed development. A low brick fence extends across the site's frontage.</p> <p>No. 22 Redholme Street – this property partly shares a boundary with the subject site (half of no. 19 Central Avenue's rear boundary). The property comprises of a single storey brick dwelling with hip tile roof. The direct interface with the subject site is the south-east corner of the dwelling's SPOS. There is no vegetation in close proximity to the shared boundary.</p>
<b>East</b>	<p>Directly east of the site is Healey Street which connects to South Road to the north. Opposite Healey Street are four residential properties and are briefly summarised as follows:</p> <p>30 Healey Street – single storey brick dwelling with hip metal roof. The dwelling is setback 9m from its front boundary. There is no front fencing.</p> <p>32A &amp; 32B Healey Street – two side by side single storey brick dwellings with hip metal roof. There is a high brick pier and metal infill fence across the frontages. No. 32A is setback 7.45m and no. 32B is setback 7.05m from its front boundaries.</p> <p>34 Healey Street – single storey brick dwelling with hip tile roof. The dwelling is set back 8.4m from its front boundary. There is a low brick fence along its frontage.</p>
<b>South</b>	<p>Directly south of the site is Central Avenue which connects residential properties on the eastern peripheral of the Moorabbin AC with the Moorabbin retail and commercial area including railway station at the western end. Opposite Central Avenue are seven residential properties (all units) and are briefly summarised as follows:</p> <p>Units 1-4 of 12 Central Avenue – four (4) single storey brick units with hip tile roofing. The front unit is set back 3.9m from the front boundary. There is a high brick pier and timber picket infill fence along the front boundary.</p> <p>Units 1 and 2 of 14 Central Avenue – two (2) single storey brick units with hip tile roof. The front unit is set back 11.9m from the front boundary. There is a high brick pier and timber picket infill fence along the front boundary.</p> <p>16 Central Avenue – single storey brick dwelling with hip tile roof. The dwelling is set back 7.2m from its front boundary. There is no front fencing.</p>
<b>West</b>	<p>No. 1/17 Central Avenue – single storey brick dwelling with gable tile roof. The dwelling is the front unit of the two units on this site. The dwelling setback 8.6m from its front boundary. Vehicle access is located on the east side of the property frontage. The direct interface with the subject site includes the dwelling's driveway, carport, shed and one habitable room window. The SPOS is located on the north side of the dwelling separated by the carport/shed.</p>



There is one medium size tree (Lilly Pilly) in proximity to the shared boundary of the subject site towards the front. There is a low brick fence along the property frontage.

No. 2/17 Central Avenue – single storey brick dwelling with hip tile roof. This dwelling is located at the rear of the site. Vehicle access is located on the west side of the property frontage along a common driveway which appears to provide access to the rear dwelling only. The direct interface with the subject site includes non-habitable room windows and SPOS including verandah. There is no vegetation in close proximity to the shared boundary with the subject site.

**Described  
Neighbourhood  
Character**

Located within the eastern residential precinct of the Moorabbin Activity Centre, the surrounding area encompasses a mix of housing development. Linear unit development is most commonplace in the area, however more intensive apartment development is emerging as sought by policy particularly the five (5) storey developments at no. 40-44 Healey Street (30m north) and no.4-6 Horscroft Place (140m south-east). The site is within close proximity (250m) to the Moorabbin railway station and is serviced well by social and physical infrastructure.



No. 40-44 Healey Street










Looking south-east from the site towards 4-6 Horscroft Place development

#### **4. PROPOSAL**

4.1. A summary of the proposal is provided in the table below.

<b>Description</b>	Demolish the existing dwellings and associated outbuildings on the land to develop the land for a five storey apartment building with basement car parking comprising of 44 dwellings
<b>Storeys</b>	Five (5) storeys including one (1) level of basement car parking
<b>Maximum building height</b>	16.3m to the top of roof 17.7m to the top of rooftop screen
<b>Bedrooms (including study)</b>	A mix of apartment types are proposed, consisting of: 35 x 2 bedrooms dwellings (79.54%) 9 x 3 bedroom dwellings (20.45%)
<b>Car &amp; bicycle parking</b>	53 spaces in total all allocated to residents. 15 bicycle parking spaces.
<b>Front setback</b>	4.65m (Central Avenue) 4.5m (Healey Street)

<b>Private Open Space</b>	<p>Ground level courtyards – 50m<sup>2</sup> to 128m<sup>2</sup>.</p> <p>Balconies – 11m<sup>2</sup> to 12.5m<sup>2</sup>.</p> <p>Terrace: 21m<sup>2</sup> to 82m<sup>2</sup>.</p> <p>Communal outdoor open space – 44m<sup>2</sup> is provided on ground level.</p>		
<b>Site Coverage</b>	60%	<b>Permeability</b>	19%
<b>Access</b>	<p>The existing crossover on the northern end of the Healey Street frontage is to be reconstructed and widened to provide vehicle access to the basement. All other crossovers along each street frontage will be reinstated to kerb and channel.</p>		
<b>Vegetation removal/retention</b>	<p>Most vegetation is proposed to be removed including seven (7) trees at a height of 8m or more and fourteen (14) trees with a trunk circumference of 110cm or more. A total of 25 trees are proposed to be removed from the land. None of the trees are considered to be of high retention value due to fair to very poor health and structure.</p>		
<b>Building materials</b>	<p>A contemporary building form is proposed that includes render, ribbed cladding, face brickwork, colorbond vertical cladding, black and copper cladding.</p> <div style="display: flex; justify-content: space-around; align-items: flex-start;"> <div style="text-align: center;">  <p><b>MAT -01</b> NATURAL CONCRETE SMOOTH RENDER FINISH - FRONT FENCE</p> </div> <div style="text-align: center;">  <p><b>MAT -02</b> RIBBED CLADDING BROAD - MATT BLACK</p> </div> <div style="text-align: center;">  <p><b>MAT -03</b> FACE BRICK IN SELECTED COLOUR</p> </div> <div style="text-align: center;">  <p><b>MAT -04</b> C/B VERTICAL CLADDING MID GREY</p> </div> <div style="text-align: center;">  <p><b>MAT -05</b> BLACK METAL CLADDING</p> </div> <div style="text-align: center;">  <p><b>MAT -06</b> COPPER LOOK CLADDING TO ENTRY</p> </div> <div style="text-align: center;">  <p><b>MAT -07</b> BLACK METAL BALUSTRADE</p> </div> </div>		





### Front fencing

A combination of brick and vertical metal fence is proposed along the street frontages at a height of 1.7m (except to 1.2m to the front of the communal outdoor open space).



### Central Avenue



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Healey Street

An analysis of each level of the development is provided in the table below:

<b>Basement Car Park</b>	<ul style="list-style-type: none"><li>▪ 53 car parking spaces in total (including 12 in tandem).</li><li>▪ 12 bicycle parking spaces.</li><li>▪ Waste storage.</li><li>▪ Services.</li><li>▪ Fire pump room.</li><li>▪ Lift and stairwells.</li><li>▪ Over bonnet storage to each car park (other than front tandem spaces).</li></ul>
<b>Ground Level</b>	<ul style="list-style-type: none"><li>▪ Main pedestrian entrance from Healey Street with mail boxes, services meters, hydrant booster and 3 bicycle parking spaces provided alongside.</li><li>▪ A central foyer and lift lobby area which includes services and communal seating area with light court above.</li><li>▪ Vehicle access to the site is located at the northern end of the Healey Street frontage which provides ramp access down to the basement car park.</li><li>▪ 10 apartments with large courtyard areas to each. 3 apartments contain 3 bedrooms and 7 apartments contain 2 bedrooms.</li><li>▪ Communal space is provided between the vehicle and pedestrian entries. The communal area includes a lounge, dining, sitting, study and connected outdoor open space.</li></ul>
<b>1<sup>st</sup> Floor Level</b>	<ul style="list-style-type: none"><li>▪ 12 apartments are located on the first floor level. All 12 apartments contain 2 bedrooms.</li><li>▪ All dwellings are provided with a private balcony area accessed directly from their living area.</li></ul>
<b>2<sup>nd</sup> Floor Level</b>	<ul style="list-style-type: none"><li>▪ 12 apartments are located on the second floor level. All 12 apartments contain 2 bedrooms.</li><li>▪ All dwellings are provided with a private balcony area accessed directly from their living area.</li></ul>
<b>3<sup>rd</sup> Floor Level</b>	<ul style="list-style-type: none"><li>▪ 8 apartments are located on the third floor level. 4 apartments contain 3 bedrooms and the remaining 4 apartments contain 2 bedrooms.</li><li>▪ All dwellings are provided with a private terraced area accessed directly from their living area.</li></ul>
<b>4<sup>th</sup> Floor Level</b>	<ul style="list-style-type: none"><li>▪ 2 apartments are located on the fourth floor level. Each apartment contains 3 bedrooms.</li><li>▪ Each dwelling is provided with a private terraced area accessed directly from their living area.</li></ul>

**5. PLANNING CONTROLS**

Zone / Overlay / Particular Provisions	Rationale												
37.08 – ACZ3	<p>The proposal accords with the purpose of the Zone by providing a multi-level mixed use development that will provide residential uses at a density that is complementary to the role and scale of the Moorabbin Activity Centre.</p> <p>Further discussion on the appropriateness of the proposal with respect to the ACZ3 provisions is discussed under section 10 of this report.</p>												
Overlays	N/A												
52.06 Car parking	<p>The following car parking rates apply:</p> <ul style="list-style-type: none"><li>▪ 1 space to each 1 or 2 bedroom dwelling</li><li>▪ 2 spaces to each 3 or more bedroom dwelling</li><li>▪ 0 residential visitor spaces (amended by VC148 on 31 Jul 18)</li></ul> <p>This equates to a parking requirement of 53 spaces.</p> <p>Amendment VC148 came into force by the State Government on 31 July 2018. This amendment, <i>inter alia</i>, revised certain public parking rates for sites within 400 metres of the Principle Public Transport Network, such as the Moorabbin railway station. Of relevance to this application, the parking rates for residential visitors are reduced.</p> <p>Clause 52.06-9 - Design standards including swept paths, splays, parking and access dimensions and ramp grades are considered compliant.</p> <p>Council’s Traffic Engineer raised no concerns with the basement and ramp design, however, has recommended that a sectional diagram be provided on amended plans to demonstrate a minimum headroom clearance of 2.3m. Additionally, a visual splay has been recommended by the Engineer in the south-west corner of the site to maintain visibility for the adjoining driveway. Refer to conditions 1 u) and v).</p>												
52.34 – Bicycle Facilities	<p>The bicycle parking requirements of Clause 52.34 for an apartment development is outlined as follows:</p> <table><tr><th>Use</th><th>Employee/Resident</th><th>Visitor/Shopper/Student</th></tr><tr><td>Amusement parlour</td><td>None</td><td>2 plus 1 to each 50 sq m of net floor area</td></tr><tr><td>Convenience restaurant</td><td>1 to each 25 sq m of floor area available to the public</td><td>2</td></tr><tr><td>Dwelling</td><td>In developments of four or more storeys, 1 to each 5 dwellings</td><td>In developments of four or more storeys, 1 to each 10 dwellings</td></tr></table>	Use	Employee/Resident	Visitor/Shopper/Student	Amusement parlour	None	2 plus 1 to each 50 sq m of net floor area	Convenience restaurant	1 to each 25 sq m of floor area available to the public	2	Dwelling	In developments of four or more storeys, 1 to each 5 dwellings	In developments of four or more storeys, 1 to each 10 dwellings
Use	Employee/Resident	Visitor/Shopper/Student											
Amusement parlour	None	2 plus 1 to each 50 sq m of net floor area											
Convenience restaurant	1 to each 25 sq m of floor area available to the public	2											
Dwelling	In developments of four or more storeys, 1 to each 5 dwellings	In developments of four or more storeys, 1 to each 10 dwellings											

Zone / Overlay / Particular Provisions	Rationale
	Based off the total number of 44 dwellings, 8 bicycle spaces are required for residents and 4 spaces are required for visitors resulting in a total requirement for 12 spaces.  The application provides for 15 spaces, more than the minimum bicycle parking requirements. Therefore, the requirements of this Clause are met.
<b>58</b>	Assessment provided below.

## **6. POLICY CONSIDERATIONS**

### **General Provisions**

- 6.1. **Clause 65.01** of the Kingston Planning Scheme are relevant to this application and require consideration to be given to a variety of matters including planning scheme policies, the purpose of the zone, orderly planning and the impact on amenity.

### **Planning Policy Framework**

- 6.2. The strategic vision for the City at Clause 02.02 is 'a diverse, dynamic community where we all share a sustainable safe, attractive environment and a thriving economy.' Land use principles specific to Kingston Vision and or relevance include the following:
- *An urban settlement pattern that accommodates sustainable growth commensurate with constraints of established areas.*
  - *Providing a settlement pattern that positively influences health and wellbeing*
  - *The network of activity centres reinforced to provide for a diverse range of retail/ commercial experiences and access to services and facilities is optimised through integrated and land use planning.*
  - *Identified environmental risks, including climate change impacts are effectively managed.*
  - *High standards of urban design to enhance community safety, create vibrant places and preserve character areas,*
  - *Environmentally sustainable development principles are embraced in new development.*
  - *Greater diversity of housing is provided.*
  - *A balanced transport network is established to provide for a range of options to meet transport and freight needs for Kingston's residents, businesses and through traffic.*
  - *Activity centres are a focus of integration or public transport, pedestrian and cycle systems with community and social infrastructure.*
- 6.3. Clause 02.03 (Strategic Directions) includes strategic directions for (as relevant to the application) urban areas, activity centres, built environment, housing, economic development, transport and infrastructure within Kingston.
- 6.4. The relevant strategic directions for **urban areas** are to:
- *Accommodate increased urban growth in established areas across the municipality according to environmental constraints and access to services.*
  - *Facilitate ongoing renewal across Kingston's activity centres to integrate transport and land use, and promoting health and wellbeing through sustainable communities.*



The strategic directions for **activity centres** are to:

- *Diversify the role and function of existing activity centres through a broader range of complementary non-retail uses to enhance economic vitality.*
- *Incorporate residential/ mixed use activity into centres and create niche markets strengths for each centre.*
- *Promote development and expansion of retail and related facilities appropriate to the role and position of centres within the overall hierarchy as identified in Kingston's activity centre hierarchy.*

The Kingston activity centre hierarchy at **Table 1 of Clause 02.03** advises the primary role of Moorabbin activity Centre is to provide community retail supported by significant commercial floor space, with the strategic directions that food related retailing be consolidated around the existing supermarket and that residential development within the centre be encouraged.

The relevant strategic directions for **built environment and heritage** as set out at Clause 02.03-5 are to:

- *Ensure a high standard of design forms the cornerstone of future development.*
- *Site and design new residential development to take account of interfaces with sensitive and strategic land uses.*

Strategic directions for **environmentally sustainable development** are:

- *Incorporate environmentally sustainable design into development.*

Strategic directions for **housing** are to:

- *Respond to demand for new and diverse housing to meet needs of Kingston's growing population.*
- *Encourage high levels of amenity in new residential development.*
- *Support residential change consistent with the preferred housing outcomes identified in Table 1 and in the plan at Clause 02.04.*
- *Facilitate access to housing for low-income households.*

Strategic directions for **transport planning**, as relevant, are to:

- *Integrate land use and transport planning to create a more sustainable community.*
- *Support increased transport choices available to Kingston's residents and to ensure accessibility to services and open space areas.*
- *Promote the development of bicycle and pedestrian linkages between residential, commercial, industrial and open space areas.*

6.5. The Planning Policy Framework sets out the relevant state-wide policies for mixed-use development at **Clause 11** (Settlement), **Clause 15** (Built Environment and Heritage), **Clause 16** (Housing) and **Clause 17** (Economic Development). Essentially, the provisions within these **clauses** seek to achieve the fundamental objectives and policy outcomes sought by 'Plan Melbourne 2017-2050: Metropolitan Planning Strategy' (Department of Environment, Land, Water and Planning, 2017).

6.6. Local Planning Policy is nested within the PPF and builds on the overarching state policy objectives and the strategic directions of Municipal Strategic Statement and applies these at the local level.

6.7. **Clause 11** seeks to ensure planning anticipates and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.



- 6.8. Planning is to facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services.
- 6.9. **Clause 11.03-1S (Activity Centres)**, seeks to encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.
- 6.10. **Clause 11.03-1L-01 (Activity Centres- Kingston)** provides overarching strategies for Activity centres within Kingston to achieve the state objective. These include inter alia to:
- *Create a broader range of cultural, social, commercial and higher density housing opportunities around the core of major activity centres.*
  - *Support development that reinforces the character and function of activity centres consistent with their position in the activity centre hierarchy.*
- 6.11. The subject **land** is located within the Moorabbin Activity Centre at **Clause 02.03-1** which is identified as a 'Major Activity Centre' within the City of Kingston. The relevant Strategic Direction for the Moorabbin Activity Centre is to:
- *Encourage residential development within the centre.*
- 6.12. It is considered that the proposal responds to the relevant key objectives and strategies of this Clause by ensuring that opportunities for core retail type uses continue to be made available within the heart of the Moorabbin Activity Centre.
- 6.13. **Clause 15 (Built Environment and Heritage)** aims to ensure all new development appropriately responds to its landscape, valued built form and cultural context, and protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.
- 6.14. **Clause 15.01-1S** encourages development to achieve high quality architectural and urban design outcomes that contribute positively to neighbourhood character, minimises detrimental amenity impacts and achieves safety for future residents, and the community, through good design. Policy promote energy and resource efficiency through improved building design, urban consolidation and promotion of sustainable transport.
- 6.15. **Clause 15.03-2S (Aboriginal Cultural Heritage)** seeks to ensure the protection and conservation of places of Aboriginal cultural heritage significance.
- 6.16. The Subject Land **is not** identified in an area of Aboriginal Cultural Heritage Sensitivity.
- 6.17. **Clause 15.01-2L Environmentally Sustainable Development (ESD)** policy applies to the consideration of residential development of 3 or more dwellings (refer to Table 1 – ESD Application requirements).
- 6.18. The planning permit application was accompanied by a sustainable management plan (SMP) and a green travel plan (Bess/Green Star/MUSIC/STORM). This SMP was referred to Council's sustainable design advisor who supports the proposal subject to some detailed changes that can be imposed via conditions on any permit issued. It is considered that subject to the conditions, the commitments expressed in the SMP, in unison with the development composition as detailed on the architectural plans will achieve an appropriate best practice environmentally sustainable design standard therefore meeting environmentally sustainable design objectives.

- 6.19. It is noted that the SMP makes a commitment of an average energy rating of 7.34 stars for apartments, achieving above 6 stars as required by the National Construction Code 2019 Part J – House Energy Ratings.
- 6.20. Housing objectives are further advanced at **Clause 16** which seek to encourage increased diversity in housing. **Clause 16.01** (Residential Development) seeks to promote a housing market that meets community needs and is located in areas which offer good access to jobs, services and transport.
- 6.21. **Clause 16.01-2R** specifically requires consideration of population growth in locations that are considered major and neighbourhood activity centres, especially those with good public transport connections.
- 6.22. **Clause 16.01-1L-01** seeks to provide guidance to development in residential zoned land, mixed use zoned land and land within activity centres as identified on the Residential Land Use Framework Plan. It illustrates the range of housing outcomes sought across the City of Kingston and identifies the Site as one where increased housing density be promoted.
- 6.23. **Clause 18 (Transport)** strives to facilitate an environmentally sustainable transport system that is inclusive, safe and supports health and wellbeing. It is strategy inter alia to plan development to:
- *Plan development to:*
    - *Protect existing transport infrastructure from encroachment or detriment that would impact on the current or future function of the asset.*
    - *Protect transport infrastructure that is in delivery from encroachment or detriment that would impact on the construction or future function of the asset.*
    - *Protect planned transport infrastructure from encroachment or detriment that would impact deliverability or future operation.*
    - *Protect identified potential transport infrastructure from being precluded by land use and development.*
  - *Plan land use and development to allow for the ongoing improvement and development of the State Transport System in the short and long term.*
  - *Plan improvements to public transport, walking and cycling networks to coordinate with the ongoing development and redevelopment of urban areas.*
  - *Support urban development that makes jobs and services more accessible:*
    - *In accordance with forecast demand.*
    - *By taking advantage of all available modes of transport.*
  - *Protect existing and facilitate new walking and cycling access to public transport.*
- 6.24. The proposed development is located proximate to excellent public transport opportunities and supports active and sustainable travel with the inclusion of bicycle and end of trip facilities.

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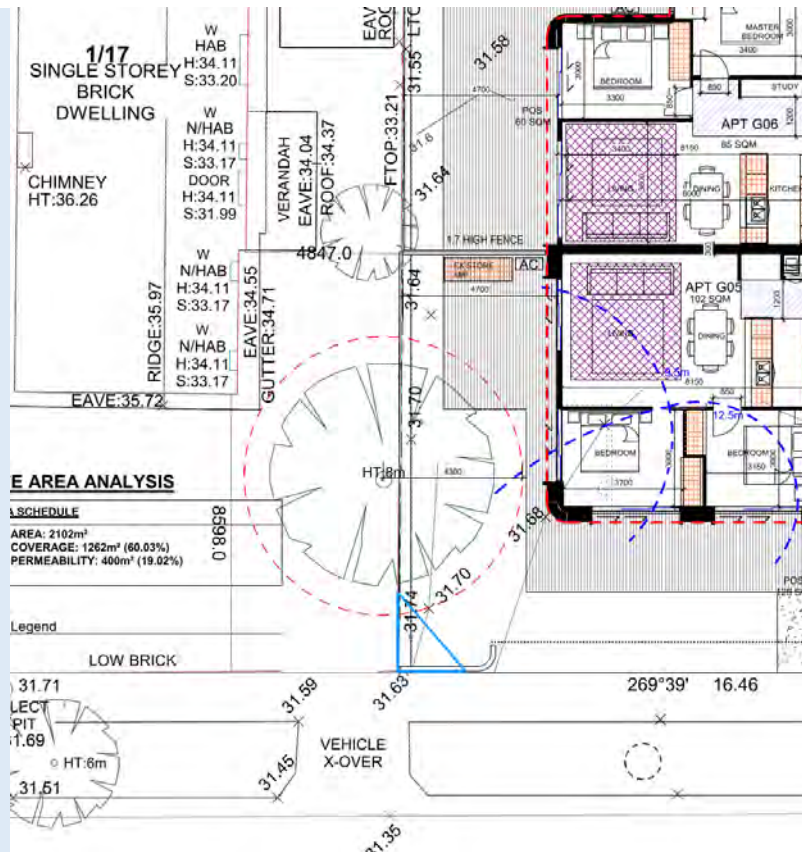
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It will not compromise the future provision of transport or pedestrian access links adjacent to the site but will improve future cycling and pedestrian links along Central Avenue.

- 6.25. **Clause 19 (Infrastructure)** seeks to sustainably manage water supply and demand, water resources, wastewater, drainage and stormwater through an integrated water management approach. Strategies to achieve this at **Clause 19.03-3L-01** promote the use of water sensitive urban design including stormwater re-use and identifies measures to maximise on-site filtration and the management and design of drainage systems to control, divert and minimise the transportation of silt and debris.
- 6.26. **Clause 19.03-3L-02** is applicable to the consideration of **stormwater management** for medium and large-scale developments. This clause seeks to improve the quality and reduce the impact of stormwater run-off, incorporate the use of water sensitive urban design principles in development and to ensure that developments are designed to meet best practice performance objectives.
- 6.27. Conditions on any permit that may issue have been recommended by Council's drainage engineer to meet the specified requirements.
- 6.28. In summary, it is considered that the proposed development generally complies with and satisfies the Planning Policy Framework guidelines. Importantly, the proposal delivers on specific objectives relating to the development of larger opportunity sites, which seek to encourage well-designed medium density housing in appropriate locations, as well providing diversity in housing choice to assist in meeting the anticipated future population forecasts.

**7. INTERNAL REFERRALS**

Department / Area	Comments / Rationale / Recommended Conditions
Council's Vegetation Management Officer	No objection raised subject to the inclusion of an updated landscape plan and tree protection conditions. The Officer supports the removal of all trees on the land including the 14 trees protected under Community Local Law. The trees are all low retention value due to fair and very poor health and structure. However, to offset this loss and contribute to urban cooling, the Officer has recommended that significant replacement planting be accommodated throughout the development via an updated landscape plan. These changes include reducing decking for ground level apartments to accommodate greater canopy tree and understorey plantings. Additionally, balcony planters with small canopy trees have been recommended to the 3 <sup>rd</sup> and 4 <sup>th</sup> storey to soften the built form and enhance the amenity of future residents and neighbours.  Refer to conditions 1 z), aa) and bb) and 4 to 8 inclusive.
Council's Development Engineer	No objection raised, subject to conditions included on any permit issued relating to stormwater management, basement design requirements against groundwater and water sensitive urban design. Refer to condition 1 f) and 9 to 13 inclusive.
Roads and Drains	No objection raised, subject to conditions included on any permit issued relating to works within the Council road reserve including relating to the new and redundant vehicle crossings. Refer to conditions 21 to 27.
Traffic Engineer	No objection raised, subject to conditions included on any permit issued ensuring headroom clearances are compliant via a sectional diagram and sight lines maintained within the subject site for the neighbouring driveway at no. 1/17 Central Avenue.



Refer to conditions 1 u) and v).

**ESD Advisor**

Advised that minor changes are required to meet Council's ESD expectations and that these can be addressed via a condition on any permit issued requiring updates to the SMP and plans. Main issues included:

- External shading to upper floors for exposed north, east and west facing glazing.
- Ventilation requirements for bathrooms and ensuites.
- Waste management to include food and garden waste.
- Provision for electric vehicle infrastructure.
- External tap and floor waste for each dwelling's private open space to allow for residents to grow plants.
- Light coloured or reflective finishes/materials for non-visible flat roofs and exposed driveways.

Refer to condition 18.

**Construction  
Liaison  
Officer**

No objection subject to the inclusion of a condition requiring the provision of a Construction Management Plan. Refer to condition 20.

**Urban  
Design  
Advisor**

Initial advice on the original application plans from the Urban Design Advisor did not raise any significant concerns with the proposal and noted that despite the increased height, the building mass arrangement is well considered through the separation of the 3 storey podium and the two recessed upper levels together with the material and finish palette. However, some concerns were raised as listed below. Amended plans sought to address some of these concerns and following re-referral advice from the Urban Design Advisor, confirmation on whether these concerns have been addressed are responded to in bold (below):

- Location of the vehicle access on Central Avenue. Preference to locate the access onto Healey Street.



**Addressed. Vehicle accessed has been moved to the northern Healey Street frontage.**

- Lack of articulation along the north and west elevation with massing more prominent due to horizontal design. Verticality should be applied to the elevation to erode the mass and visual bulk to neighbouring properties.

**Addressed. Respective elevations are more reflective of the street elevations with added verticality to the brick columns. See plans below.**



*Original plans – north elevation*



*Original plans – west elevation*



*Amended plans – north elevation*



*Amended plans - west elevation*

- Fencing on the edge of podium level adds to the perception of an extended parapet and clearly defined podium.

**Not addressed. However, it is considered that this outcome is acceptable given landscaping conditions will require planters and canopy trees along this edge to soften the built form.**

- Absence of natural light into central foyer with light court being effective for mostly upper levels and not lower levels.

**The central light court is deemed to be sufficient in providing light to the communal foyer area. To improve light accessibility to lower levels, it is recommended that a condition be included on any permit issued for the internal wall of the light court to be finished in a light colour to reflect natural light.**

- Extent of basement to western boundary limiting deep soil planting. Preference for at least 2m setback.

**Addressed. The basement has been modified allowing at least a 2m setback along the western boundary.**

- 1.7m high solid front fencing creating visual bulk and poor transparency with the street.

**Addressed. More transparent (vertical metal pickets) fencing is proposed along street. Fencing will also be recessed in part to allow for garden to the front.**

Activity  
Centres  
(Strategic  
Planning)

Offered support for the proposal, specifically in relation to the relocated driveway to the Healey Street frontage to improve pedestrian and cycling safety along Central Avenue. The Department also advised that boulevard style tree planting is desirable along Central Avenue. Canopy tree plantings has been recommended via an updated landscape plan as per Council's Vegetation Management Officer's referral.

Waste  
Management

No objection raised and confirmed that the submitted Waste Management Plan was satisfactory.

**8. EXTRERNAL REFERRALS**

Department	Section 52/55	Determining / Recommending	Objection	Comments
Viva Energy	52	N/A	N/A	N/A – no response provided.

**9. ADVERTISING**

9.1. Following the commencement of advertising, twenty-four (24) objections to the proposal were received. The valid grounds of objection raised are summarised as follows:

- Excessive height
- Inconsistent with Moorabbin Activity Centre Zone (Schedule 3)
- Visual bulk
- Neighbourhood character
- Parking/traffic
- Overshadowing
- Overlooking
- Insufficient communal areas
- Removal of trees
- Replanting of trees and impact to adjoining private drainage infrastructure
- Location of vehicle accessway
- Impact on easements
- Noise impacts from vehicles and communal areas
- Errors on submitted documentation
- Stormwater management

Issues raised that are not valid planning considerations include:

- Construction impacts and noise
- Reduction to property values

9.2. A planning consultation meeting was held on 18 April 2023 with the relevant Planning Officer, the Mayor, the Permit Applicant and ten (10) objectors in attendance. The above-mentioned issues were discussed at length.

9.3. The above concerns were unable to be resolved at the meeting, and the objections still stand.

**10. AMENDMENT TO APPLICATION**

10.1. The application was amended pursuant to Section 57a of the *Planning and Environment Act 1987* on 23 May 2023. The amendments were made in response to objector concerns by the neighbour to the north of the site as well as Council Officer's concerns relating to off-site amenity. The changes made to the plans involved the following:

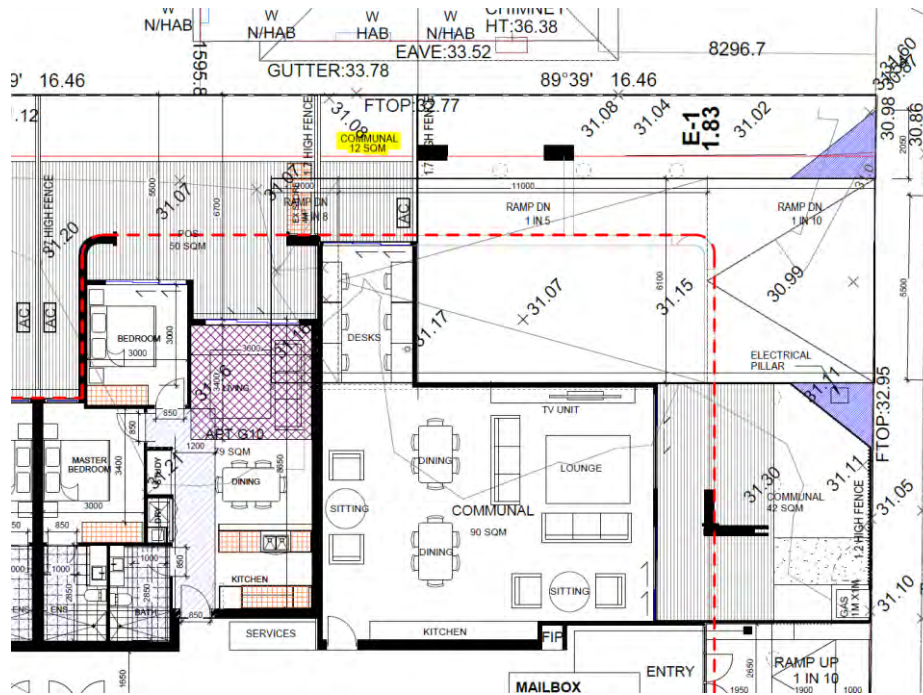
- Absorbing the northern communal open space into the SPOS of apartment G10 to alleviate noise impacts associated with the use of communal areas vs private areas to the neighbouring dwelling.



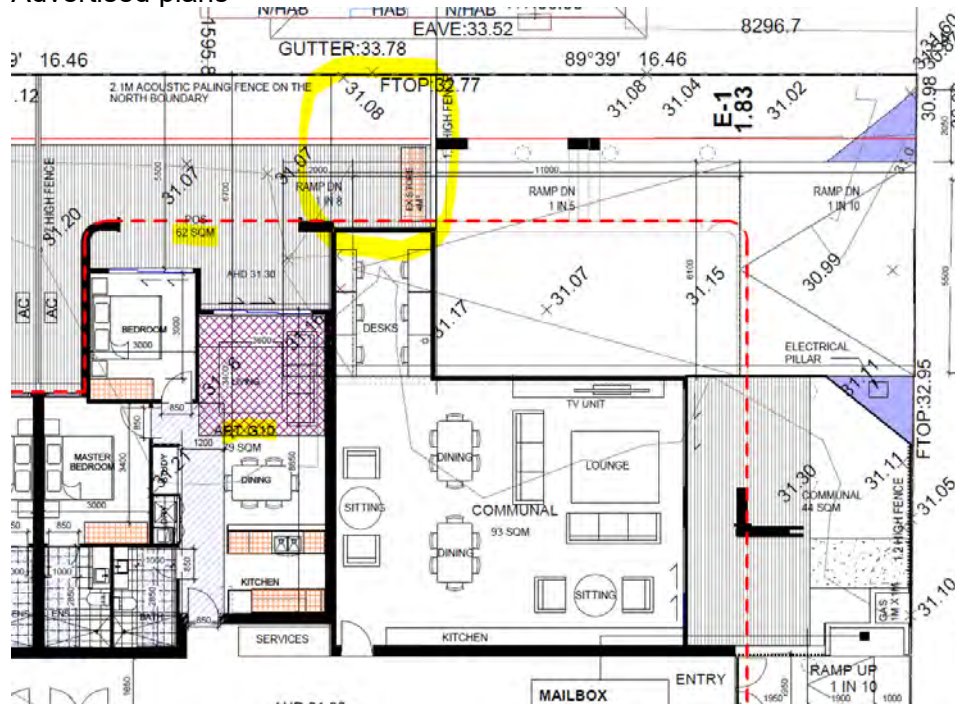
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Advertised plans



Amended plans

- Provision of a 2.1m high acoustic paling fence along the northern boundary to alleviate noise impacts from proposed SPOS and vehicle accessway to the adjoining dwelling.
- 1.7m high screening incorporated to the balconies of apartments 1.11 and 1.12 on the first floor in lieu of 1.3m high angled screening to alleviate overlooking concerns into the SPOS of the adjoining property.
- 1.5m high angled screening incorporated to the balconies of apartments 2.11 and 2.12 on the second floor in lieu of 1.3m high angled screening to alleviate overlooking concerns into the SPOS of the adjoining property.



## 11. FURTHER CONSIDERATION / ANALYSIS

### Zoning Provisions

The subject site is located within the Activity Centre Zone. The purpose of the Activity Centre Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To deliver a diversity of housing at higher densities to make optimum use of the facilities and services.
- To create through good urban design an attractive, pleasant, walkable, safe and stimulating environment.
- To facilitate use and development of land in accordance with the Development Framework for the activity centre.

Clause 37.08 seeks to deliver intensive development of the Moorabbin activity centre, in a manner that makes the optimum use of the existing facilities and services and supports the on-going sustainability of the centre.

A permit is required to construct two or more dwellings in the ACZ3.

Pursuant to Schedule 3 of the Activity Centre Zone, Precinct 3 applies to the site. The site is outlined in yellow below:





Precinct 3 (Increased Residential) has the following relevant objectives:

- *To encourage new, contemporary residential building form within quality landscaped settings that responds to the residential focus of the precinct.*
- *To provide opportunities for a mix of dwelling types in the precinct.*
- *To encourage an enhanced pedestrian environment within the precinct.*

Schedule 3 to the Activity Centre Zone outlines specific requirements for building height and setbacks as follows:

Precinct requirements		
Precinct	Building Height (excluding basement)	Building Setback
3	3 storeys (11 metres)	<p>Minimum 5 metres from street frontages.</p> <p>All habitable room windows and balconies of development above ground level should be setback a minimum 4.5 metres from side or rear boundaries.</p>



The maximum building height of 3 storeys (11 metres) within the above precinct requirements is not a mandatory requirement. The height can be varied via a planning permit application if it can be demonstrated that the precinct 3 objectives and guidelines of the ACZ1 are satisfied. The discussion in the Table below explores whether the objectives and guidelines have been satisfied and if the proposed height variation of 2 additional storeys (5 storey total) is acceptable for the site and neighbourhood.

Minor buildings and works such as verandas, architectural features, balconies, sunshades, screens, artworks and street furniture may be constructed within the building setback areas specified above unless otherwise specified.

The precinct's decision guidelines are listed below (relevant guidelines highlighted in bold):

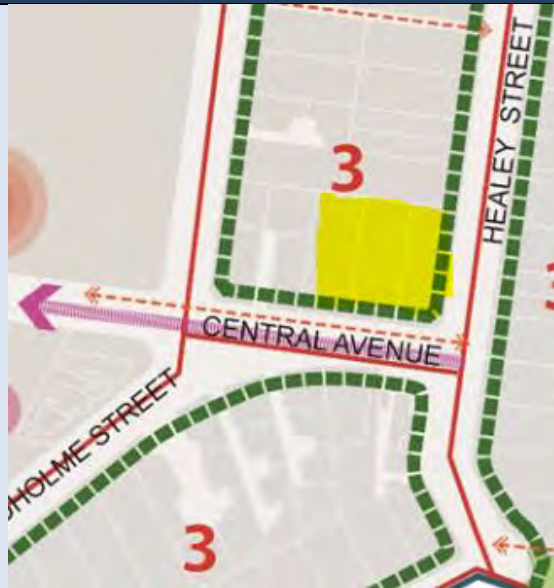
- ***Any new development should landscape the front setback areas.***
- *Any new development on sites of 1,000sqm or less with a frontage of 30 metres or less should not exceed a maximum of 2 storeys and be limited to additions to existing dwellings.*
- ***Any new development on sites (comprising 1 or more lots) of greater than 1,000sqm and with a frontage of greater than 30 metres, do not exceed a maximum height of 3 storeys.***
- ***New development should provide on site car parking in basements rather than at ground level, accessed via a single entry onto the site, in order to maximise the opportunity to use ground level areas for landscaping, and open space.***
- ***Development should provide for a mix of dwelling options in an apartment format rather than villa units or townhouses.***
- *New development fronting South Road should achieve vehicular access to parking from side and rear streets and laneways.*
- ***New development should provide for highly visible entry elements accessed from the front of sites.***

Precinct 3 requirements	Assessment
<i>Building Height (excluding basement): 3 storeys (11 metres)</i>	<p>The proposed building comprises five (5) storeys plus basement car park with a maximum building height of 16.3m metres measured from natural ground level to the top of the roof and 17.7m to the top of the rooftop service screen.</p> <p>At this height, the proposed building does not comply with the building height requirement (3 storeys, 11 metres) for the Precinct.</p> <p>Clause 37.08-6 of the Kingston Planning Scheme specifies that a permit may be granted to vary any design and development requirement in the Activity Centre Zone, including the maximum building height.</p>

Precinct 3 requirements	Assessment
	<p>Therefore, discretion can be exercised in the application of the maximum height for the land. Council must consider whether the height of the development proposed is acceptable by assessing this relative to the purpose of the zone, precinct guidelines, particular provisions and decision guidelines of the Planning Scheme and any other material consideration.</p> <p>The proposal and its height is considered to meet the overarching objective to provide for increased residential density with high quality amenity that capitalises on the well serviced activity centre location. The site is considered capable of accommodating a higher form of development for the following reasons:</p> <ul style="list-style-type: none"> <li>• The proposal occupies a large corner site in excess of 2000 m<sup>2</sup> in area with two street frontages of 39m and 46m. Given the substantial size and frontage widths, the land can accommodate a greater built form than what could be achieved on a smaller consolidated site of two parcels of land with one street frontage.</li> <li>• Given the site's corner location, the land has limited residential abuttals and only one direct sensitive interface to the north noting that the direct interfaces to the western abuttals are made up of driveways and outbuildings.</li> <li>• The 3 storey podium form is defined in its fenestration, verticality and materiality in comparison to the levels above with this transition in scale and form being defined by setbacks.</li> <li>• The fifth level is significantly recessed from the floors below and will be concealed when viewed from short-range including from the opposite footpath on each street and adjoining properties. This is somewhat depicted in the 3D perspectives below.</li> </ul> <div style="text-align: center;">  <p>Northern perspective</p>  <p>Western perspective</p> </div>



Precinct 3 requirements	Assessment
	 <p data-bbox="560 792 1102 831">Streetscape perspective from intersection</p> <ul data-bbox="512 864 1430 1704" style="list-style-type: none"><li>• Council's Urban Design Advisor supports the overall height despite exceeding the preferred 3 storey limit. The basis of this support is due to the well considered building mass and form, namely the split between the 3 storey podium and recessed upper 2 levels and the well articulated and high quality architecture and materiality. The Advisor noted that the upper levels are well concealed from the street level and adjoining properties with the uppermost level being completely concealed.</li><li>• As recommended by Council's Vegetation Officer, planters incorporating canopy trees of 4m in height are required along the perimeter of the terraces for the upper levels. The provision of this vegetation on the upper levels will soften the built form and height.</li><li>• Central Avenue is identified within the ACZ as having a key pedestrian link. The proposal seeks to maintain and enhance this link by providing its singular vehicle access onto Healey Street and removing redundant crossovers along Central Avenue. This outcome will also support possible cycling links along Central Avenue in future, improving safety and removing vehicle disturbance along the site's Central Avenue frontage. This outcome supports the objective of the precinct, namely enhancing the pedestrian environment and will provide a community benefit. There is also a condition requiring the permit applicant to work with Council's Open Space and Urban Design and Place teams to develop a landscape plan for the nature strip along Central Avenue that is aligned with the broader vision for the centre.</li></ul>

Precinct 3 requirements	Assessment
	 <p>The map shows an aerial view of an urban area. A red dashed line outlines a specific site. A yellow square is placed within this site. The map is labeled with 'CENTRAL AVENUE', 'HEALEY STREET', and 'HOLME STREET'. A legend at the bottom explains the symbols used: Activity Centre Boundary (blue line), Precinct Boundary (red line), Land not subject to ACZ (grey hatched), Provide adequate setback from heritage building (sunburst symbol), Trainline &amp; Station (black line with cross-ticks), Bus Routes &amp; Stops (blue line with dots), Parking (orange 'x'), Commuter parking (pink 'p'), Existing open space (green), Heritage buildings (brown), Existing key pedestrian link (dashed line with arrows), Provide for front setback landscape setting (green dashed line), and Key view corridor (purple arrow).</p> <ul style="list-style-type: none"> <li>• The proposal is highly compliant against the precinct guidelines as addressed later in this table.</li> <li>• The proposal is highly compliant and, in many instances, exceeds the minimum requirements under the standards and objectives of Clause 58, achieving best practice and high quality design and amenity.</li> <li>• The principle of exceeding the building height requirements of the various Moorabbin ACZ Precinct's has been established and exemplified through permits issued by Council. In the immediate surrounds and within the same precinct 3, the development at no. 40-44 Healey Street and 414-416 South Road has been approved at 5 storeys. Whilst the site sits within both precinct 3 and 4 with the latter precinct allowing up to 5 storeys, the majority of the site is within precinct 3. The below aerial image shows this site in the context of the subject land (outlined in red). The blue line marks the boundary between precinct 3 (left) and precinct 4 (right).</li> </ul>

Precinct 3 requirements	Assessment
	<div data-bbox="560 320 1214 943" data-label="Image"> </div> <p data-bbox="560 974 1426 1070">In a broader sense, variations to the preferred height have been supported in various precincts throughout Moorabbin as listed below:</p> <ol data-bbox="560 1108 1426 1682" style="list-style-type: none"> <li>1. 40-44 Healey Street and 414-416 South Road at five (5) storeys, two (2) levels above preferred. Completed. Council ref: KP-2017/612,</li> <li>2. 13-15 Taylor Street at twelve (12) storeys, is seven (7) levels above preferred, not under construction. Council ref: KP-2017/149.</li> <li>3. 17 Taylor Street at ten (10) storeys, is five (5) levels above preferred. Completed. Council ref: KP-2014/739.</li> <li>4. 7-11 Central Avenue at seven (7) storeys, is three (3) storeys above preferred. Completed. Council ref: KP-2012/443.</li> <li>5. 4-6 Station Street at ten (10) storeys, is six (6) levels above preferred. Completed. Council ref: KP-2012/496.</li> <li>6. 420 South Road and 34 Healey Street is ten (10) storeys, is up to five (5) storeys above preferred, not yet constructed. Council ref: KP-2016/544.</li> <li>7. 374-378 South Road is 13 storeys, 7 storeys above preferred. Not yet constructed. Council ref: KP-2021/629.</li> </ol>



Precinct 3 requirements	Assessment
	
<p><i>Building setback: Minimum 5 metres from street frontages</i></p>	<p>A variation is sought to the minimum 5 metre setback along each street frontage. Setbacks along each street frontage generally range from 4.6 to 4.7m to the outside walls. The variation is considered to result in a negligible impact to the building massing or landscaping outcomes along the streetscape. The site's attributes of dual street frontages and width of more than 30m on each street, allow for a well considered built form response to reduce its massing to the street as previously discussed above. The landscaping outcomes are also enhanced as a result of these attributes, enabling sufficient deep soil areas and garden beds within apartment frontages for meaningful canopy tree plantings.</p>
<p><i>Building setback: All habitable room windows and balconies of development above ground level should be setback a minimum 4.5 metres from side</i></p>	<p>All habitable room windows and balconies above ground level are setback a minimum 4.5 metres from the northern and eastern side boundaries inviting commensurate form for future development on neighbouring sites for a combined separation of 9 metres.</p>
Precinct Guidelines, where relevant:	Assessment
<p><i>Any new development should landscape the front setback areas</i></p>	<p>The proposal will be well landscaped across each street setback, allowing for sufficient deep soil areas for substantial canopy tree plantings. Council's Vegetation Officer has recommended several permit conditions to enhance landscaping outcomes within the front setback, including:</p> <ul style="list-style-type: none"> <li>- Removal of decking within the deep soil areas of apartments G.02 and G.05 to allow for adequate canopy tree growth.</li> <li>- Wider garden beds (reduced decking) provided within the front setbacks of apartments along Central Avenue.</li> <li>- Provision of two (2) large canopy trees (8m high) in the front south-west and south-east corners of the site.</li> </ul>



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Precinct 3 requirements	Assessment
	<ul style="list-style-type: none"> <li>- Provision of 8m high canopy trees within each of the front setbacks of apartments and communal open space on each street frontage.</li> </ul>
<p><i>Any new development on sites (comprising 1 or more lots) of greater than 1,000sqm and with a frontage of greater than 30 metres, do not exceed a maximum height of 3 storeys.</i></p>	<p>The proposal will exceed the preferred height of 3 storeys on consolidated sites of more than 1000m<sup>2</sup> and frontage width greater than 30m. The subject site is significantly greater than the site area and frontage width benchmarks and its advantageous location on a corner allows for a greater height and massing than what would typically be preferred within this precinct.</p>
<p><i>New development should provide on site car parking in basements rather than at ground level, accessed via a single entry onto the site, in order to maximise the opportunity to use ground level areas for landscaping, and open space.</i></p>	<p>Car parking is to be provided within the basement and is accessed via a single entry point only, maximising landscaping opportunities along the frontages.</p>
<p><i>Development should provide for a mix of dwelling options in an apartment format rather than villa units or townhouses.</i></p>	<p>The proposal will offer apartment housing rather than villa units or townhouses. There will be a mix of 2 and 3 bedroom dwellings all with diverse floor plans to accommodate a mix of housing demands.</p>
<p><i>New development should provide for highly visible entry elements accessed from the front of sites.</i></p>	<p>The main building entry is well defined onto Healey Street and is highlighted through the application of the copper look cladding that contrasts against the remaining material palette:</p>  <p>Furthermore, each ground level apartment fronting the street will be provided with their own pedestrian entry.</p>

## **12. RESPONSE TO GROUNDS OF OBJECTION**

12.1. The majority of concerns raised by objector(s) have been considered within the assessment and response provided above and/or within the Clause 58 assessment in the below table. Any remaining concerns are addressed as follows:

Ground of Objection	Response
<b>Construction impacts and noise</b>	Impacts from building construction and noise are not regulated under the <i>Planning and Environment Act 1987</i> . Construction impacts will be addressed via the building permit and construction noise is managed by the EPA.
<b>Reduction to property values</b>	Pursuant to the <i>Planning and Environment Act 1987</i> and Kingston Planning Scheme, this concern falls outside of the scope of planning considerations.

## **13. CLAUSE 58 – APARTMENT DEVELOPMENTS**

13.1. Construct or extend an apartment development of five (5) or more storeys (excluding a basement) in a GRZ, RGZ, MUZ or TZ OR the apartment development is in the C1Z, C3Z, SUZ, CDZ, or ACZ. ***\*\*MUST meet the objective, SHOULD meet the standard\*\****

OBJECTIVE	STANDARD	LEVEL OF COMPLIANCE AGAINST STANDARD
<b>Clause 58 – URBAN CONTEXT</b>		
<b>Clause 58.02-1 Urban context objectives</b> <ul style="list-style-type: none"> <li>To ensure that the design responds to the existing urban context or contributes to the preferred future development of the area.</li> <li>To ensure that development responds to the features of the site and the surrounding area.</li> </ul>	<b>Standard D1</b> <ul style="list-style-type: none"> <li>The design response must be appropriate to the urban context and the site.</li> <li>The proposed design must respect the existing or preferred urban context and respond to the features of the site.</li> </ul>	Complies with standard and meets objective
<p><b>Assessment:</b> The proposal is considered to satisfy the objectives in terms of scale, context and street level massing and detailing as demonstrated in the Activity Centre Zone assessment earlier in this report. The proposed design is considered appropriate within this context, and notably responds to Council's preferred character, which seeks more intensive residential development softened by its landscape setting.</p> <p>The development has adequately responded to its direct abutments, avoiding unreasonable off-site amenity impacts and providing setbacks above podium that will provide an equitable outcome for future development.</p>		

The site's substantial size and wide street frontages allow for a centralised built form with generous boundary setbacks and deep soil areas for meaningful landscaping to screen and soften the built form from adjoining properties and the streetscape. Any visual impact from the two uppermost levels will be diminished by its recession and perimeter plantings along the terraces incorporating small canopy trees.

The architectural expression is well considered, using materiality, fenestration and rebates that will be attractive to its surrounds and positively contribute to the future character of the area.

The vehicle access location on the Healey Street frontage supports the precinct's objective to enhance the pedestrian environment in this area by having an uninterrupted frontage along the Central Avenue pedestrian link. This will also support future cycling links along this corridor.

It is considered that the proposed development will not compromise precinct objectives or prejudice the future development potential of that land.

<p><b>Clause 58.02-2 Residential Policy objectives</b></p> <ul style="list-style-type: none"> <li>To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.</li> <li>To support higher density residential development where development can take advantage of public and community infrastructure and services.</li> </ul>	<p><b>Standard D2</b></p> <ul style="list-style-type: none"> <li>An application must be accompanied by a written statement to the satisfaction of the RA that describes how the development is consistent with any relevant policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.</li> </ul>	<p>Complies with standard and meets objective</p>
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**Assessment:** The proposal enjoys a high level of policy support within the relevant planning policy framework including Clauses 11.03-1S, 11.03-1L-01, 16.01-2R, 16.01-1L-01 and 37.08, all of which support more intensive forms of development on this site and within activity centre areas. For further discussion, refer to section 10 of this report.

<p><b>Clause 58.02-3 Dwelling diversity objective</b></p> <ul style="list-style-type: none"> <li>To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</li> </ul>	<p><b>Standard D3</b></p> <ul style="list-style-type: none"> <li>Developments of ten or more dwellings should provide a range of dwelling sizes and types, including dwellings with a different number of bedrooms.</li> </ul>	<p>Complies with standard &amp; meets objective</p>
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**Assessment:** The proposal and respective floor plans accommodate for a variety of living forms. The proposal includes thirty-five (35) 2 bedroom dwellings and nine (9) 3 bedroom dwellings in a variety of floor layouts to accommodate a range of resident needs.

<p><b>Clause 58.02-4 Infrastructure objectives</b></p>	<p><b>Standard D4</b></p>	<p>Complies with standard &amp;</p>
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<ul style="list-style-type: none"> <li>• To ensure development is provided with appropriate utility services and infrastructure.</li> <li>• To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</li> </ul>	<ul style="list-style-type: none"> <li>• Development should be connected to reticulated services, including reticulated sewerage, drainage and electricity, if available. Connection to a reticulated gas service is optional.</li> <li>• Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.</li> <li>• In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.</li> </ul>	meets objective
<b>Assessment:</b> The site is in an established area that is well serviced by existing infrastructure. Additionally, it is recommended that suitable conditions be included in any permit issued to address infrastructure considerations. Refer to conditions 9 to 13 and 21 to 27 inclusive.		
<b>Clause 58.02-5 Integration with the street objective</b> <ul style="list-style-type: none"> <li>• To integrate the layout of development with the street.</li> <li>• To support development that activates street frontage.</li> </ul>	<b>Standard D5</b>  Development should be oriented to front existing and proposed streets.  Along street frontage, development should: <ul style="list-style-type: none"> <li>• Incorporate pedestrian entries, windows, balconies or other active spaces.</li> <li>• Limit blank walls.</li> <li>• Limit high front fencing, unless consistent with the existing urban context.</li> <li>• Provide low and visually permeable front fences, where proposed.</li> <li>• Conceal car parking and internal waste collection areas from the street.</li> </ul>	Complies with standard and objectives
	Development next to existing public open space should be designed to complement the open space and facilitate passive surveillance.	N/A
<b>Assessment:</b> The proposal presents an active frontage with the development making provision for safe and functional connectivity. At ground level, permeable frontages will be achieved with semi-transparent front fencing, direct pedestrian entries to each ground level apartment and meaningful landscaping. Upper levels have been designed with balconies presenting to the street, providing excellent passive surveillance opportunities to the public realm. The pedestrian entry is in the north-eastern section of the subject site and facing Healey Street. This area includes a low front fence (1.2m high) and is open and inviting, again demonstrating an engaging frontage that positively contributes to the street integration. Car parking and waste storage is provided within the basement, ensuring these areas are concealed from the street.		



3D Render of Healey Street Elevation with pedestrian entry area circled in blue

### Clause 58.03 – SITE LAYOUT

#### Clause 58.03-1 Energy efficiency objectives

- To achieve and protect energy efficient dwellings and buildings.
- To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.
- To ensure dwellings achieve adequate thermal efficiency.

#### Standard D6

Buildings should be:

- Oriented to make appropriate use of solar energy.
- Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.

Living areas and POS should be located on the north side of the development, if practicable.

Developments should be designed so that solar access to north-facing windows is optimised.

Dwellings located in a climate zone identified in Table D1 should not exceed the maximum NatHERS annual cooling load specified in Table D1.

Complies with standard and objective (subject to permit conditions)

**Assessment:** The proposal is generally energy efficient with acceptable dwelling orientation. Where practical, living areas and private open spaces are oriented on the north side of the development, and north facing windows have been optimised. This is achieved by the site's long east/west axis. While the proposal includes south facing dwellings, these dwellings face the street and do not require privacy screening to their windows or balconies, allowing for a reasonable and good level of daylight access.

A Sustainable Management Plan (SMP) has been provided which includes a Water Sensitive Urban Design (WSUD) and BESS sustainability tool assessment. A 54% overall BESS score has been achieved and an average apartment energy rating of 7.34 stars.

Council's Environmental Sustainable Design (ESD) Officer has reviewed the SMP and has advised that the report and plans would need to be altered to meet Council's ESD and energy efficiency expectations for a development of this size. The alterations require that ESD initiatives proposed in the report also be reflected on the plans. A 54% minimum overall BESS score will need to be maintained. Refer to condition 18.

#### Clause 58.03-2 Communal open space objective

#### Standard D7

A development of 10 or more dwellings should provide a minimum area of communal outdoor open space of 30 square metres.

**Variation sought, meets objective**

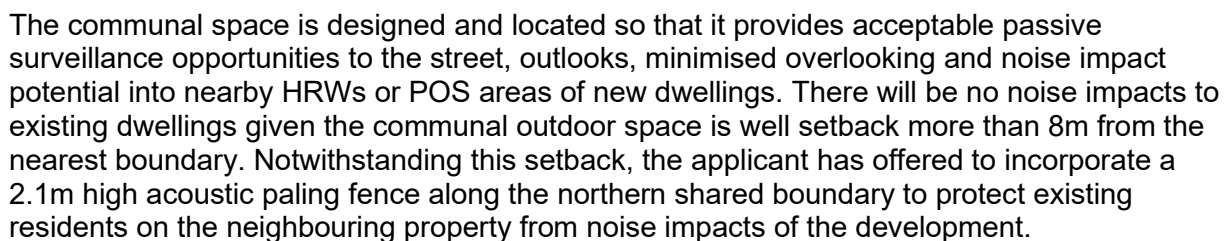
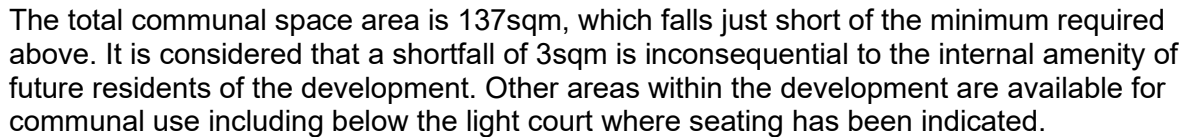
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<ul style="list-style-type: none"><li>• To provide communal open space that meets the recreation and amenity needs of residents.</li><li>• To ensure that communal open space is accessible, practical, attractive, easily maintained.</li><li>• To ensure that communal open space is integrated with the layout of the development and enhances resident amenity.</li></ul>	<p>If a development contains 13 or more dwellings, the development should also provide an additional minimum area of communal open space of 2.5 square metres per dwelling or 220 square metres, whichever is the lesser. This additional area may be indoors or outdoors and may consist of multiple separate areas of communal open space.</p> <p>Each area of communal open space should be:</p> <ul style="list-style-type: none"><li>• Accessible to all residents.</li><li>• A useable size, shape and dimension.</li><li>• Capable of efficient management.</li><li>• Located to:<ul style="list-style-type: none"><li>○ Provide passive surveillance opportunities, where appropriate.</li><li>○ Provide outlook for as many dwellings as practicable.</li><li>○ Avoid overlooking into habitable rooms and private open space of new dwellings.</li><li>○ Minimise noise impacts to new and existing dwellings.</li></ul></li></ul> <p>Any area of communal outdoor open space should be landscaped and include canopy cover and trees.</p>	
<p><b>Assessment:</b></p> <p>To meet the Standard, the development requires 140sqm (30sqm + 2.5sqm x 44 dwellings). The development provides for an internal communal space of 93sqm on the ground floor near the entry and an external communal space of 44sqm as depicted below.</p>		





It is recommended that outdoor seating be provided to the communal outdoor open space via a landscaping scheme on the eastern side to make the communal open space useable and inviting for residents. Refer to condition 1 n).

<b>Clause 58.03-3 Solar access to communal outdoor open space objective</b>	<b>Standard D8</b> The communal outdoor open space should be located on the north side of a building, if appropriate.	<b>Variation sought, meets objective</b>
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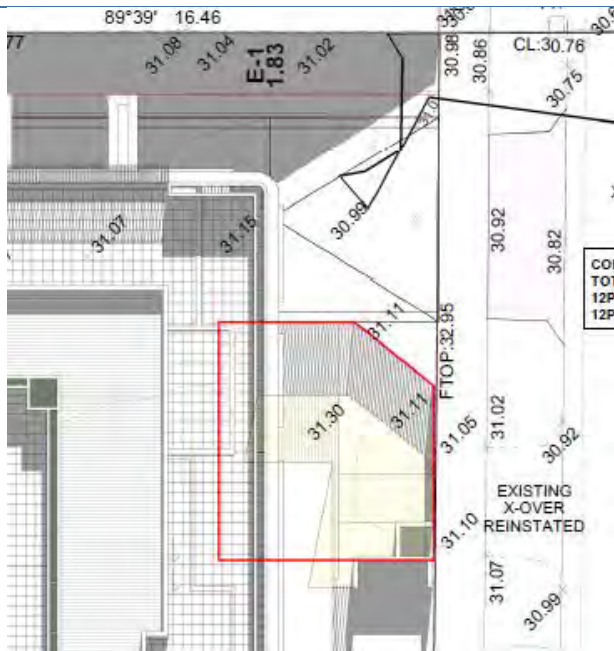


Figure 2 - 21 June 12pm Shadow Diagrams

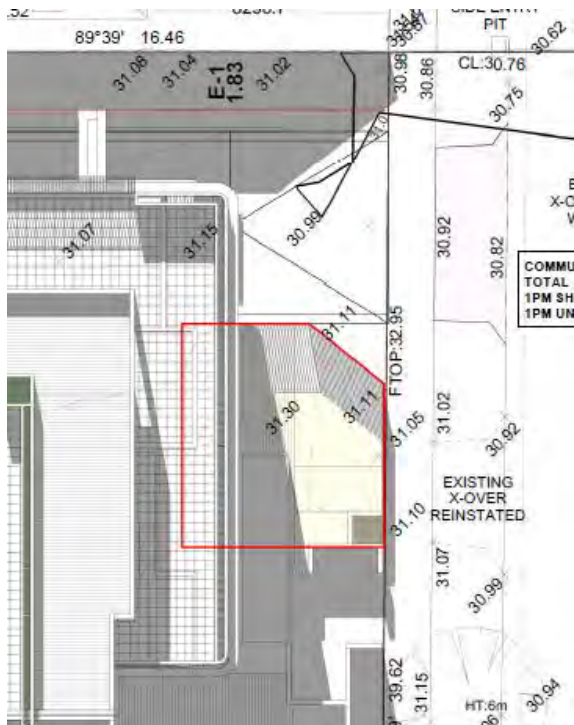


Figure 3 - 21 June 1pm Shadow Diagrams

The variation is supported and the objective is met for the following reasons:

- The standard would be met if it weren't for the 1.2m high vertical slat front fence, which contributes to a large part of the overshadowing. As this fence has a low height and is permeable, the shadows would not have any major impact on a future resident sitting or standing in this area and it is believed that a low level of light penetration will still occur due to the fence openings.
- The western portion of this area is covered by the floors of the building above, providing for shelter and benefits the usability of the space during extreme heat or rainy weather.

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<p><b>Clause 58.03-4 Safety objective</b></p> <ul style="list-style-type: none"> <li>To ensure the layout of development provides for the safety and security of residents and property.</li> </ul>	<p><b>Standard D9</b></p> <p>Entrances to dwellings should not be obscured or isolated from the street and internal accessways.</p> <p>Planting which creates unsafe spaces along streets and accessways should be avoided.</p> <p>Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.</p> <p>Private spaces within developments should be protected from inappropriate use as public thoroughfares.</p>	<p>Complies with standard and objective</p>
<p><b>Assessment:</b> The residential lobby to Healey Street is clearly visible from the public domain and presents as a wide lobby with no concerning features that could compromise the safety and security of residents and property. Other safety elements in the way of lighting, dwelling entrances, visibility and surveillance etc. have all been satisfactorily considered in the design layout of the development.</p>		
<p><b>Clause 58.03-5 Landscaping objectives</b></p> <ul style="list-style-type: none"> <li>To provide landscaping that supports the existing or preferred urban context of the area and reduces the visual impact of buildings on the streetscape.</li> <li>To preserve existing canopy cover and support the provision of new canopy cover.</li> <li>To ensure landscaping is climate responsive, supports biodiversity, wellbeing and amenity and reduces urban heat.</li> </ul>	<p><b>Standard D10</b></p> <p>Development should retain existing trees and canopy cover.</p> <p>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</p> <p>Development should:</p> <ul style="list-style-type: none"> <li>Provide the canopy cover and deep soil areas specified in Table D2. Existing trees can be used to meet the canopy cover requirements of Table D2.</li> <li>Provide canopy cover through canopy trees that are: <ul style="list-style-type: none"> <li>Located in an area of deep soil specified in Table D3. Where deep soil cannot be provided trees should be provided in planters specified in Table D3.</li> <li>Consistent with the canopy diameter and height at maturity specified in Table D4.</li> <li>Located in communal outdoor open space or common areas or street frontages.</li> </ul> </li> </ul>	<p>Complies with standard &amp; meets objective (subject to permit conditions)</p>

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	<ul style="list-style-type: none"><li>• Comprise smaller trees, shrubs and ground cover, including flowering native species.</li><li>• Include landscaping, such as climbing plants or smaller plants in planters, in the street frontage and in outdoor areas, including communal outdoor open space.</li><li>• Shade outdoor areas exposed to summer sun through landscaping or shade structures and use paving and surface materials that lower surface temperatures and reduce heat absorption.</li><li>• Be supported by irrigation systems which utilise alternative water sources such as rainwater, stormwater and recycled water.</li><li>• Protect any predominant landscape features of the area.</li><li>• Take into account the soil type and drainage patterns of the site.</li><li>• Provide a safe, attractive and functional environment for residents.</li><li>• Specify landscape themes, vegetation (location and species), irrigation systems, paving and lighting.</li></ul>	
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**Assessment:**

The subject site contains a total of 25 trees including 14 protected trees. There will not be any opportunity to retain these trees without significantly impacting the development potential of the site, particularly the basement footprint. This outcome is supported due to the low retention value of trees due to fair and very poor ratings to their health and structure. Council's Vegetation Officer supports the removal of these trees subject to extensive replanting to offset the loss, positively contribute to the future landscape character of the precinct and promote urban cooling. The proposed planting as demonstrated on the most recent landscape plan together with the recommended permit conditions will result in a net increase in the number of new trees, mature canopy coverage and of understorey vegetation planted within the subject site. It will therefore provide a better outcome than the existing conditions, albeit with less mature plantings at the start.

There is also an opportunity for the permit applicant to work with Council's Open Space and Urban Design and Place teams in assisting them to develop a landscape plan for the nature strip along Central Avenue that broadly meets objectives for the precinct.

Subject to conditions on any permit issued, the proposal can provide sufficient deep soil and canopy coverage in accordance with the standard requirements as confirmed by Council's

Vegetation Officer, provided a reduction in decking in the front setback of Dwelling G02 and G05 for the planting of 2 Type B trees.

A landscape plan will be required before the endorsement of plans to show a suitable landscape layout and design. This includes, but is not limited to, planters for trees and under storey vegetation on all apartment balconies on the third and fourth floors.

It is noted that an agreement between the adjoining neighbour at no. 21 Healey Street and applicant has been made to require trees to be planted to a minimum 3 metres in height along the northern boundary between the rear of the adjoining dwelling to the back corner of no. 21 Healey Street. This has been reflected onto conditions for an updated landscape plan.

Refer to condition 1 z).

**Clause 58.03-6 Access objective**

- To ensure that vehicle crossovers are designed and located to provide safe access for pedestrians, cyclists and other vehicles.
- To ensure the vehicle crossovers are designed and located to minimise visual impact.

**Standard D11**

Vehicle crossovers should be minimised.

Car parking entries should be consolidated, minimised in size, integrated with the façade and where practicable located at the side or rear of the building.

Pedestrian and cyclist access should be clearly delineated from vehicle access.

The location of crossovers should maximise pedestrian safety and the retention of on-street car parking spaces and street trees.

Developments must provide for access for service, emergency and delivery vehicles.

Complies with standard & meets objective

**Assessment:** The existing crossover on the north side of the Healey Street interface is proposed to be widened to 5.5m to provide for vehicular access to the development. This is the only crossover proposed to the development and maximises the retention of on-street car parking spaces. Redundant crossovers will be removed, thus improving existing on-street parking conditions. The removal of these crossovers and no vehicle access along Central Avenue will enhance the pedestrian and cycling links along this corridor as previously discussed within the report.

Given the site's dual street frontages, service, emergency and delivery vehicles can easily access the building. Access from these vehicles can also be provided via the basement if required.

Council's Traffic Engineers have no objection to the access point to Healey Road subject to the redundant crossovers on Central Avenue and Healey Street being reinstated.

**Clause 58.03-7 Parking location objectives**

- To provide convenient parking for resident and visitor vehicles.
- To protect residents from vehicular noise within developments.

**Standard D12**

Car parking facilities should:

- Be reasonably close and convenient to dwellings.
- Be secure.
- Be well ventilated if enclosed.

Shared accessways or car parks of other dwellings should be located at least 1.5 metres from the windows of habitable rooms. This

Complies with standard & meets objective

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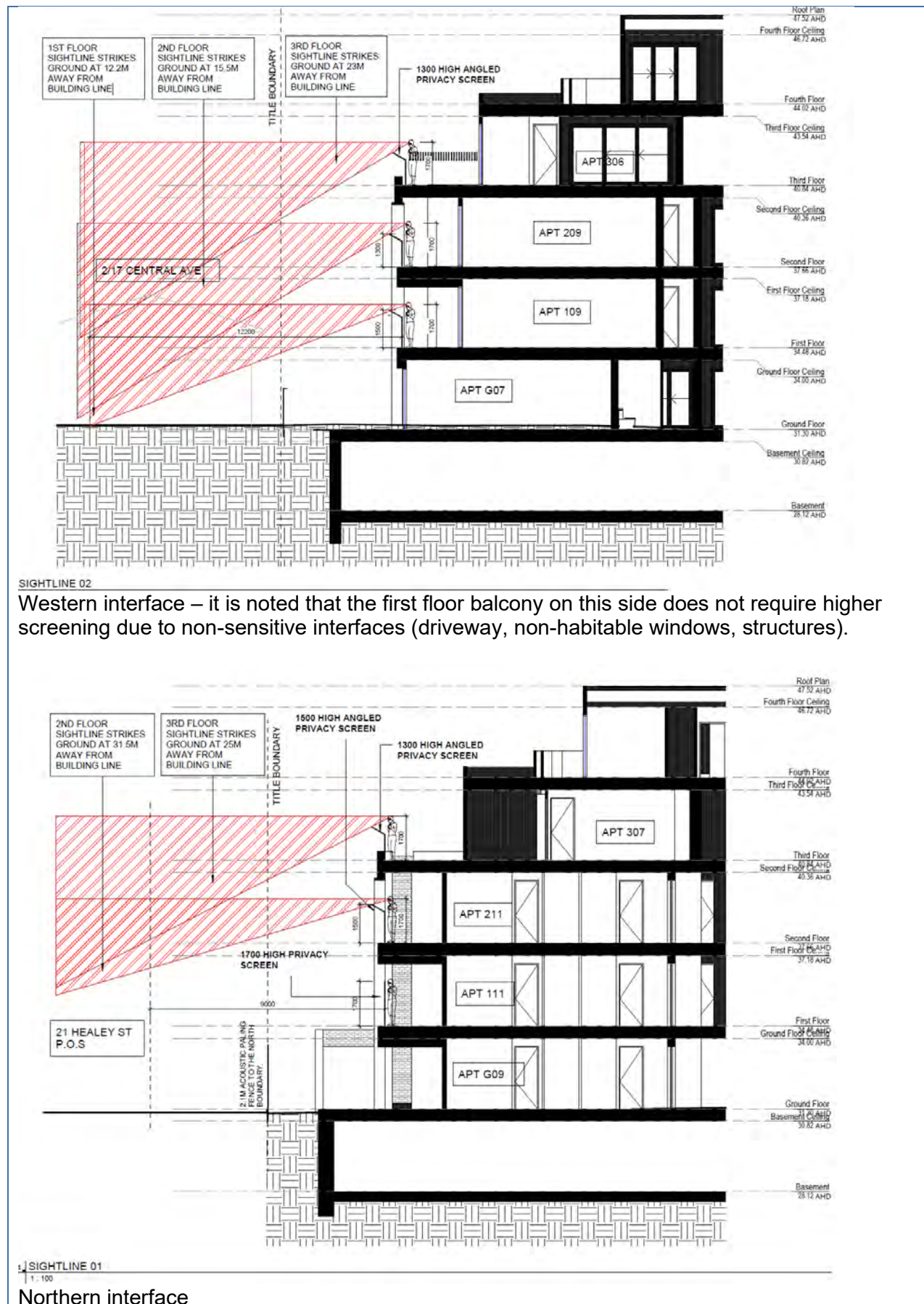
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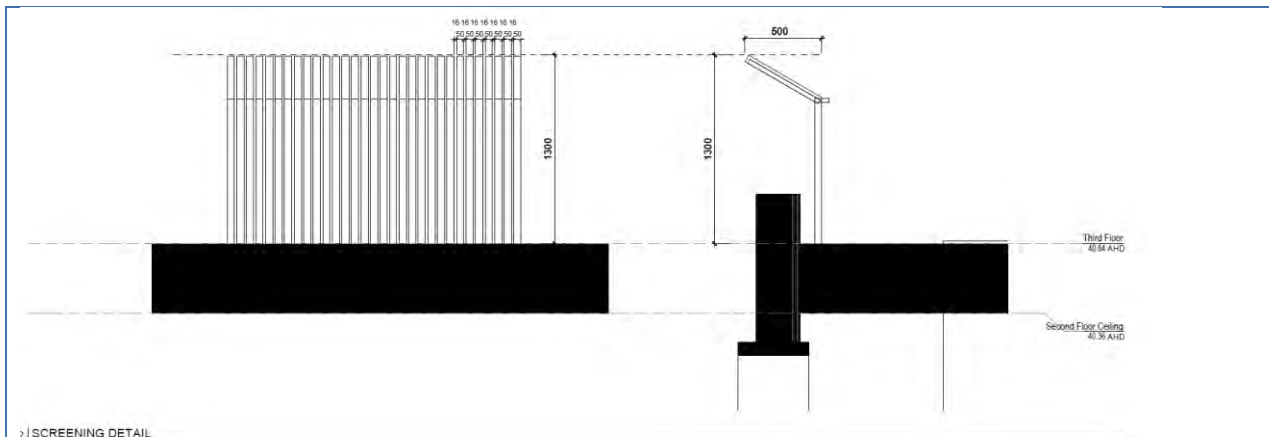
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	setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.	
<b>Assessment:</b> Parking is located within the basement/ground level. Parking areas are secure and convenient to the dwellings, accessed via lift and stairs. There will be no habitable rooms impacted by the proposed accessways.		
<b>Clause 58.03-8 Integrated water &amp; stormwater management objective</b> <ul style="list-style-type: none"> <li>To encourage the use of alternative water sources such as rainwater, stormwater &amp; recycled water.</li> <li>To facilitate stormwater collection, utilisation and infiltration within the development.</li> <li>To encourage development that reduces the impact of stormwater run-off on the drainage system &amp; filters sediment &amp; waste from stormwater prior to discharge from the site.</li> </ul>	<b>Standard D13</b> <p>Buildings should be designed to collect rainwater for non-drinking purposes such as flushing toilets, laundry appliances and garden use.</p> <p>Buildings should be connected to a non-potable dual pipe reticulated water supply, where available from the water authority.</p> <p>The stormwater management system should be:</p> <ul style="list-style-type: none"> <li>Designed to meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).</li> <li>Designed to maximise infiltration of stormwater, water and drainage of residual flows into permeable surfaces, tree pits and treatment areas.</li> </ul>	Complies with standard & meets objective (subject to conditions on any permit issued)
<b>Assessment:</b> To meet the above Standard, the proposal would require greater WSUD considerations (i.e. rainwater tanks / site management plan) to ensure sufficient stormwater management measures are provided. These could be required by way of a condition should the proposal receive support. Further, the application was referred to Council's Development Approvals Engineer – as detailed earlier in this report. Refer to conditions 9 to 13 inclusive.		
<b>Clause 58.04 – AMENITY IMPACTS</b>		



<p><b>Clause 58.04-1 Building setback objectives</b></p> <ul style="list-style-type: none"> <li>• To ensure the setback of a building from a boundary appropriately responds to the existing urban context or contributes to the preferred future development of the area.</li> <li>• To allow adequate daylight into new dwellings.</li> <li>• To limit views into habitable room windows and private open space of new and existing dwellings.</li> <li>• To provide a reasonable outlook from new dwellings.</li> <li>• To ensure the building setbacks provide appropriate internal amenity to meet the needs of residents.</li> </ul>	<p><b>Standard D14</b></p> <p>The built form of the development must respect the existing or preferred urban context and respond to the features of the site.</p> <p>Buildings should be set back from side and rear boundaries, and other buildings within the site to:</p> <ul style="list-style-type: none"> <li>• Ensure adequate daylight into new habitable room windows.</li> <li>• Avoid direct views into habitable room windows and private open space of new and existing dwellings. Developments should avoid relying on screening to reduce views.</li> <li>• Provide an outlook from dwellings that creates a reasonable visual connection to the external environment.</li> <li>• Ensure the dwellings are designed to meet the objectives of Clause 58.</li> </ul>	<p>Complies with standard &amp; meets objective</p>
<p><b>Assessment:</b> The proposal is adequately set back and is in line with the precinct 3 requirements of 4.5 metres from property boundaries for new habitable room windows and balconies. These setbacks will allow for a combined 9 metre separation for any future development on adjoining properties to the north and west of the site, allowing for equitable opportunities. Existing amenity on adjoining properties is protected via balcony and window screening to limit overlooking. Specifically, this is achieved via 1.7m high screening to windows and various screening methods to balconies. The screening imposed to balconies will include a mix of 1.3m to 1.5m high angled screens to allow outward views but obstruct downward views and 1.7m high screens on the first floor level where it has direct views into adjoining SPOS and habitable room windows to the north.</p> <p>The following diagrams demonstrate the various screening methods proposed to balconies on the north and western interface:</p>		





To ensure screens are no more than 25% transparent, a condition is recommended on any permit issued to have this nominated on amended plans. Refer to condition 1 s).

The north-facing kitchen and living room windows for apartments 101 and 201 have not been shown with external screening on the respective elevation plan. The windows will have direct views into the adjoining dwelling and as such, it is recommended that a condition be included on any permit issued requiring a minimum 1.7m high screen for the windows. Refer to condition 1 cc). In addition, the northern edge of the balconies for apartments 101 and 201 will have direct views into the front yard of the neighbouring property. It is recommended by way of a condition that the screening as proposed on the other balconies along the northern elevation be continued for these balconies. Refer to conditions 1 dd) and ee).

There will be no ground level overlooking impacts from proposed decking and SPOS areas due to the finished floor levels below natural ground level and existing/proposed boundary fencing which will provide a sufficient visual barrier.

**Clause 58.04-2 Internal views objective**

- To limit views into the private open space and habitable room windows of dwellings within a development.

**Standard D15**

- Windows & balconies should be designed to prevent overlooking of more than 50% of the POS of a lower-level dwelling directly below & within the same development.

**Variation sought, meets objective**

**Assessment:** No unreasonable internal overlooking will occur as a result of the proposed development. Dividing screens of 1.7m in height with a maximum level of 25% transparency are proposed between balconies of the development.

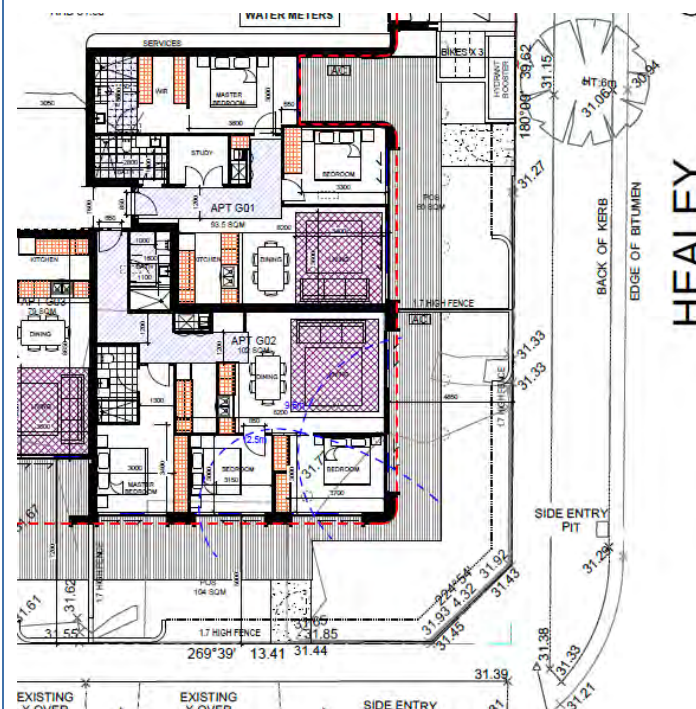
Along the north and west elevations, angled screening has been proposed to limit downward views to the POS of the ground level dwellings within the development.

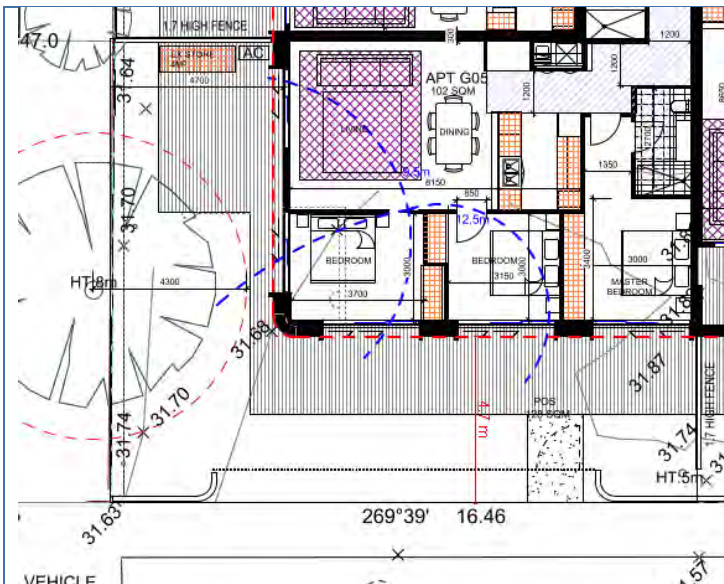
Along the south facing elevations which face the streets, windows and balconies have views to the POS of the ground level dwellings (G02 to G05 inclusive) directly below and exceeds 50% of the respective POS areas. However, the objective is considered to be met as these ground level POS areas are positioned along the street frontage. Screening upper level balconies and habitable room windows that face into these POS areas will reduce street activation and result in a poor urban design. Therefore, a balance between these two competing objectives (i.e. dwelling amenity and urban design) needs to be struck. Further, it is noted that apartments G03 and G04 have adequate areas under shelter unimpacted by views from upper level dwellings.





POS of G03 and G04, with areas unimpacted by views from dwellings within the development highlighted in yellow.





**Clause 58.04-3 Noise impacts objectives**

- To contain noise sources in developments that may affect existing dwellings.
- To protect residents from external and internal noise sources.

**Standard D16**

Noise sources, such as mechanical plants should not be located near bedrooms of immediately adjacent existing dwellings.

The layout of new dwellings & buildings should minimise noise transmission within the site.

Noise sensitive rooms (such as living areas & bedrooms) should be located to avoid noise impacts from mechanical plants, lifts, building services, non-residential uses, car parking, communal areas and other dwellings.

New dwellings should be designed & constructed to include acoustic attenuation measures to reduce noise levels from off-site noise sources.

Buildings within a noise influence area specified in Table D3 should be designed and constructed to achieve the following noise levels:

- Not greater than 35dB(A) for bedrooms, assessed as an LAeq,8h from 10pm to 6am.
- Not greater than 40dB(A) for living areas, assessed LAeq,16h from 6am to 10pm.

Buildings, or part of a building screened from a noise source by an existing solid structure, or the natural topography of the land, do not need to meet the specified noise level requirements.

Noise levels should be assessed in unfurnished rooms with a finished floor and the windows closed.

Complies with standard and objective



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**Assessment:** It is considered that the proposal has given adequate consideration to contain noise sources in the development as well as design measures to protect future residents from external and internal noise sources. The applicant has offered to incorporate a 2.1m high acoustic fence along the northern boundary to protect the adjoining residents from noise impacts of the development including the vehicle access and SPOS of ground level apartments. It is recommended that a condition be included on any permit issued to require a detailed design of the acoustic fence on amended plans for endorsement. Refer to condition 1 cc).

With respect to internal noise impacts, it is recommended that noise attenuation be provided between apartment 401 and the lift and riser to ensure mechanical noise impacts are not caused to the dwelling. Refer to condition 1 m).

The subject site is not in close proximity to any noise influence areas as specified in Table D5 of this standard such as passenger and freight railway lines or major arterial roads.

**Clause 58.04-4 Wind impacts objective**

- To ensure the built form, design and layout of development does not generate unacceptable wind impacts within the site or on surrounding land.

**Standard D17**

Development of five or more storeys, excluding a basement should:

- not cause unsafe wind conditions specified in Table D6 in public land, publicly accessible areas on private land, private open space and communal open space; and
- achieve comfortable wind conditions specified in Table D6 in public land and publicly accessible areas on private land

within a distance of half the greatest length of the building, or half the total height of the building measured outwards on the horizontal plane from the ground floor building façade, whichever is greater.

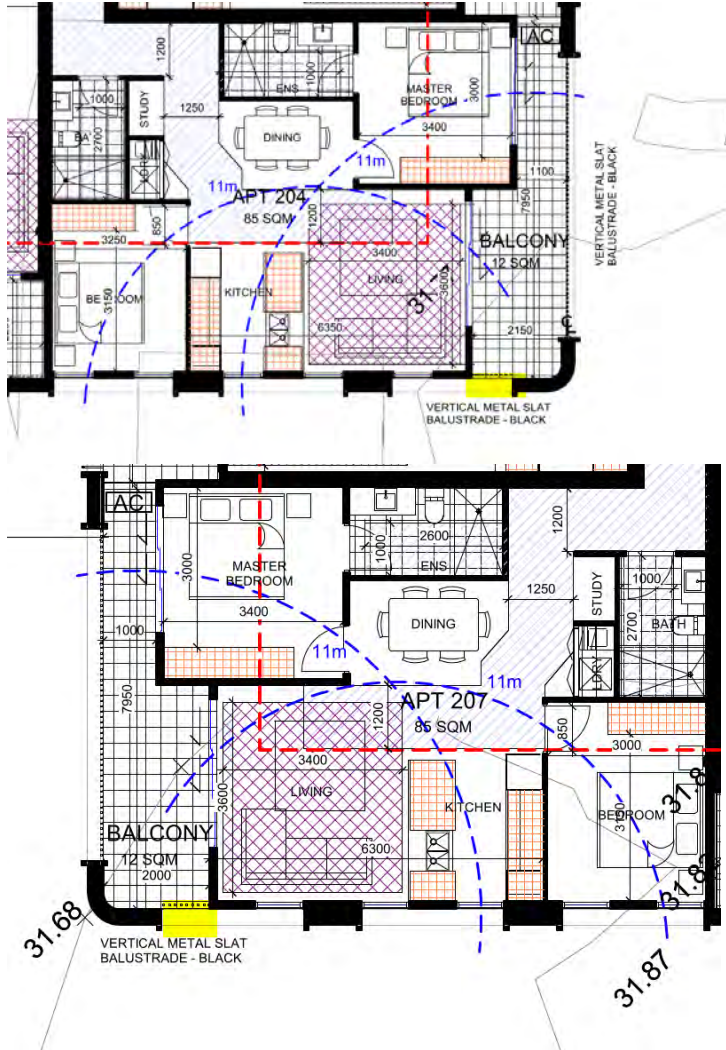
Trees and landscaping should not be used to mitigate wind impacts. This does not apply to sitting areas, where trees and landscaping may be used to supplement fixed wind mitigation elements.

Wind mitigation elements, such as awnings and screens should be located within the site boundary, unless consistent with the existing urban context or preferred future development of the area.

Complies with standard and objective

**Assessment:**

The application was accompanied by a Wind Effects Statement which confirmed that proposed wind effects will satisfy the relevant criteria. It is suggested within the statement that the southern sides of the level 2 balconies of apartments 204 and 207 be enclosed to enhance the amenity on these balconies. These areas are highlighted in the diagrams below. It is recommended that this change be included as a condition on any permit issued, together with the provision of a Wind Effects Statement to be endorsed and form part of the permit. Refer to conditions 1 o) and 14.



#### **Clause 58.05 – ON-SITE AMENITY AND FACILITIES**

##### **Clause 58.05-1 Accessibility**

- To ensure the design of dwellings meets the needs of people with limited mobility.

##### **Standard D18**

At least 50 per cent of dwellings should have:

- A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom.
- A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom & the living area.
- A main bedroom with access to an adaptable bathroom.
- At least one adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table D4.

**Variation sought, does not meet objective. Condition recommended to achieve compliance.**

**Assessment:** The proposal is mostly compliant with the standard, however minor non-compliances exist with respect to bathroom design (i.e. widths, door opening & toilet locations, lack of detail on removable shower screens and hobless showers). These issues can easily be addressed via a permit condition. Refer to condition 1 p).

**Clause 58.05-2 Building entry and circulation objectives**

- To provide each dwelling and building with its own sense of identity.
- To ensure the internal layout of buildings provide for the safe, functional and efficient movement of residents.
- To ensure internal communal areas provide adequate access to daylight and natural ventilation.

**Standard D19**

Entries to dwellings and buildings should:

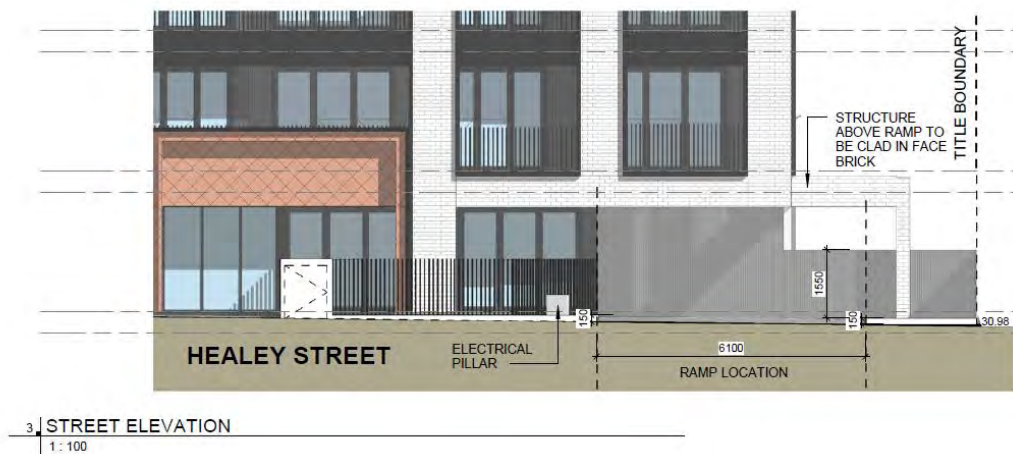
- Be visible and easily identifiable.
- Provide shelter, a sense of personal address and a transitional space around the entry.

The layout and design of buildings should:

- Clearly distinguish entrances to residential and non-residential areas.
- Provide windows to building entrances and lift areas.
- Provide visible, safe and attractive stairs from the entry level to encourage use by residents.
- Provide common areas and corridors that:
  - Include at least one source of natural light and natural ventilation.
  - Avoid obstruction from building services.
  - Maintain clear sight lines.

Complies with standard and meets objective

**Assessment:** The proposed site/building entry is considered to be well designed with respect to the Standard. The pedestrian walkway is easily identifiable from Healey Street and the entry is framed by a distinct 'copper look cladding'. The entry is provided with shelter.



The common corridors of all levels are functional, maintain clear sightlines and provided with natural light and ventilation via the large light court.

**Clause 58.05-3 Private open space objective**

- To provide adequate private open space for the reasonable recreation and service needs of residents.

**Standard D20**

A dwelling should have private open space consisting of at least one of the following:

- An area at ground level of at least 25 square metres, with a minimum dimension of 3 metres and convenient access from a living room.

Minor variation required, meets objective

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- |  |  |  |
|--|--|--|
|  | <ul style="list-style-type: none"><li>• A balcony with at least the area and dimensions specified in Table D8 and convenient access from a living room.</li><li>• An area on a podium or other similar base of at least 15 square metres, with a minimum dimension of 3 metres and convenient access from a living room.</li><li>• An area on a roof of 10 square metres, with a minimum dimension of 2 metres and convenient access from a living room.</li></ul> |  |
|--|--|--|

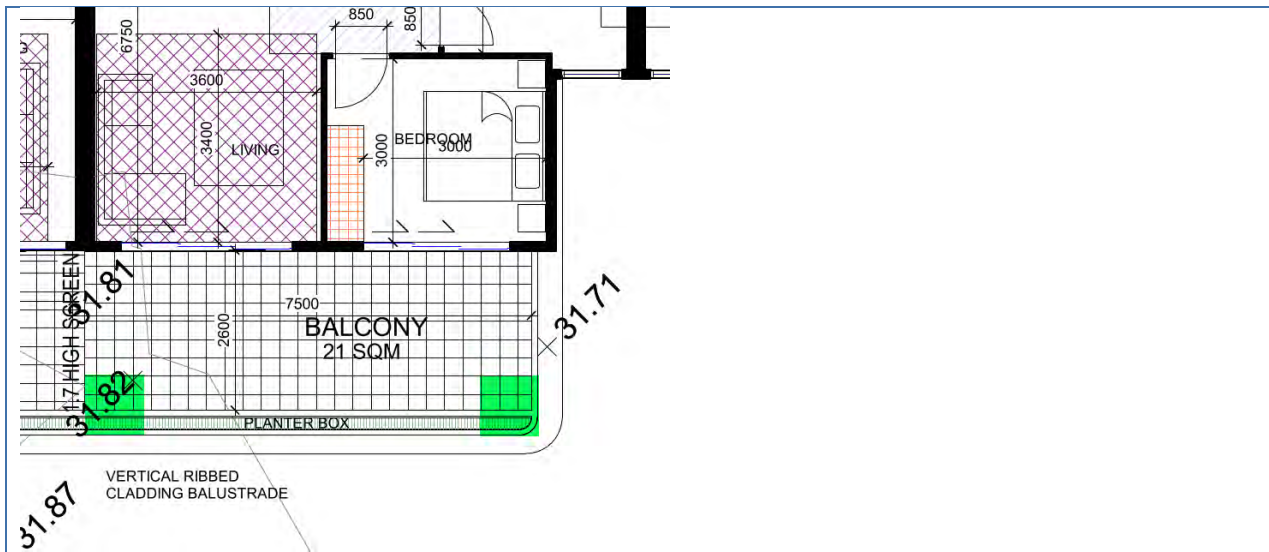
If a cooling or heating unit is located on a balcony, the minimum balcony area specified in Table D8 should be increased by at least 1.5 square metres.

**Assessment:** Each dwelling has been provided with adequate POS that meets the area and dimension requirements specified above and will service the social, recreational and passive needs of future residents. Generally, the dwellings provide in excess of the minimum dimension and area requirements.

Ground level apartments – all apartments achieve at least 25m<sup>2</sup> with a minimum dimension of 3 metres, ranging in area from 50m<sup>2</sup> to 128m<sup>2</sup>.

First and second level apartments – all apartments are provided with balconies ranging between 11m<sup>2</sup> and 12.5m<sup>2</sup> and minimum dimensions in accordance with Table D8 of the standard based off balcony orientation.

Third level apartments – each apartment is provided with a podium terrace ranging between 21m<sup>2</sup> to 67m<sup>2</sup> well in excess of the minimum 15m<sup>2</sup> required. Some terraces do not achieve a minimum 3m dimension due to planters along the edge. This will be further reduced as recommended by Council's Vegetation Officer to accommodate planters of a minimum 400mm on other terraces currently without them and tree planters of at least 1m in width. A minor variation is acceptable given the total area of POS afforded to each apartment exceeds the minimum requirements of 15m<sup>2</sup>. The varied dimensions still allow for sufficient outdoor furniture placement and recreational use for residents and the additional garden space will provide added amenity to future residents and neighbouring properties. See example of varied terrace below with included tree planters to highlight conditional changes:



Fourth level apartments – 82m<sup>2</sup> of terrace will be provided to each apartment on this level and will achieve a minimum 3m dimension.

The dwellings with balconies have an A/C unit and an additional area of 1.5sqm has been provided.

**Clause 58.05-4 Storage objective**

- To provide adequate storage facilities for each dwelling.

**Standard D21**

Each dwelling should have convenient access to usable and secure storage space.

The total minimum storage space (including kitchen, bathroom and bedroom storage) should meet the requirements specified in Table D10.

Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling
Studio	8 cubic metres	5 cubic metres
1 bedroom dwelling	10 cubic metres	6 cubic metres
2 bedroom dwelling	14 cubic metres	9 cubic metres
3 or more bedroom dwelling	18 cubic metres	12 cubic metres

**Variation sought, does not meet objective. Condition recommended for compliance.**

**Assessment:** Each dwelling has access to 3.2 cubic metres of external storage area in the basement and 9-16.5 cubic metres of internal storage areas. Ground floor level apartments which do not face the street also have an extra 4 cubic metres of external storage area in the courtyards.

However, a number of apartments fall short in both minimum storage volume within the dwellings and the total minimum storage volume. These are highlighted below in the storage schedule.



A condition is recommended for all apartments to meet the dimension requirements specified in Table D6 of this Standard. Refer to condition 1 q).

APARTMENT	INTERNAL STORAGE M <sup>3</sup>	EXTERNAL STORAGE M <sup>3</sup>
G01	11.95	3.2
G02	11.5	3.2
G03	9	3.2
G04	9	3.2
G05	11.5	7.2
G06	9.5	7.2
G07	9.5	7.2
G08	12.5	7.2
G09	9	7.2
G10	9	7.2
101	10.5	3.2
102	11	3.2
103	11	3.2
104	10.5	3.2
105	9.5	3.2
106	9.5	3.2
107	10.5	3.2
108	11	3.2
109	11	3.2
110	10.5	3.2
111	9.5	3.2
112	9.5	3.2
201	10.5	3.2
202	11	3.2
203	11	3.2
204	10.5	3.2
205	9.5	3.2
206	9.5	3.2
207	10.5	3.2
208	11	3.2
209	11	3.2
210	10.5	3.2
211	9.5	3.2
212	9.5	3.2
301	16	3.2
302	16	3.2
303	9.5	3.2
304	9.5	3.2
305	16	3.2
306	16	3.2
307	9.5	3.2
308	9.5	3.2
401	16.5	3.2
402	16.5	3.2

## STORAGE SCHEDULE

### 58.06 DETAILED DESIGN

#### Clause 58.06-1 Common property objective

- To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.
- To avoid future management difficulties in areas of common ownership.

#### Standard D22

Developments should clearly delineate public, communal and private areas.

Common property, where provided, should be functional and capable of efficient management.

Complies with standard & meets objective

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**Assessment:** Where common property is proposed, it is functional, well-designed and capable of efficient management through an owner's corporation arrangement.

**Clause 58.06-2 Site services objectives**

- To ensure that site services are accessible and can be installed and maintained.
- To ensure that site services and facilities are visually integrated into the building design or landscape.

**Standard D23**

Development should provide adequate space (including easements where required) for site services to be installed and maintained efficiently and economically.

Meters and utility services should be designed as an integrated component of the building or landscape.

Mailboxes and other site facilities should be adequate in size, durable, water-protected, located for convenient access and integrated into the overall design of the development.

Complies with standard and objective (subject to conditions)

**Assessment:** The plans nominate mailbox positions and site services within the front setback and basement car park. Whilst such service facilities are shown, should the proposal be supported and a permit issue, conditions should be adopted that require:

- building services to be incorporated into the frontage, finished in a concealed way, and positioned to maximise streetscape activation
  - a substation, if required, be located underground or not abutting the street frontage.
- Refer to conditions 1 k) and l).

**Clause 58.06-3 Waste and recycling objectives**

- To ensure dwellings are designed to encourage waste recycling.
- To ensure that waste and recycling facilities are accessible, adequate and attractive.
- To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity, health and the public realm.

**Standard D24**

Developments should include dedicated areas for:

- Waste and recycling enclosures which are:
  - Adequate in size, durable, waterproof and blend in with the development.
  - Adequately ventilated.
  - Located and designed for convenient access by residents and made easily accessible to people with limited mobility.

Complies with standard and meets objective (subject to permit condition)

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	<ul style="list-style-type: none"> <li>• Adequate facilities for bin washing. These areas should be adequately ventilated.</li> <li>• Collection, separation and storage of waste and recyclables, including where appropriate opportunities for on-site management of food waste through composting or other waste recovery as appropriate.</li> <li>• Collection, storage and reuse of garden waste, including opportunities for on-site treatment, where appropriate, or off-site removal for reprocessing.</li> <li>• Adequate circulation to allow waste and recycling collection vehicles to enter and leave the site without reversing.</li> <li>• Adequate internal storage space within each dwelling to enable the separation of waste, recyclables and food waste where appropriate.</li> </ul> <p>Waste and recycling management facilities should be designed and managed in accordance with a Waste Management Plan approved by the responsible authority and:</p> <ul style="list-style-type: none"> <li>• Be designed to meet the best practice waste and recycling management guidelines for residential development adopted by Sustainability Victoria.</li> <li>• Protect public health and amenity of residents and adjoining premises from the impacts of odour, noise and hazards associated with waste collection vehicle movements.</li> </ul>	
<p><b>Assessment:</b> A Waste Management Plan has been provided and reviewed by Council's Waste Management Officer. The Officer advised that the Plan is satisfactory. However, as raised by Council's ESD Advisor, garden and food waste streams have not been detailed in the plan and accordingly, a permit condition requiring an updated plan is recommended to include this detail. Refer to condition 16.</p>		
<p><b>Clause 58.06-4 External walls and materials objective</b></p> <ul style="list-style-type: none"> <li>• To ensure external walls use materials appropriate to the existing urban context or preferred future development of the area.</li> <li>• To ensure external walls endure and retain their attractiveness.</li> </ul>	<p><b>Standard D25</b></p> <p>External walls should be finished with materials that:</p> <ul style="list-style-type: none"> <li>• Do not easily deteriorate or stain.</li> <li>• Weather well over time.</li> <li>• Are resilient to the wear and tear from their intended use.</li> </ul> <p>External wall design should facilitate safe and convenient access for maintenance.</p>	<p>Complies with standard and objective</p>

**Assessment:** All external materiality and finishes are of high quality that do not deteriorate, weather and are resilient. This has been confirmed by the Urban Design Advisor.

**S**

**Clause 58.07-01  
Functional layout  
objective**

- To ensure dwellings provide functional areas that meet the needs of residents.

**Standard D26**

Bedrooms should:

- Meet the minimum internal room dimensions specified in Table D11.
- Provide an area in addition to the minimum internal room dimensions to accommodate a wardrobe.

**Table D11 Bedroom dimensions**

<i>Bedroom type</i>	<i>Minimum width</i>	<i>Minimum depth</i>
<i>Main bedroom</i>	<i>3 metres</i>	<i>3.4 metres</i>
<i>All other bedrooms</i>	<i>3 metres</i>	<i>3 metres</i>

- Living areas (excluding dining and kitchen areas) should meet the minimum internal room dimensions specified in Table D8.

<i>Dwelling type</i>	<i>Minimum width</i>	<i>Minimum area</i>
<i>Studio and 1 bedroom dwelling</i>	<i>3.3 metres</i>	<i>10 sqm</i>
<i>2 or more bedroom dwelling</i>	<i>3.6 metres</i>	<i>12 sqm</i>

Complies with standard and meets objective

**Assessment:** All proposed bedrooms and living areas meet the minimum dimension requirements. As such, adequate space has been proposed for full kitchens and living/dining areas.

**Clause 58.07-2 Room  
depth objective**

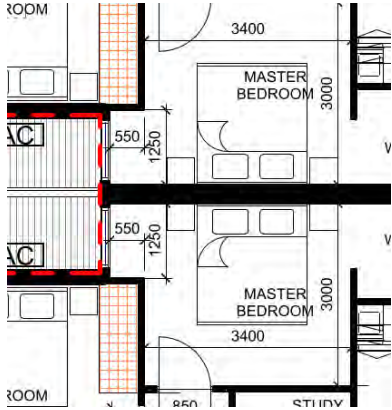
- To allow adequate daylight into single aspect habitable rooms.

**Standard D27**

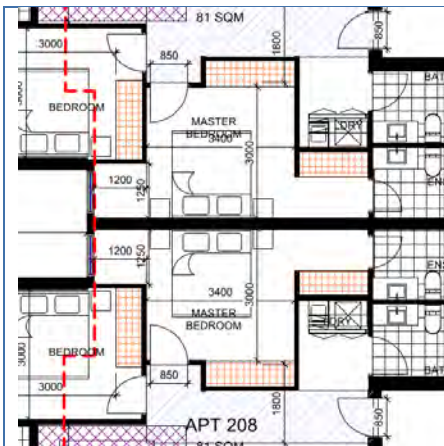
Single aspect habitable rooms should not exceed a room depth of 2.5 times the ceiling height.

The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met:

Complies with standard & meets objective

	<ul style="list-style-type: none"> <li>• The room combines the living area, dining area and kitchen.</li> <li>• The kitchen is located furthest from the window.</li> <li>• The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level. This excludes where services are provided above the kitchen.</li> </ul> <p>The room depth should be measured from the external surface of the habitable room window to the rear wall of the room.</p>	
<p><b>Assessment:</b> Living room depths to single aspect dwellings are less than the maximum 9m with a floor to ceiling height of at least 2.7m, thus will have adequate daylight access.</p>		
<p><b>Clause 58.07-3 Windows objective</b></p> <ul style="list-style-type: none"> <li>• To allow adequate daylight into new habitable room windows.</li> </ul>	<p><b>Standard D28</b> Habitable rooms should have a window in an external wall of the building.</p> <p>A window may provide daylight to a bedroom from a smaller secondary area within the bedroom where the window is clear to the sky.</p> <p>The secondary area should be:</p> <ul style="list-style-type: none"> <li>• A minimum width of 1.2 metres.</li> <li>• A maximum depth of 1.5 times the width, measured from the external surface of the window.</li> </ul>	<p>Complies with standard &amp; meets objective</p>
<p><b>Assessment:</b> All bedrooms have adequate access to daylight, exceeding the minimum standards for light penetration into habitable areas. The secondary areas as proposed in the below diagrams will achieve the minimum width and maximum depth dimensions set by the standard.</p> 		





**Clause 58.07-4 Natural ventilation objectives**

To encourage natural ventilation of dwellings.

To allow occupants to effectively manage natural ventilation of dwellings.

**Standard D29**

The design and layout of dwellings should maximise openable windows, doors or other ventilation devices in external walls of the building, where appropriate.

At least 40% of dwellings should provide effective cross ventilation that has:

- A maximum breeze path through the dwelling of 18 metres.
- A minimum breeze path through the dwelling of 5 metres.
- Ventilation openings with approximately the same area.

The breeze path is measured between the ventilation openings on different orientations of the dwelling.

Complies with standard & meets objective

**Assessment:** The floor plans demonstrate compliant breeze paths and natural ventilation being achieved for at least 40% of dwellings, equating to 17 apartments.

**14. CONCLUSION**

14.1. On balance, the proposal is considered to substantially comply with the relevant planning policy and therefore should be supported.

14.2. As outlined above, it has been determined that prior to deciding on this application all factors pursuant to section 60(1) of the Planning and Environment Act 1987 have been considered. Further to this, the proposal does not give rise to any significant social and economic effects.

14.3. The proposed development is considered appropriate for the site, subject to conditions on any permit issued, as evidenced by:

- The compatibility of the design and siting with the large site coupled with its regard to its sensitive interfaces and immediate residential abutments
- Achieving a high level of architectural credibility and compatibility with the streetscape
- The scale, form and intensity being reflective of the emerging character
- The mitigation of off-site amenity impacts
- A suitable level of compliance with all relevant policies and directives, including **Clause 58** of the Kingston Planning Scheme

- Assisting with meeting Kingston's strategic housing needs by contributing to the density and diversity of housing stock in the Moorabbin Activity Centre

### **RECOMMENDATION**

That the Planning Committee determine to support the proposal and issue a **Notice of Decision to Grant a Permit** be issued to **Develop the land for a five storey apartment building with basement car parking comprising of 44 dwellings** at 19-23 Central Avenue, Moorabbin, subject to the following conditions:

1. Before the development starts amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be substantially in accordance with the advertised plans prepared by 'Pitard Group', comprising drawing no. TP01 to TP25, Revision 3 (dated 20 January 2023), submitted to Council on 2 February 2023 but modified to show:
  - a) the allocation of car parking spaces within the basement
  - b) a cross-section of the over-bonnet storage with full dimensions
  - c) full dimensions of external storage for ground level apartments
  - d) external clothes drying facilities nominated;
  - e) a front fence/service cabinetry elevation plan which includes height, materiality, finishes and transparency detailed
  - f) the provision of a longitudinal section of the basement ramp showing gradients, levels, distances, with headroom clearances complying with AS2890.1:2004
  - g) a full colour material/finish schedule for all external walls, roofing, driveways, pedestrian walkways, decking and fencing with materials and external walls designed in accordance with standard D25 of Clause 58.06-4 (External walls and materials)
  - h) further details of specific services and plant(s) that will be located on the roof
  - i) access to the rooftop services and plant(s) shown
  - j) screening of the rooftop services including height and materiality nominated on the roof plan
  - k) building services to be incorporated into the frontage, finished in a concealed way, and positioned to maximise streetscape activation
  - l) a substation, if required, be located underground or not abutting the street frontage
  - m) noise attenuation provided between the lift/riser and apartment 401
  - n) permanent outdoor seating incorporated within the landscaping scheme of the eastern communal outdoor open space area
  - o) the southern side of the balconies associated with apartments 204 and 207 to be enclosed
  - p) at least 50% of apartments achieving compliance with standard D18 (Accessibility) of Clause 58.05-1, including bathroom design (i.e. circulation areas, doorway width and positioning, toilet position and shower design/screens)
  - q) all apartments provided with the minimum internal and external storage areas in accordance with standard D21 (Storage) of Clause 58.05-4
  - r) internal and boundary fencing and screening nominated including details of height and materiality

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- s) external screening to windows and balconies nominated as being permanently fixed and no more than 25% transparent
- t) the visual splays on either side of the accessway nominated as being designed in accordance with Clause 52.06-9 (Design standards 1 – accessways)
- u) a visual splay designed in accordance with Clause 52.06-9 maintained on the south-west corner of the site to allow for visibility for the driveway at 1/17 Central Avenue
- v) a cross-section of the ramp demonstrating a minimum 2.3 metre headroom clearance
- w) all recommendations identified with the Wind Assessment required under condition 14 of this permit, shown on plans
- x) uniformity with the commitments and any changes identified within the Waste Management Plan, required under condition 16 of this permit, shown on the plans
- y) all relevant commitments identified within the Sustainable Management Plan/Green Travel Plan, required under condition 18 of this permit, shown on plans
- z) the provision of an updated landscape plan to the satisfaction of the Responsible Authority and generally in accordance with the submitted landscape plan prepared by 'Species Landscape Architecture' (issue B, dated 08/11/2022) but modified to include:
  - i. a planting schedule of all proposed trees and shrubs, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant
  - ii. a survey, including, botanical names of all existing trees to be retained or removed on the site including Tree Protection Zones for trees to be retained calculated in accordance with AS4970-2009
  - iii. a survey including botanical names, of all existing trees on neighbouring properties where the Tree Protection Zones of such trees calculated in accordance with AS4970-2009 fall partially within the subject site
  - iv. the delineation of all garden beds, balcony and rooftop planters, paving, grassed area, retaining walls, fences and other landscape works;
  - v. provision and specification of root barriers to be installed continuously along the west boundary from the north/west boundary corner and terminating in line with the front of the carport at 1/17 Central Avenue, Moorabbin
  - vi. removal of decking within the deep soil areas of the front setback of G02 and G05 to allow for adequate placement and future root growth of canopy trees
  - vii. reduction of decking and increasing garden bed area within the secluded private open space of each ground floor apartment
  - viii. provision of 2.90m wide garden beds along the Central Avenue setback within the secluded private open space of G02, G03, G04 and G05
  - ix. balcony planters capable of growing under storey vegetation to be installed on all apartment balconies located on the Third and Fourth Floors with the minimum internal dimensions of 400mm width and 500mm depth
  - x. tree planters capable of growing small canopy trees with the minimum internal dimensions of 1m width and 800mm depth to be installed to the Third and Fourth Floor as per Conditions 1 z) xiii and xiv.
  - xi. illustrate and notate sectional details of understorey planters and tree planters including materials, growing media type and depth, dimensions, waterproofing and drainage points

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- xii. a range of plant types from ground covers to large shrubs and trees, provided at adequate planting densities (e.g. plants 1 metre width at maturity planted 1 metre apart); with the species chosen to comprise of a minimum 60% native species by plant type and total quantities
- xiii. twenty (20) canopy trees capable of growing to minimum mature dimensions of 4 metres in height and 3 metres in width to be planted in tree planters on the Third Floor balconies
- xiv. ten (10) canopy trees capable of growing to minimum mature dimensions of 4 metres in height and 3 metres in width to be planted in tree planters on the Fourth Floor balconies
- xv. the trees to be planted along the north boundary from the rear of the adjoining dwelling to the back corner of no. 21 Healy Street be provided at a minimum of 3 metres in height at time of planting
- xvi. all other trees to be provided at a minimum of 2 metres in height at time of planting and medium to large shrubs to be provided at a minimum pot size of 200mm
- xvii. notes regarding site preparation, including the removal of all weeds, proposed mulch, soil types and thickness, subsoil preparation and any specific maintenance requirements
- xviii. tree protection measures including for street trees accurately drawn to scale
  - aa) the location of tree protection measures illustrated to scale and labeled on the Ground Floor Plan as per the endorsed Tree Management Plan; and
  - bb) any changes as required by Condition 4 of this permit.
  - cc) the north-facing kitchen and living room windows of apartment 101 and 201 screened to 1.7 metres above the finished floor level.
  - dd) A 1.7 metre high privacy screen provided on the northern side of the balcony associated with apartment 101.
  - ee) A 1.5 metre high angled privacy screen provided on the northern side of the balcony associated with apartment 201.

**Endorsed Plans**

- 2. The development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.
- 3. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority, including that any dead, diseased or damaged plants are to be replaced.

**Tree Management and Protection Plan**

- 4. Concurrent with the endorsement of plans, a Tree Management Plan prepared by a suitably qualified arborist in accordance with AS4970-2009, providing tree protection measures for the neighbouring *Syzygium smithii* (Lilly Pilly) located in the front setback of 17 Central Avenue, Moorabbin, and street tree and must be submitted to and be endorsed by the Responsible Authority and incorporating:
  - a) A Tree Management Plan (written report) must provide details of:
    - i) Tree protection measures that will be utilized to ensure all trees to be retained remain viable post-construction.

- ii) Stages of development at which inspections are required to ensure tree protection measures are adhered to must be specified.
- b) A Tree Protection Plan (scale drawing) must provide details of:
  - i) The Tree Protection Zone and Structural Root Zone for all trees to be retained on the site and for all trees on neighboring properties where any part of the Tree Protection Zone falls within the subject site.
  - ii) The location of tree protection measures to be utilized.
  - iii) A notation to refer to the Tree Management Plan.
- 5. All protection measures identified in the Tree Management Plan must be implemented, and development works undertaken on the land must be undertaken in accordance with the Tree Management Plan, to the satisfaction of the Responsible Authority.
- 6. Prior to the endorsement of plans under condition 1, documentation must be provided demonstrating the procurement of trees to be supplied at 3 metres in height at the time of planting as required by condition 1 z) xvi.
- 7. Prior to the commencement of works, the name and contact details of the project arborist responsible for implementing the Tree Management Plan must be submitted to the Responsible Authority.

**Nature strip landscaping and Street trees**

- 8. Prior to the occupation of the development, a landscape plan prepared with input from Council's Open Space and Urban Design and Place Teams, be lodged for approval for the nature strip along Central Avenue to Council's satisfaction.
- 9. Tree Protection Fencing is to be established around the street trees prior to demolition and maintained until all works on site are complete.
  - a) The fencing is to be a 1.8 metre high temporary fence constructed using steel or timber posts fixed in the ground or to a concrete pad, with the fence's side panels to be constructed of cyclone mesh wire or similar strong metal mesh or netting.
  - b) The fencing is to encompass the entire nature strip with each end 3 metres from the base of the tree.

**Drainage and Water Sensitive Urban Design**

- 10. Unless with prior written consent of the Responsible Authority, before the development commences the following Integrated Stormwater Management (drainage) documents must be prepared, by a suitably qualified person, to the satisfaction of the Responsible Authority:
  - a) Prior to submitting detailed plans, a comprehensive stormwater management (drainage) strategy for the site must be prepared that addresses the requirements specified within Council's "Civil Design requirements for Developers – Part A: Integrated Stormwater Management".
  - b) The stormwater management (drainage) strategy must include a report with MUSIC modelling results demonstrating water sensitive urban design treatments that achieve Victorian best practice objectives. These may include the use of an infiltration or bio-



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retention system, rainwater tanks connected for reuse, or other treatments to the satisfaction of the Responsible Authority.

- c) The water sensitive urban design treatments as per conditions 9 a) and b) above must be implemented on-site, unless an alternative agreement for stormwater quality in-lieu contribution is reached with the Responsible Authority.
  - d) Stormwater Management (drainage) Plan(s) must be prepared, with supporting computations, showing the stormwater (drainage) works to the nominated point of discharge. The plan(s) must show all details of the proposed stormwater works including all existing and proposed features that may have an impact on the stormwater (drainage) works, including landscaping details
11. Stormwater (drainage) works must be implemented in accordance with the approved stormwater management (drainage) plan and to the satisfaction of the Responsible Authority including the following:
- a) All stormwater (drainage) works must be provided onsite so as to prevent overflows onto adjacent properties.
  - b) The implementation of stormwater (drainage) detention system which restricts stormwater discharge to the maximum allowable flowrate of 19.4L/s.
  - c) All stormwater (drainage) works must be maintained to the satisfaction of the Responsible authority.
12. A groundwater assessment report (GAR) must be prepared by a qualified hydro-geologist to assess any possible impacts the proposed development has on the ground water table, surrounding land and buildings to the satisfaction of Responsible Authority. Should the findings of the submitted GAR demonstrate that the site is likely to experience issues associated with ground water management, a ground water management plan (GMP) must be submitted to and approved by the responsible authority.
13. The basement structure must be designed to respond to the findings of the GAR and GMP required under condition 11 and constructed to the satisfaction of the responsible authority in accordance with the following:
- a) the basement must be a fully-tanked dry basement with no ground water including agricultural (AG) drain collection or disposal into stormwater system and with an allowance made for any hydrostatic pressures in accordance with Council's "Basements and Deep Building Construction Policy 2014" and "Basements and Deep Building Construction Guidelines 2014", or
- in the event it is demonstrated that a fully tanked dry basement cannot be achieved or if a wet basement system is proposed, no groundwater including AG drain from the site shall be discharged into the stormwater system. Council does not accept any groundwater (including AG drain) into the stormwater system. Sub-surface water (groundwater) is the responsibility of the property owner to dispose of on site or reach an agreement with the local sewer authority.
14. In any case where the basement design and construction, as required by Conditions 11 and 12 of this permit, does not accord with the plan(s) approved under this permit, the endorsed

plan(s) must be amended to the satisfaction and with the written consent of the Responsible Authority.

**Wind Effects Statement**

15. Prior to the commencement of the development, a wind effects statement generally in accordance with the statement prepared by MEL Consultants Pty Ltd, dated 1 February 2023 must be submitted to and be to the satisfaction of the Responsible Authority. Modifications must be made to the design of the development to reduce any adverse wind conditions in areas used by pedestrians, to the satisfaction of the Responsible Authority. The recommendations of the report must be implemented at no cost to the Responsible Authority and must not include reliance on street trees.
16. The wind effects statement must be implemented to the satisfaction of the Responsible Authority. The wind effects statement must not be modified unless without the written consent of the Responsible Authority.

**Waste Management Plan**

17. Concurrent with the endorsement of plans, an updated Waste Management Plan (WMP) generally in accordance with the WMP prepared by Urban Waste Environmental Consultants (dated 30/11/2022) to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority and must include the following details:
  - a) Waste streams nominated to include food and organics (garden).
  - b) Spatial provision for the future glass recycling bin.
18. The WMP must be implemented to the satisfaction of the Responsible Authority. The WMP must not be modified unless without the written consent of the Responsible Authority.

**Sustainable Management Plan and Green Travel Plan**

19. Concurrent with the endorsement of plans required by condition 1 of this permit, an amended Sustainable Management Plan (SMP) and Green Travel Plan (GTP) that outlines proposed sustainable design initiatives must be submitted to and approved by the Responsible Authority. The amended sustainable management plan must be generally in accordance with the SMP/GTP prepared by Energy, Water and Environment, dated 24/10/2022 and incorporate the following sustainable design commitments (but not limited to):
  - a) The provision of exhaust fans with humidity sensors.
  - b) Non-visible flat roofs and exposed concrete driveway, specify high SRI paints and materials (SRI>50).
  - c) The provision / location of facilities on site for managing food and garden waste as per the updated waste management plan.
  - d) The provision of electric vehicle infrastructure.
  - e) The provision of an external tap and floor waste to private open space associated with each dwelling.

All works must be undertaken in accordance with the endorsed sustainable management plan to the satisfaction of the Responsible Authority. No alterations to the sustainable management plan may occur without the written consent of the Responsible Authority.

20. Prior to the occupation of any building approved under this permit, written confirmation from the author of the endorsed sustainable management plan or similarly qualified person is to be submitted to and approved by the Responsible Authority detailing that all of the required measures specified in the sustainable management plan have been implemented, to the satisfaction of the Responsible Authority.

**Construction Management**

**City of Kingston  
Planning Committee Meeting**

**Agenda**

**21 June 2023**

21. Prior to the commencement of any buildings and works on the land, a Construction Management Plan (CMP), to the satisfaction of the Responsible Authority, must be submitted to and approved by the Responsible Authority. The CMP must be prepared in accordance with the City of Kingston Construction Management Policy and Construction Management Guidelines. The CMP must specify and deal with, but is not limited to, the following elements:
- a. Public Safety, Amenity and Site Security
  - b. Traffic Management
  - c. Stakeholder Management
  - d. Operating Hours, Noise and Vibration Controls
  - e. Air Quality and Dust Management
  - f. Stormwater and Sediment Control
  - g. Waste and Materials Re-use

When approved, the plan will be endorsed and will then form part of the permit and shall thereafter be complied with during the undertaking of all works.

**Infrastructure and Road Works**

22. Any relocation of pits/power poles or other services affected by this development must be relocated to the satisfaction of the relevant servicing authority and the Responsible Authority, at the cost of the owner/developer.
23. The vehicle crossing must be constructed at a 90 degree alignment with the kerb on Healey Street and all internal driveways must align with the proposed vehicle crossing.
24. Prior to the commencement of development, property boundary, footpath and vehicle crossing levels must be obtained from Council's Roads and Drains Department with all levels raised or lowered to the satisfaction of the Responsible Authority.
25. Property boundary and footpath levels must not be altered without the prior written consent from the Responsible Authority.
26. All redundant vehicle crossings must be removed (including redundant portions of vehicle crossings) to the satisfaction of the Responsible Authority.
27. All reinstatements and vehicle crossings must be constructed to the satisfaction of the Responsible Authority.
28. The replacement of all footpaths, including offsets, must be constructed to the satisfaction of the Responsible Authority.

**General amenity conditions**

29. All works on or facing the boundaries of adjoining properties must be finished and surface cleaned to a standard that is well presented to neighbouring properties in a manner to the satisfaction of the Responsible Authority.
30. All externally-located heating and cooling units, exhaust fans and the like must not be located adjacent to bedroom windows on adjoining properties and must not be located where they will be highly visible from any public area to the satisfaction of the Responsible Authority.
31. All piping, ducting above the ground floor storey of the development (other than rainwater, guttering and downpipes) must be concealed to the satisfaction of the Responsible Authority.

**Completion of Works**

32. Prior to the occupation of development hereby permitted, all buildings and works and the conditions of this permit must be complied with to the satisfaction of the Responsible Authority, unless with the further prior written consent of the Responsible Authority.

**City of Kingston  
Planning Committee Meeting**

**Agenda**

**21 June 2023**

33. Prior to the occupation of development hereby permitted, the landscaping works as shown on the endorsed plans must be completed to the satisfaction of the Responsible Authority.

**Expiry**

34. This permit will expire if one of the following circumstances applies:
- a. The development is not started within two (2) years of the issue date of this permit.
  - b. The development is not completed within four (4) years of the issue date of this permit.

In accordance with Section 69 of the Planning and Environment Act 1987, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition.

**Note:** Please note for information on how City of Kingston approaches the construction of building and other structures with below ground elements for the benefit of the whole community please refer to City of Kingston 'Basement and Deep Building Construction Policy' and 'Basements and Deep Building Construction Guidelines'.

<http://www.kingston.vic.gov.au/Property-and-Development/Engineering-Assessments>

**Note:** Please note that during basement construction Council does not permit the discharge of surface water or ground water into the Council drainage system unless a Temporary Discharge Permit (TDP) has been obtained. Application form and other construction related permits can be obtained from the following link:

<http://www.kingston.vic.gov.au/Property-and-Development/Construction>

**Note:** The development includes fence to be built over the easement. Separate consent from Council and the relevant service authority is required to build over the easement and will need to be obtained prior to the issue of a Building Permit.

**Note:** Environment Protection Authority (EPA) Victoria set out the requirements pertaining to site construction hours and permissible noise levels.

**Note:** Prior to the commencement of the development you are required to obtain the necessary Building Permit.

**Note:** The applicant/owner must provide a copy of this planning permit to any appointed Building Surveyor. It is the responsibility of the applicant/owner and Building Surveyor to ensure that all building development works approved by any building permit is consistent with the planning permit.

**Note:** The applicant/owner must provide a copy of this planning permit and any endorsed plans to any external contractor to ensure that all trees to be retained on site are protected during any works.

**Note:** Before removing / pruning any vegetation from the site, the applicant or any contractor engaged to remove any vegetation, should consult Council's Vegetation Management Officer to verify if a Local Laws Permits is required for the removal of such vegetation.

**Note:** Any landscape plan prepared in accordance with conditions must comply with Council's Landscape Checklist.

**Note:** The allocation of street numbering and addressing of properties is vested in Council. Any reference to addressing or dwelling/unit/apartment and street numbers or street names on any endorsed plan is indicative only. The onus is on the Permit Applicant/Land Owner to contact Council's Property Data Department to determine the official dwelling/unit/apartment street numbers, street name details and the like for the approved development.

**City of Kingston  
Planning Committee Meeting**


**Agenda**

**21 June 2023**

If the Permit Applicant/Land Owner adopts the street numbering or addressing from the endorsed plans, or where advertising and/or sales transact (off the plan) prior to Council's official allocation of the street numbering and addressing, it will be viewed to be non-compliant with the guideline and standard applied (Australian/New Zealand Standard for Rural & Urban Addressing / AS/NZS 4819:2011).

**Note:** The owner(s), occupiers and visitors of the development allowed by this permit may not be eligible for Council resident or visitor parking permits.

**Appendices**

Appendix 1 - KP-2022/475 - 19-23 Central Avenue Moorabbin - CONSIDERED PLANS  
(Ref 23/143489) 

Author/s: Beau McKenzie, Principal Planner

Reviewed and Approved By: Jaclyn Murdoch, Manager City Development



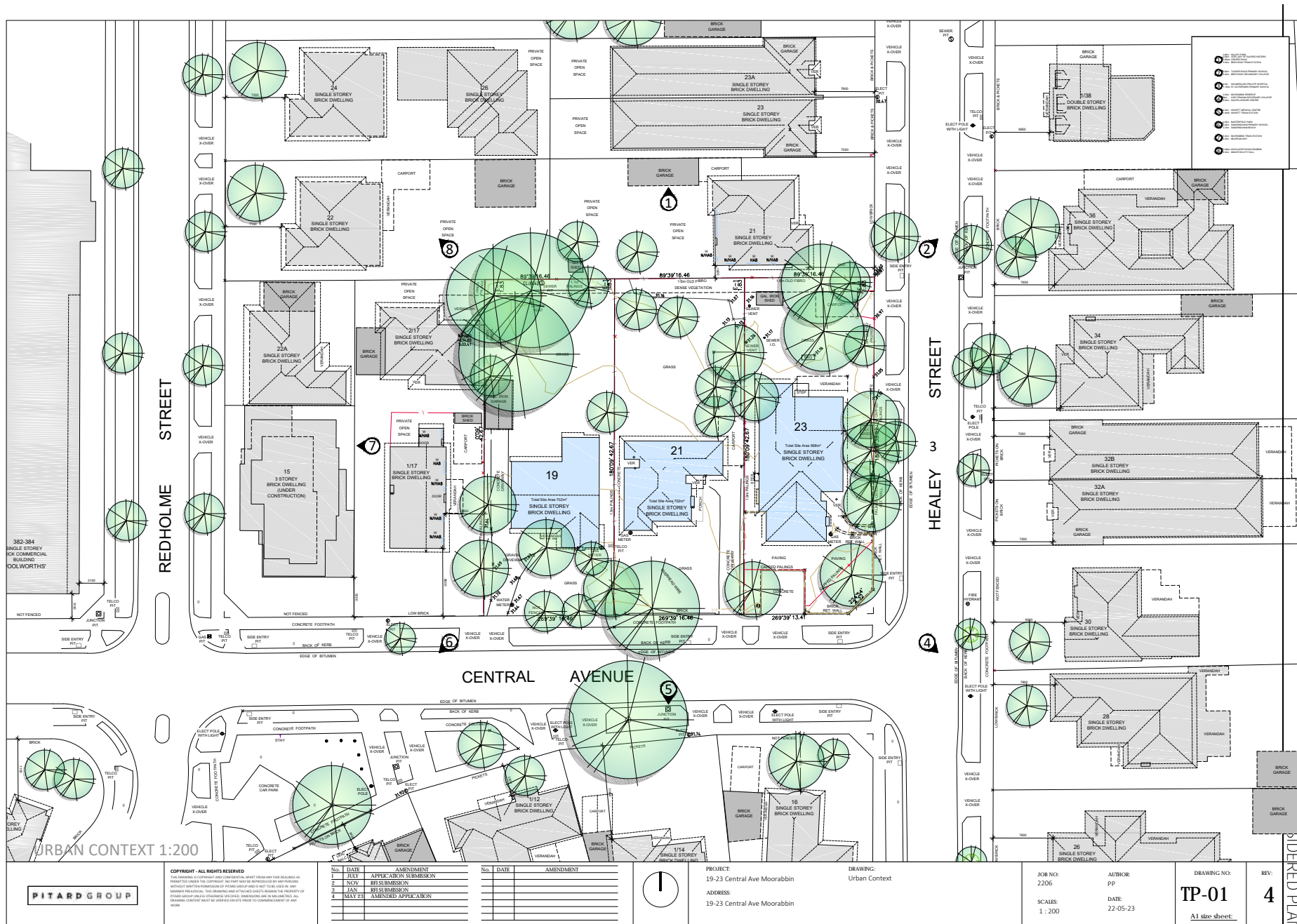
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### **KP-2022/475 - 19-23 CENTRAL AVENUE MOORABBIN**

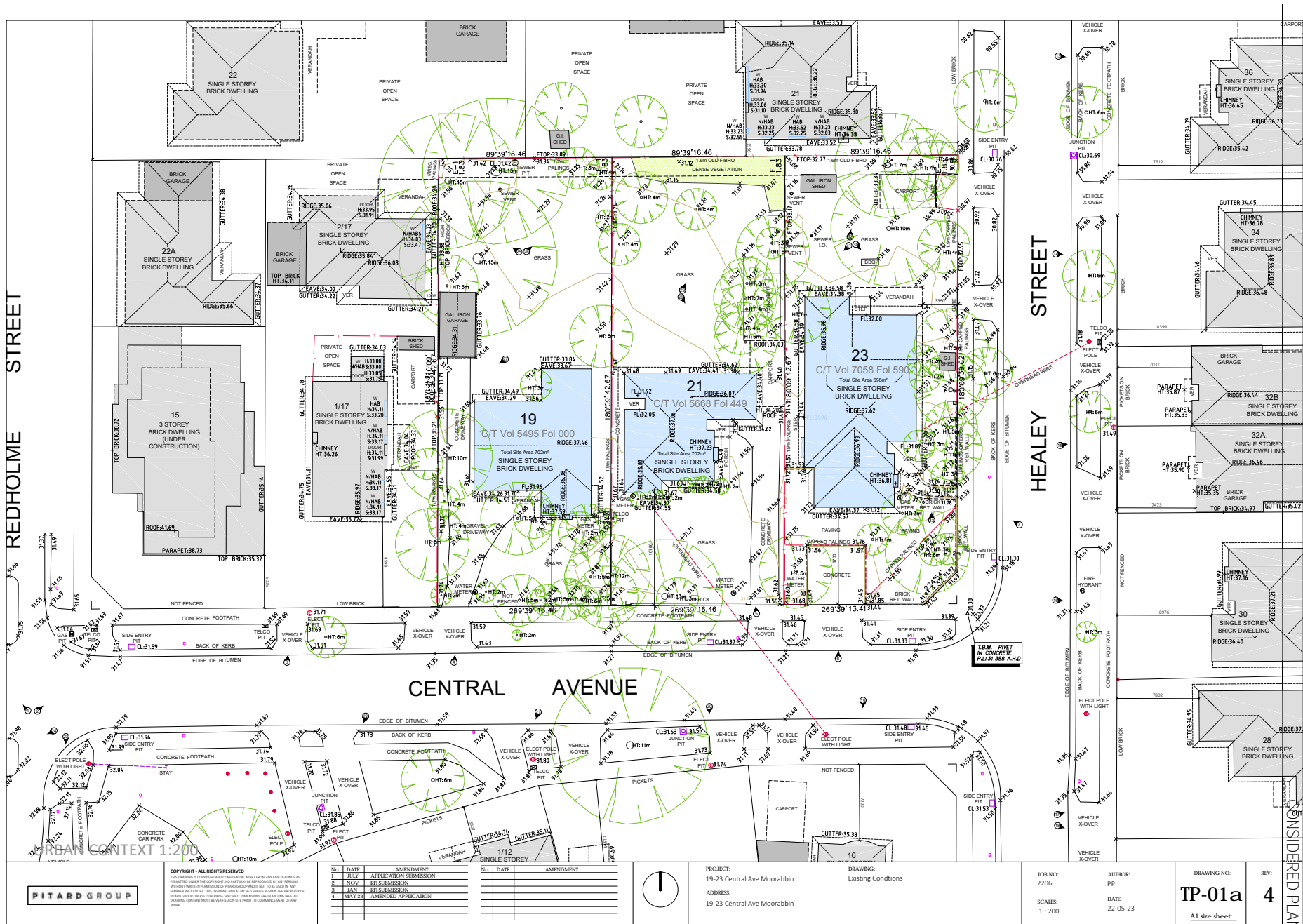
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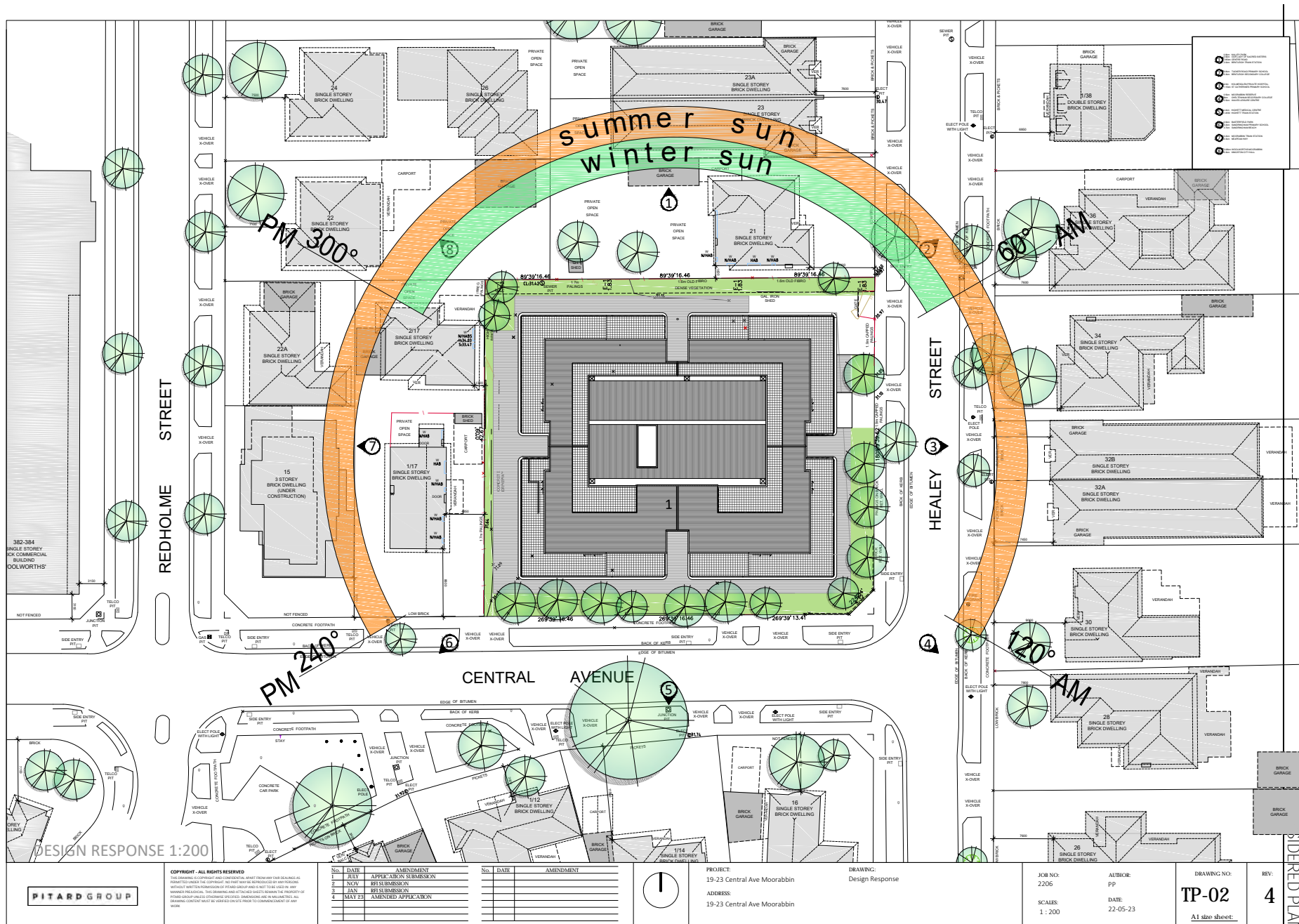


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TP01A	EXISTING CONDITIONS
TP02	DESIGN RESPONSE
TP02A	DESIGN RESPONSE PERSPECTIVE
TP02B	DESIGN RESPONSE PERSPECTIVE
TP02C	DESIGN RESPONSE PERSPECTIVE
TP03	DESIGN RESPONSE STREETSCAPE
TP04	BASEMENT PLAN
TP05	GROUND FLOOR PLAN
TP06	1ST FLOOR PLAN
TP07	2ND FLOOR PLAN
TP08	3RD FLOOR PLAN
TP09	4TH FLOOR PLAN
TP10	ROOF PLAN
TP11	ELEVATIONS
TP12	ELEVATIONS MATERIAL SCHEDULE
TP13	SHADOW STUDY 9AM - 21 SEPT
TP14	SHADOW STUDY 10AM - 21 SEPT
TP15	SHADOW STUDY 11AM - 21 SEPT
TP16	SHADOW STUDY 12PM - 21 SEPT
TP17	SHADOW STUDY 3PM - 21 SEPT
TP18	SHADOW STUDY 9AM - 21 JUNE
TP19	SHADOW STUDY 10AM - 21 JUNE
TP20	SHADOW STUDY 11AM - 21 JUNE
TP21	SHADOW STUDY 12PM - 21 JUNE
TP22	SHADOW STUDY 1PM - 21 JUNE
TP23	SHADOW STUDY 2PM - 21 JUNE
TP24	SHADOW STUDY 3PM - 21 JUNE
TP25	SIGHTLINE DIAGRAMS - SCREENING DETAIL













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1	JULY	APPLICATION SUBMISSION
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3	JAN 23	NO SUBMISSION
4	MAY 23	AMENDED APPLICATION

NO.	DATE	AMENDMENT



PROJECT:  
19 - 23 Central Ave Moorabbin  
ADDRESS:  
19 - 23 Central Ave Moorabbin

DRAWING:  
Design Response Perspective

JOB NO:  
2204  
SCALES

AUTHOR:  
PP  
DATE:  
22-05-23

DRAWING NO:  
TP-02a  
A1 size sheet

REV:  
4



EAST ELEVATION



WEST ELEVATION

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3	JAN 23	REV SUBMISSION			
4	MAY 23	AMENDED APPLICATION			



PROJECT:  
19 - 23 Central Ave Moorabbin  
ADDRESS:  
19 - 23 Central Ave Moorabbin

DRAWING:  
Design Response Perspective

JOB NO:  
2204  
SCALES

AUTHOR:  
PP  
DATE:  
22-05-23

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TP-02b  
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1 NORTH ELEVATION



2 SOUTH ELEVATION

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4	MAY 23	AMENDED APPLICATION			



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19 - 23 Central Ave Moorabbin  
ADDRESS:  
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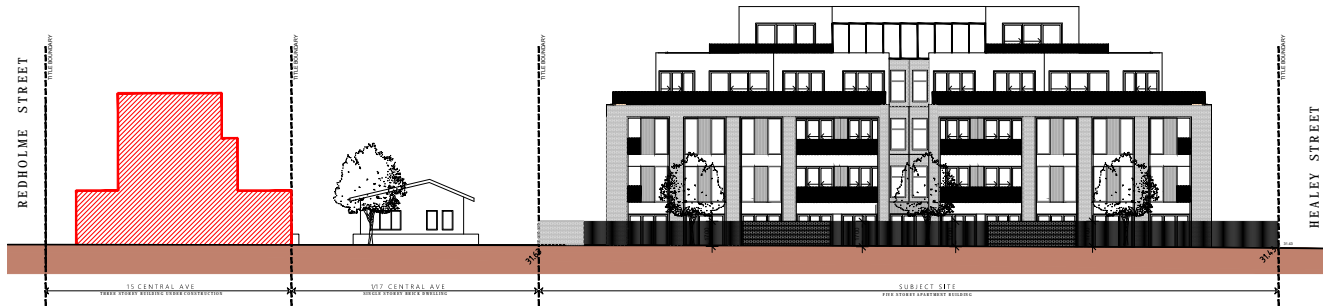
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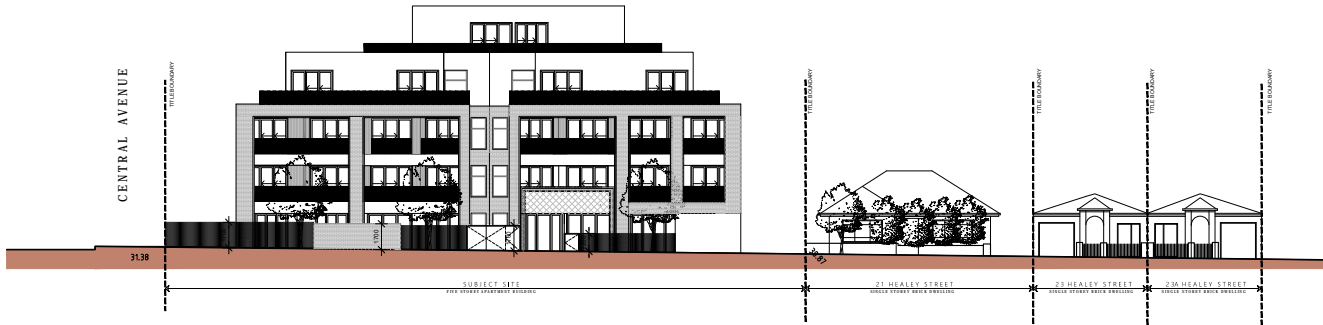
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STREETSCAPE ELEVATION 1:150

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3	JAN	RPI SUBMISSION
4	MAY 23	AMENDED APPLICATION

No.	DATE	AMENDMENT



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19-23 Central Ave Moorabbin  
ADDRESS:  
19-23 Central Ave Moorabbin

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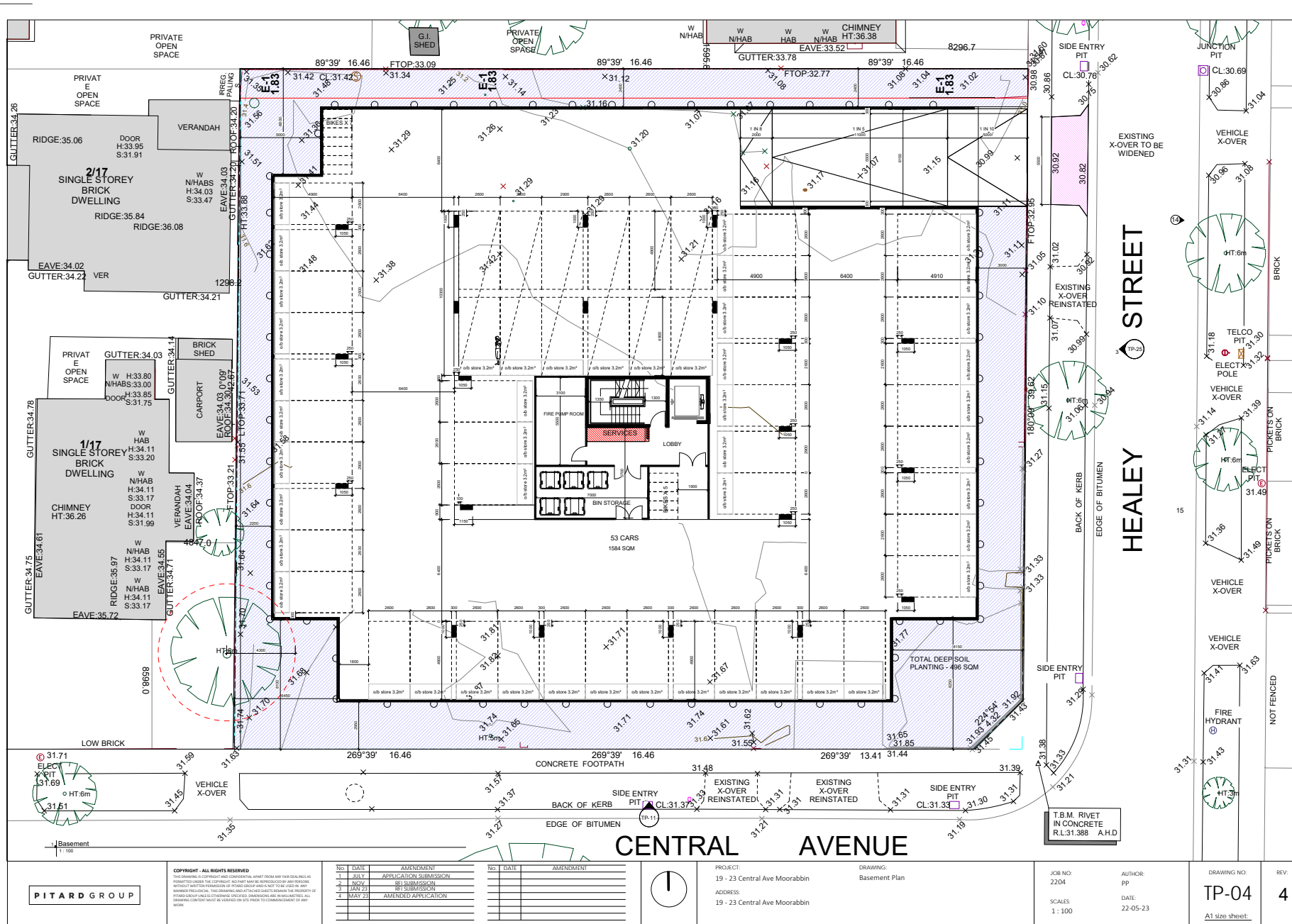
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PP  
DATE:  
22-05-23

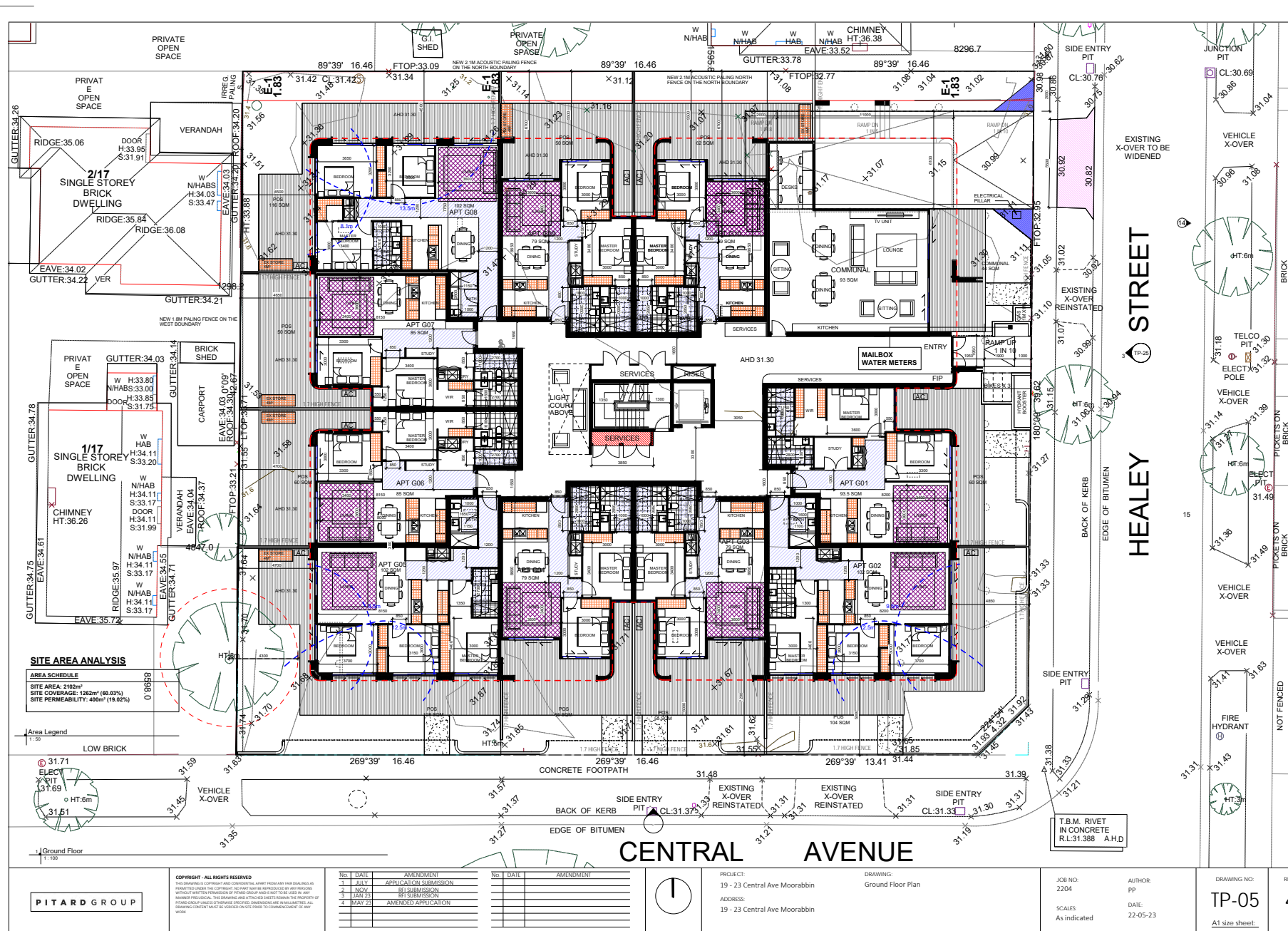
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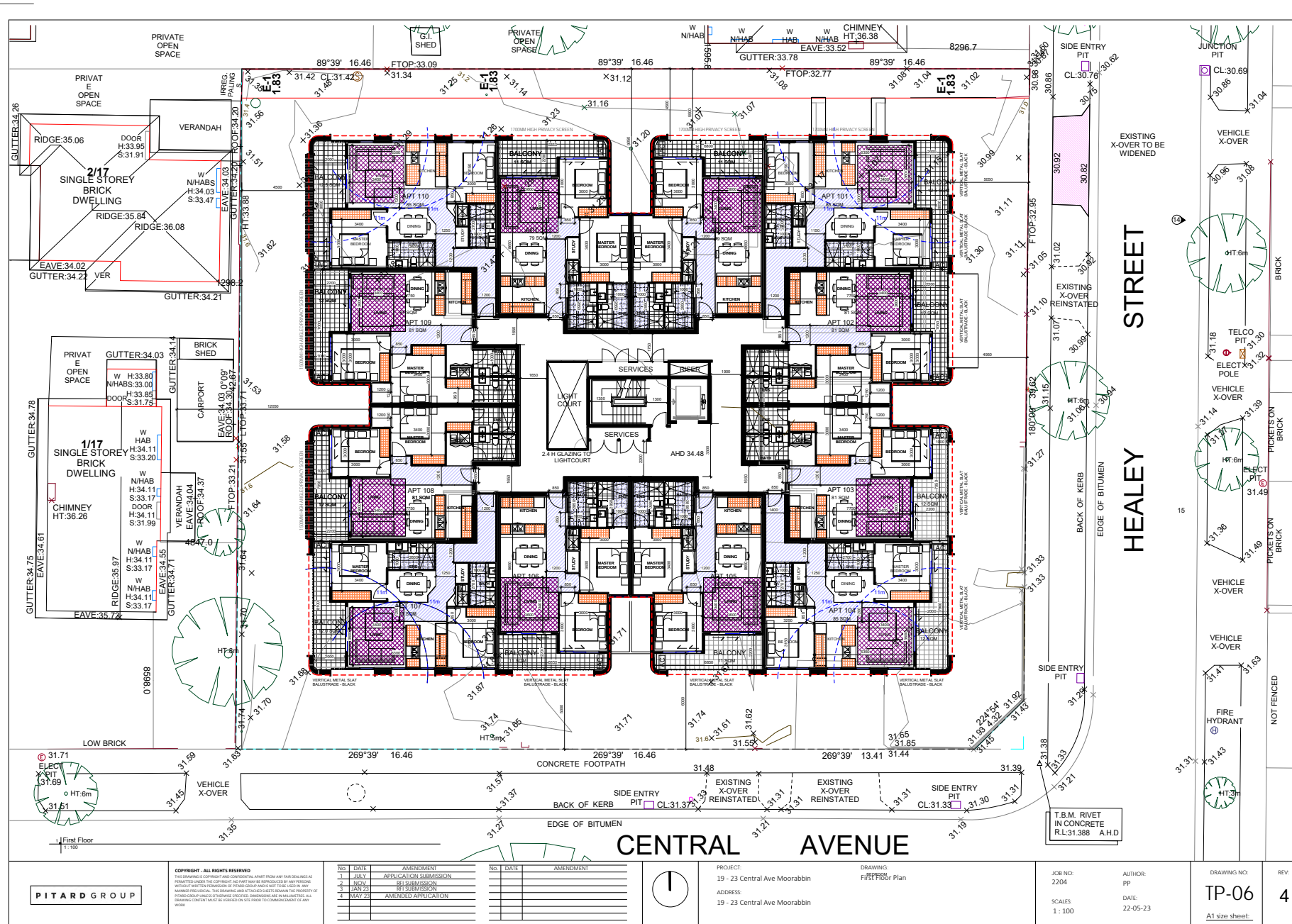
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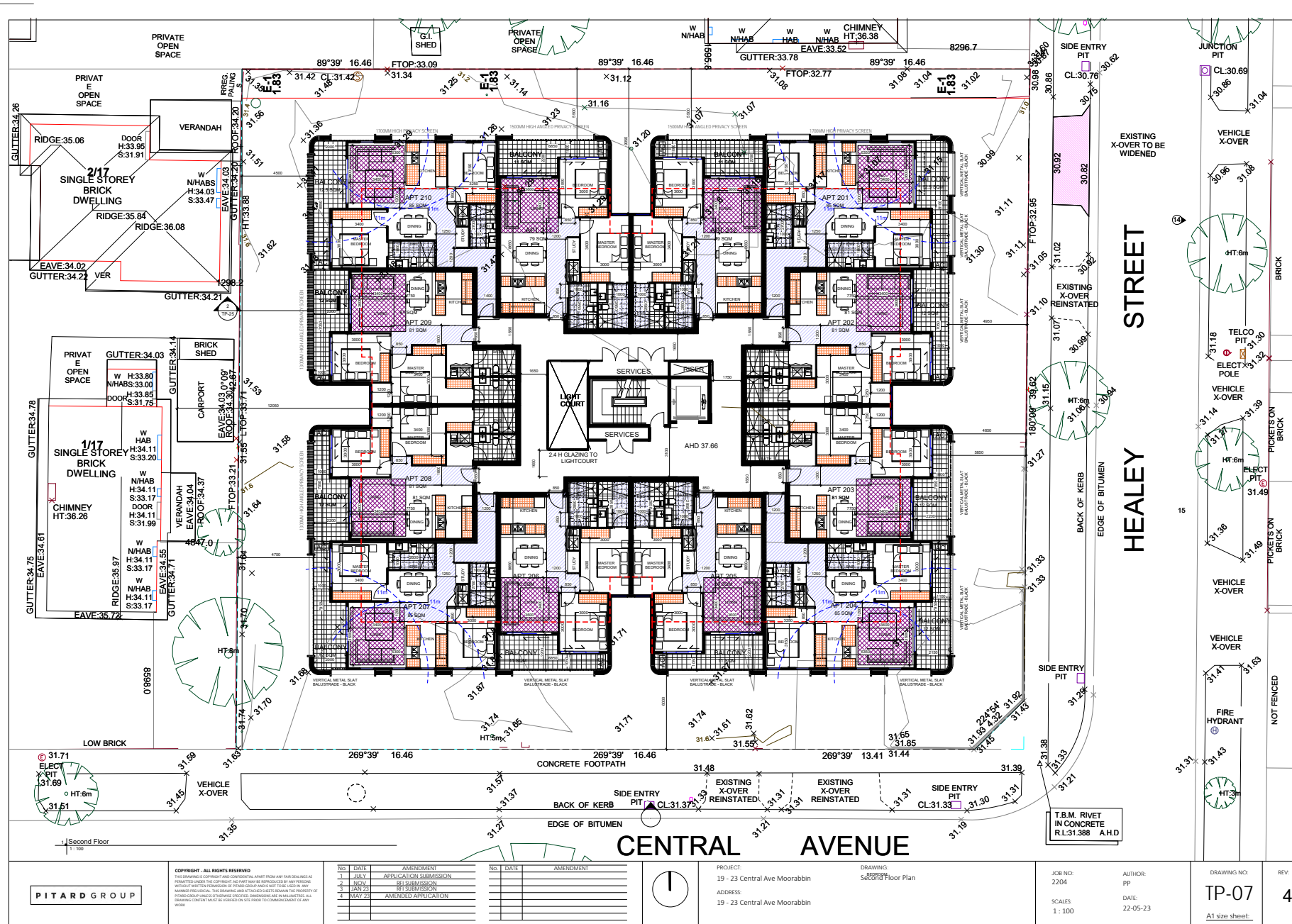










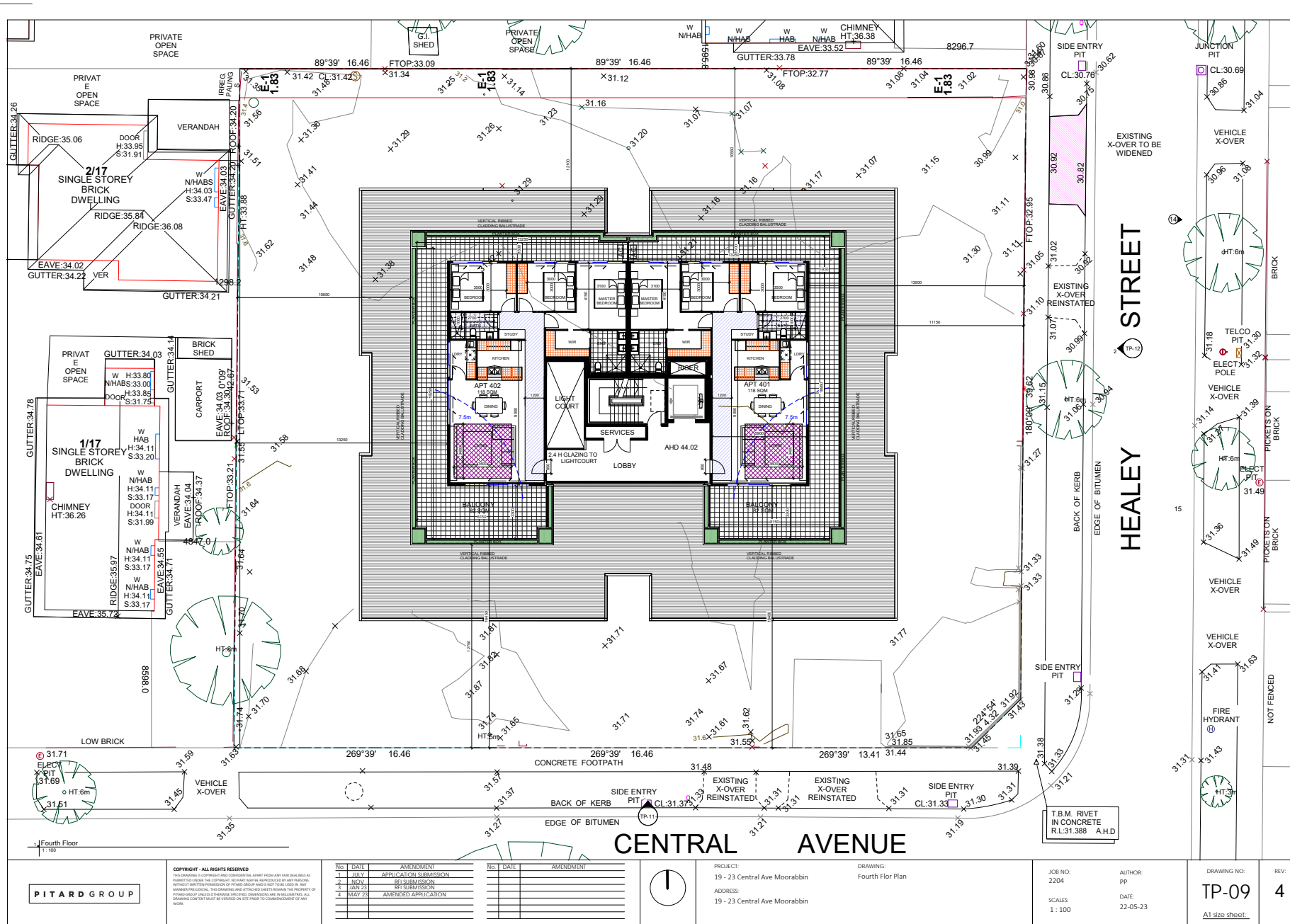




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Third Floor Plan

DRAWING NO:	REV
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**MAT-01**  
NATURAL CONCRETE  
SMOOTH RENDER FINISH -  
FRONT FENCE



**MAT-02**  
RIBBED CLADDING BOARD -  
MATT BLACK



**MAT-03**  
FACE BRICK IN  
SELECTED COLOUR



**MAT-04**  
C/B VERTICAL CLADDING  
MID GREY



**MAT-05**  
BLACK METAL CLADDING



**MAT-06**  
COPPER LOOK CLADDING  
TO ENTRY



**MAT-07**  
BLACK METAL BALUSTRADE

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3	JAN 23	RE SUBMISSION
4	MAY 23	AMENDED APPLICATION

NO.	DATE	AMENDMENT



**PROJECT:**  
19 - 23 Central Ave Moorabbin  
**ADDRESS:**  
19 - 23 Central Ave Moorabbin

**DRAWING:**  
ELEVATIONS  
MATERIAL SCHEDULE

**JOB NO:**  
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**SCALES:**  
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**AUTHOR:**  
PP  
**DATE:**  
22-05-23

**DRAWING NO:**  
**TP-11**  
A1 size sheet

**REV:**  
**4**



**MAT-01**  
NATURAL CONCRETE  
SMOOTH RENDER FINISH -  
FRONT FENCE



**MAT-02**  
RIBBED CLADDING BOARD -  
MATT BLACK



**MAT-03**  
FACE BRICK IN  
SELECTED COLOUR



**MAT-04**  
CIB VERTICAL CLADDING  
MID GREY



**MAT-05**  
BLACK METAL CLADDING



**MAT-06**  
COPPER LOOK CLADDING TO ENTRY



**MAT-07**  
BLACK METAL BALUSTRADE

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4	MAY 23	AMENDED APPLICATION			



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ADDRESS:  
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ELEVATIONS

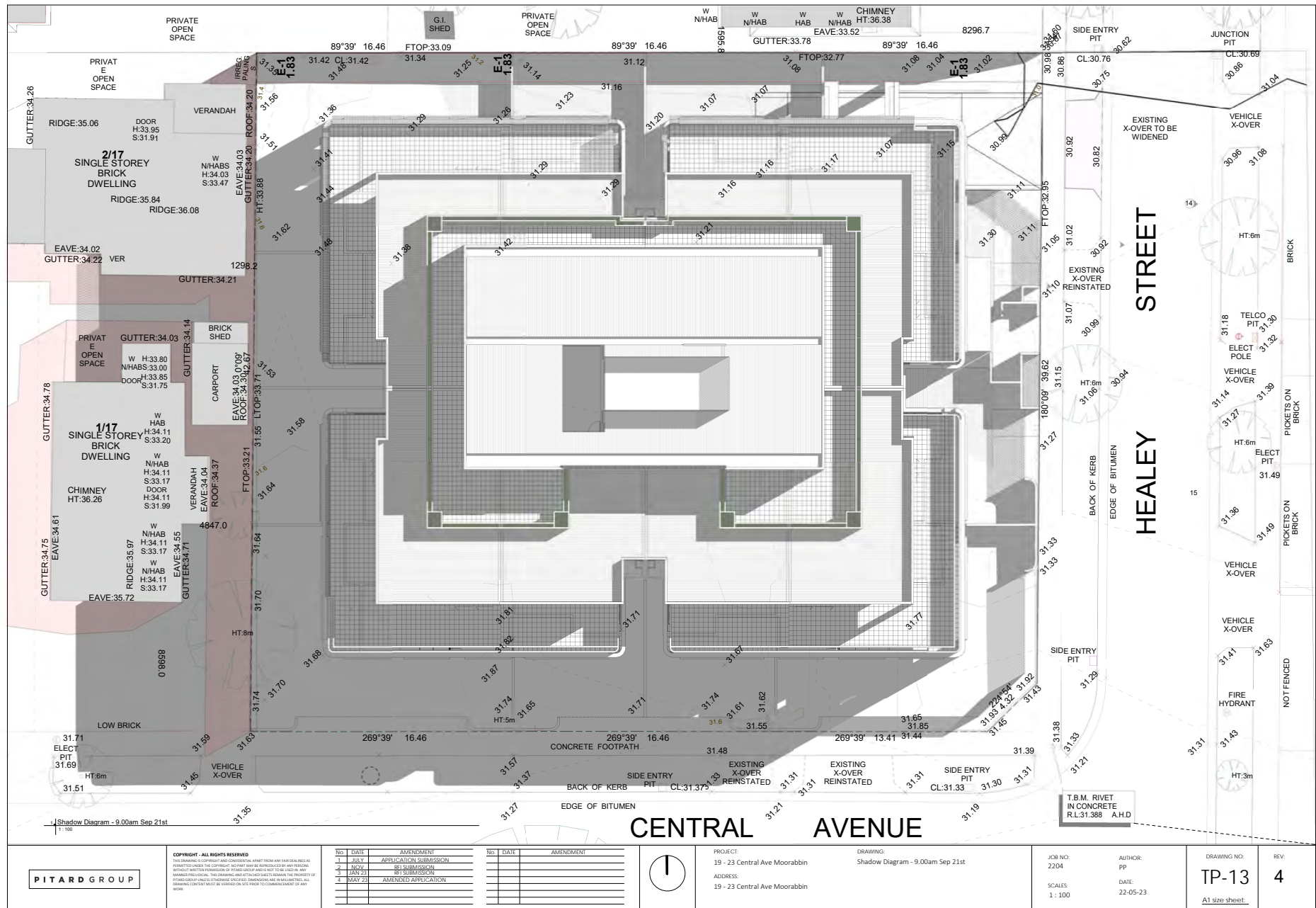
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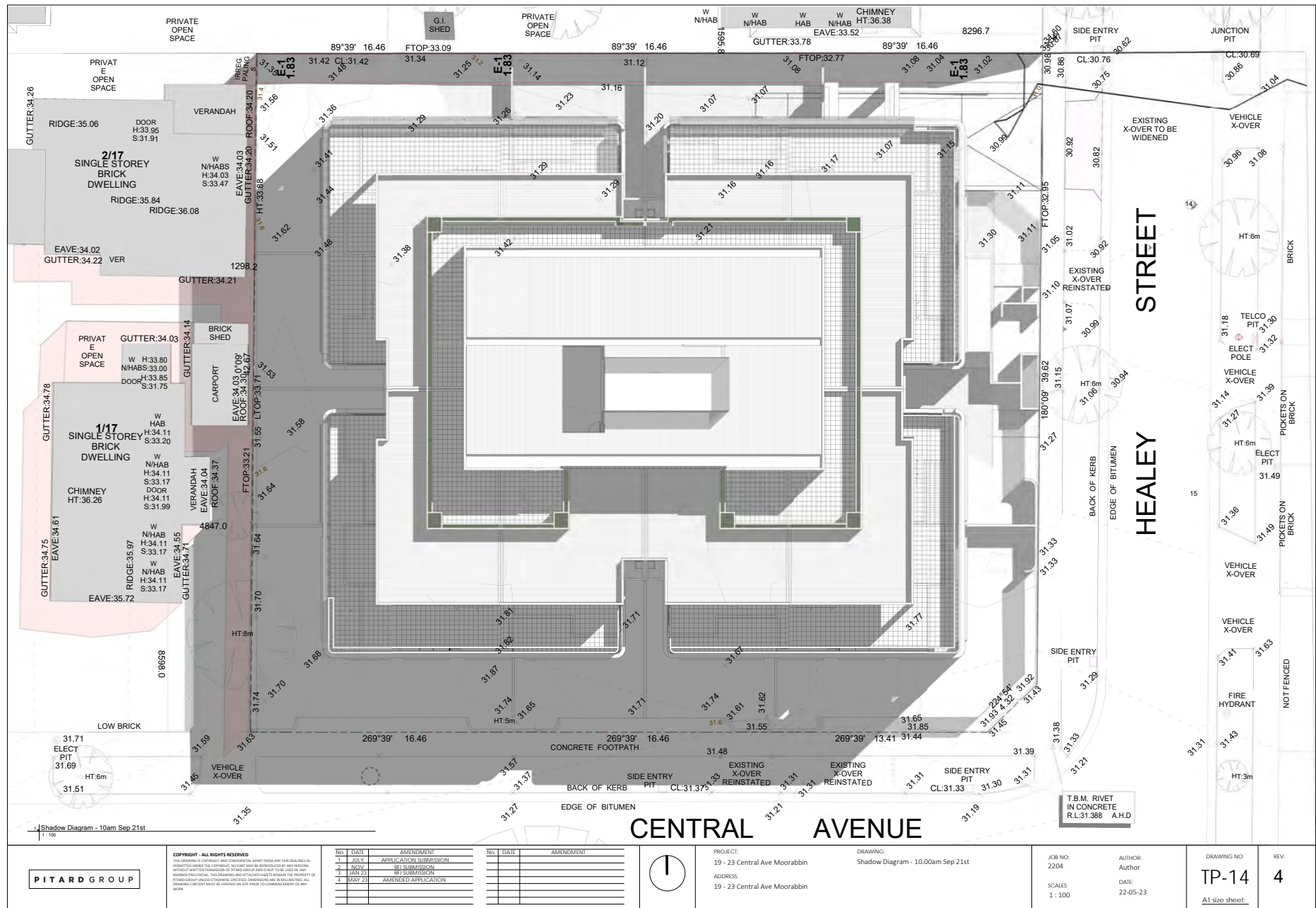
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NO.	DATE	AMENDMENT
1	JULY	APPLICATION SUBMISSION
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3	JAN 21	RE SUBMISSION
4	MAY 23	AMENDED APPLICATION

NO.	DATE	AMENDMENT
1	JULY	APPLICATION SUBMISSION
2	NOV	RE SUBMISSION
3	JAN 21	RE SUBMISSION
4	MAY 23	AMENDED APPLICATION



PROJECT:  
19 - 23 Central Ave Moorabbin  
ADDRESS:  
19 - 23 Central Ave Moorabbin

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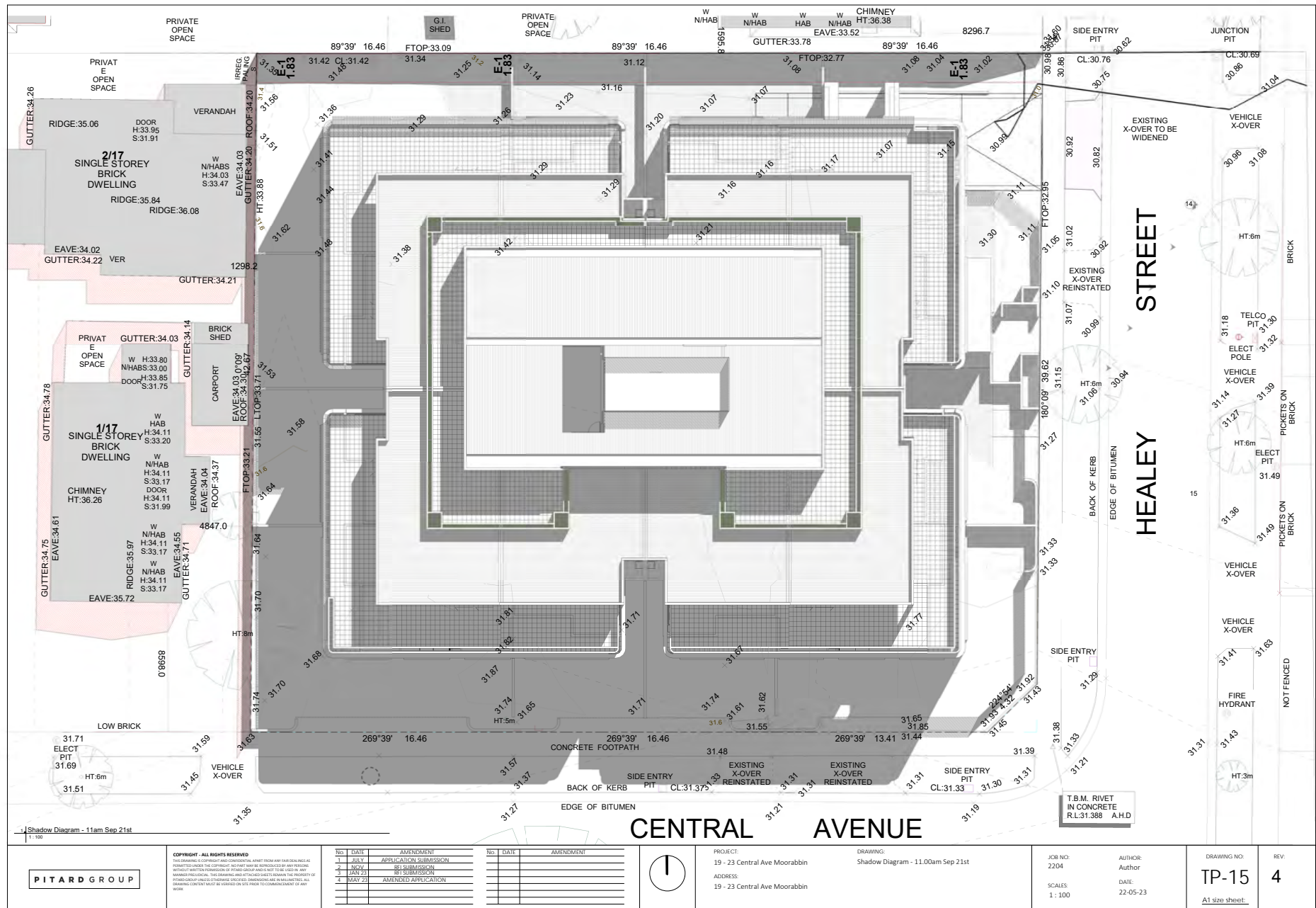
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AUTHOR:  
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DATE:  
22-05-23

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REV:  
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NO	DATE	AMENDMENT
1	JULY	APPLICATION SUBMISSION
2	NOV	RE SUBMISSION
3	JAN 21	RE SUBMISSION
4	MAY 21	AMENDED APPLICATION

NO	DATE	AMENDMENT
1	JULY	APPLICATION SUBMISSION
2	NOV	RE SUBMISSION
3	JAN 21	RE SUBMISSION
4	MAY 21	AMENDED APPLICATION



PROJECT:  
19 - 23 Central Ave Moorabbin  
ADDRESS:  
19 - 23 Central Ave Moorabbin

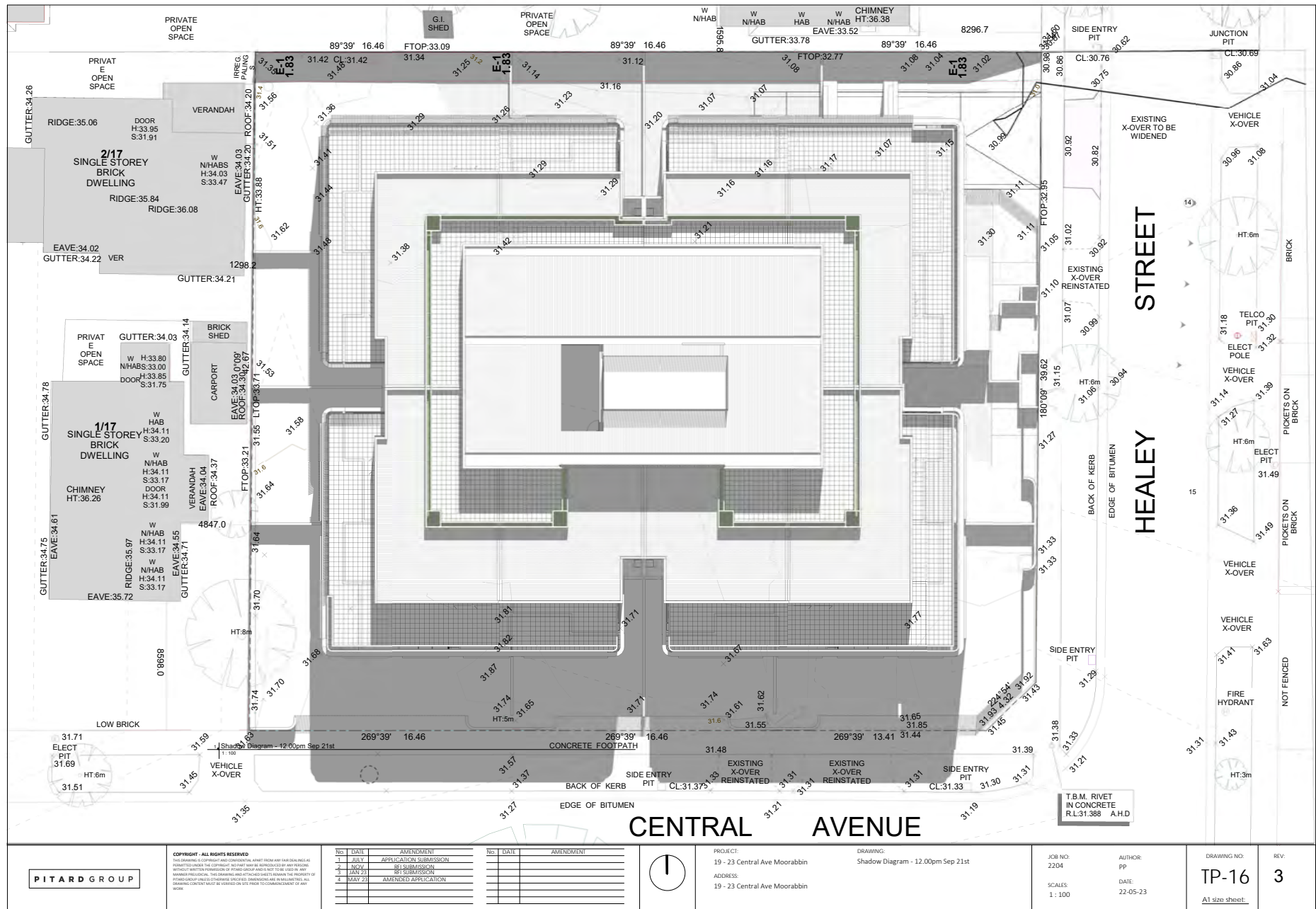
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Author  
DATE:  
22-05-23

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REV:  
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3	JAN 21	RE SUBMISSION
4	MAY 23	AMENDED APPLICATION

NO.	DATE	AMENDMENT



PROJECT:  
19 - 23 Central Ave Moorabbin  
ADDRESS:  
19 - 23 Central Ave Moorabbin

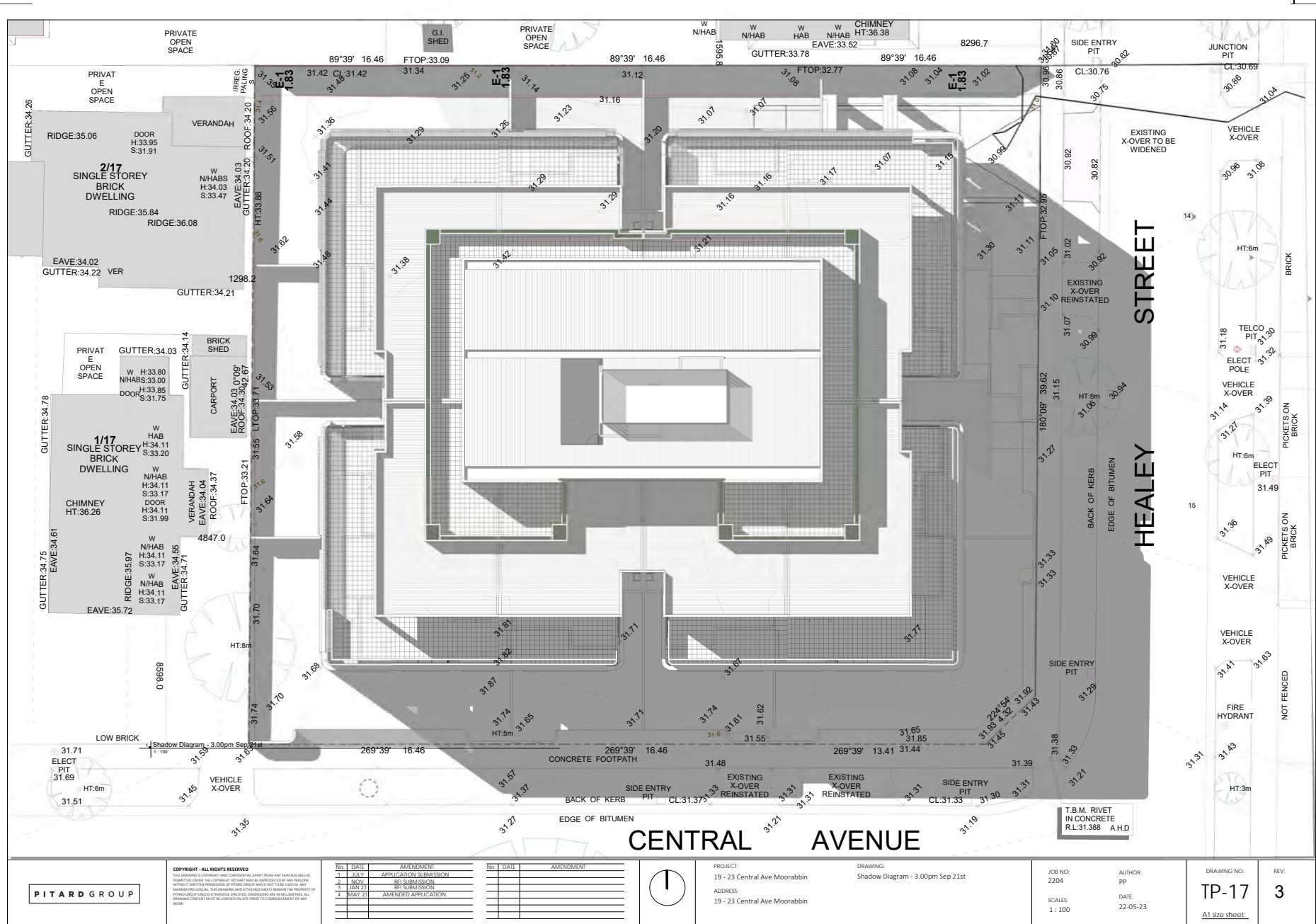
DRAWING:  
Shadow Diagram - 12.00pm Sep 21st

JOB NO:  
2204  
SCALES:  
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AUTHOR:  
PP  
DATE:  
22-05-23

DRAWING NO:  
TP-16  
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REV:  
3



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NO.	DATE	AMENDMENT	NO.	DATE	AMENDMENT
1	JULY	APPLICATION SUBMISSION			
2	NOV	RE SUBMISSION			
3	JAN 21	RE SUBMISSION			
4	MAY 23	AMENDED APPLICATION			



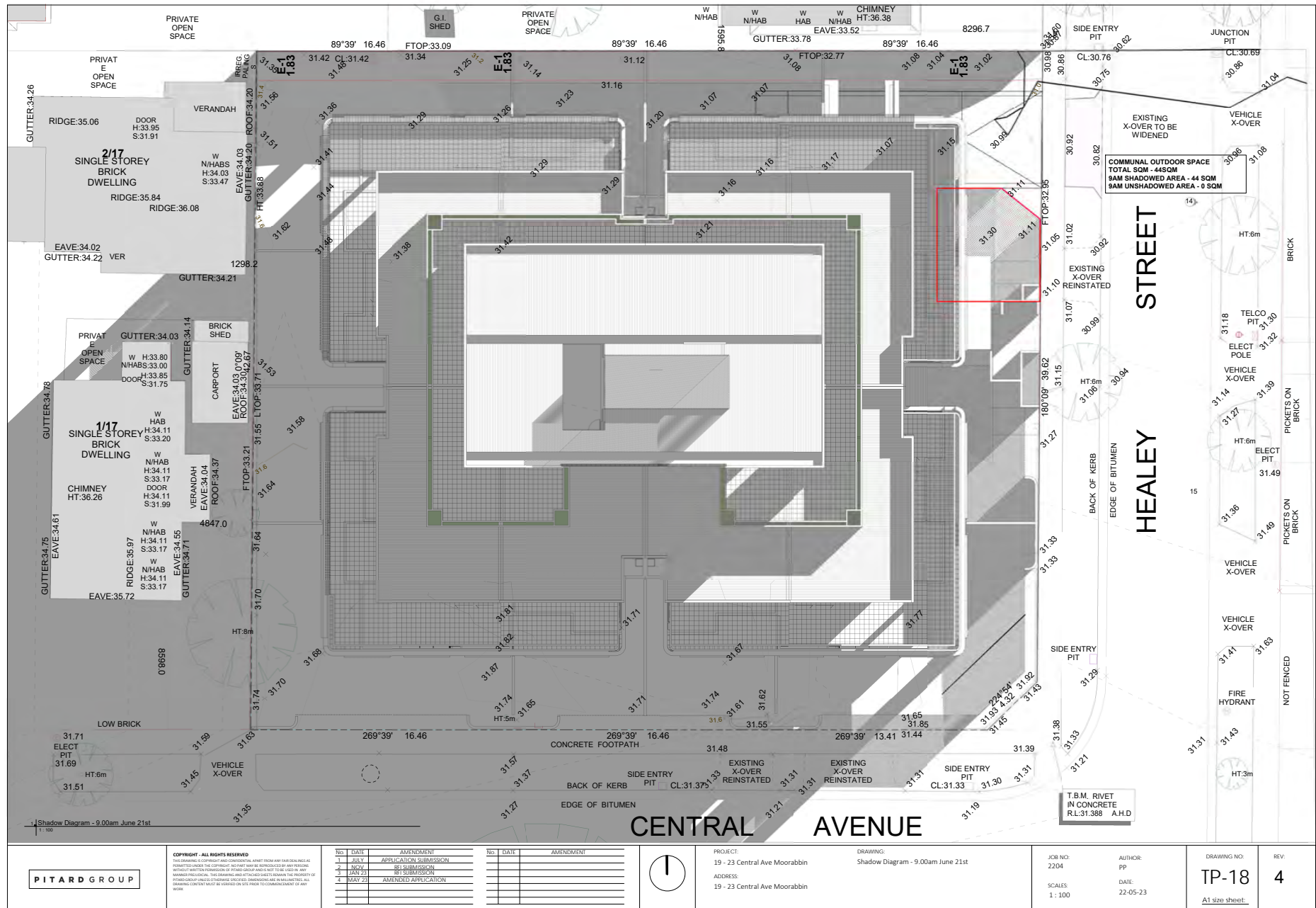
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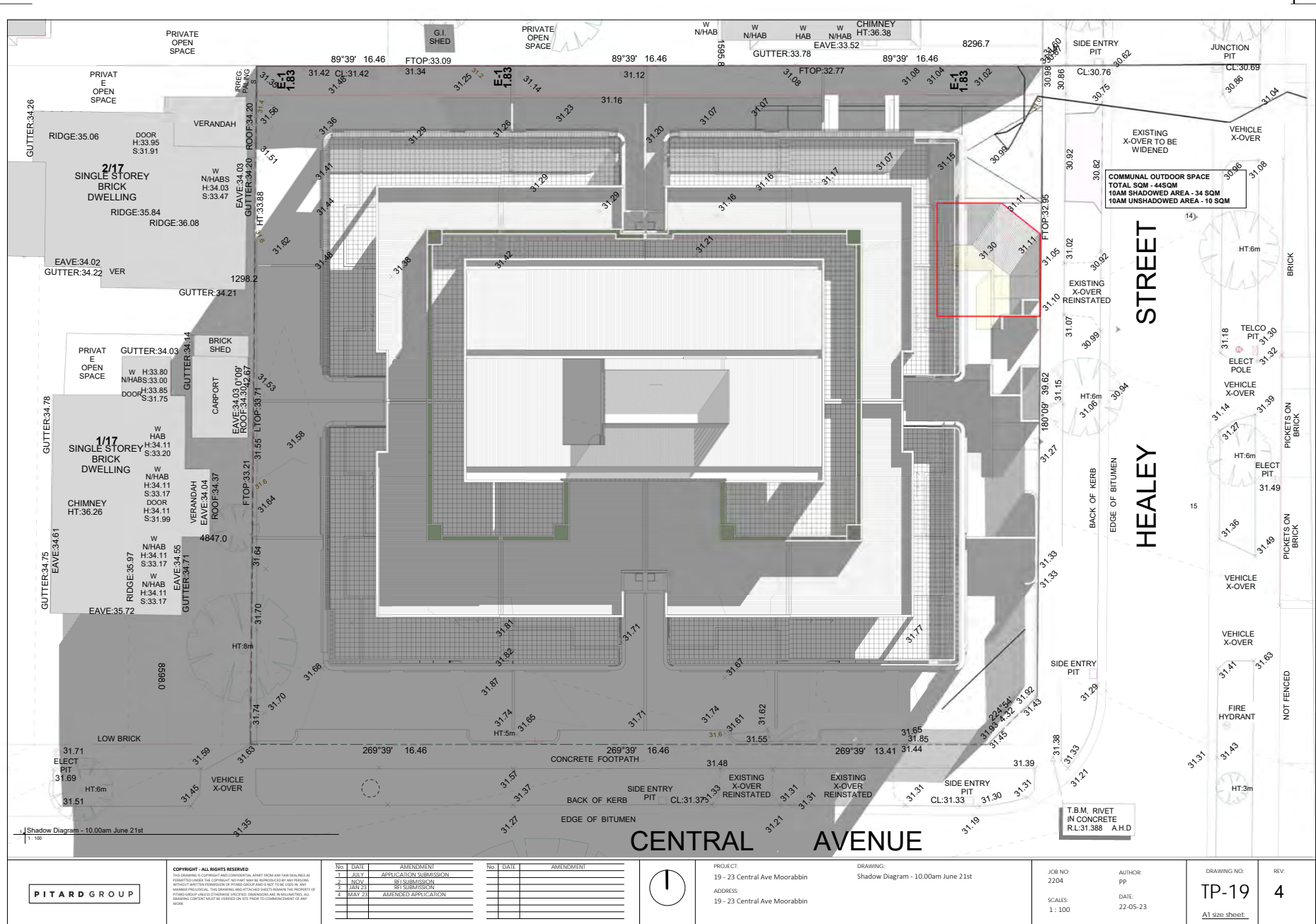
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JOB NO:  
2204  
AUTHOR:  
PP  
DATE:  
22-05-23

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REV:  
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NO.	DATE	AMENDMENT
1	JULY	APPLICATION SUBMISSION
2	NOV	RE SUBMISSION
3	JAN 21	RE SUBMISSION
4	MAY 23	AMENDED APPLICATION

NO.	DATE	AMENDMENT



PROJECT:  
19 - 23 Central Ave Moorabbin  
ADDRESS:  
19 - 23 Central Ave Moorabbin

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Shadow Diagram - 10.00am June 21st

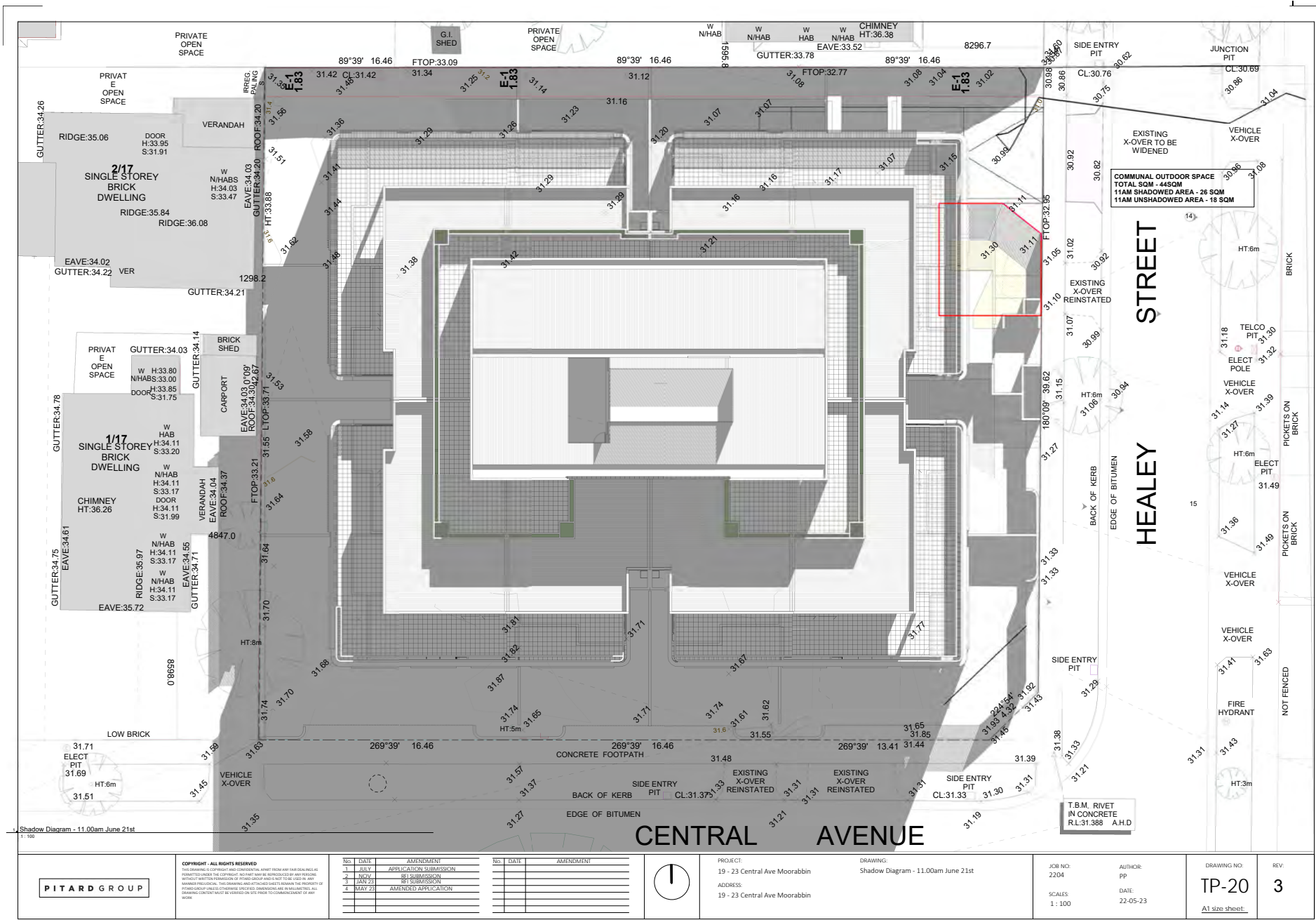
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AUTHOR:  
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DATE:  
22-05-23

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Shadow Diagram - 11.00am June 21st  
1:100

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NO.	DATE	AMENDMENT	NO.	DATE	AMENDMENT
1	JULY	APPLICATION SUBMISSION			
2	NOV	RE SUBMISSION			
3	JAN 21	RE SUBMISSION			
4	MAY 23	AMENDED APPLICATION			

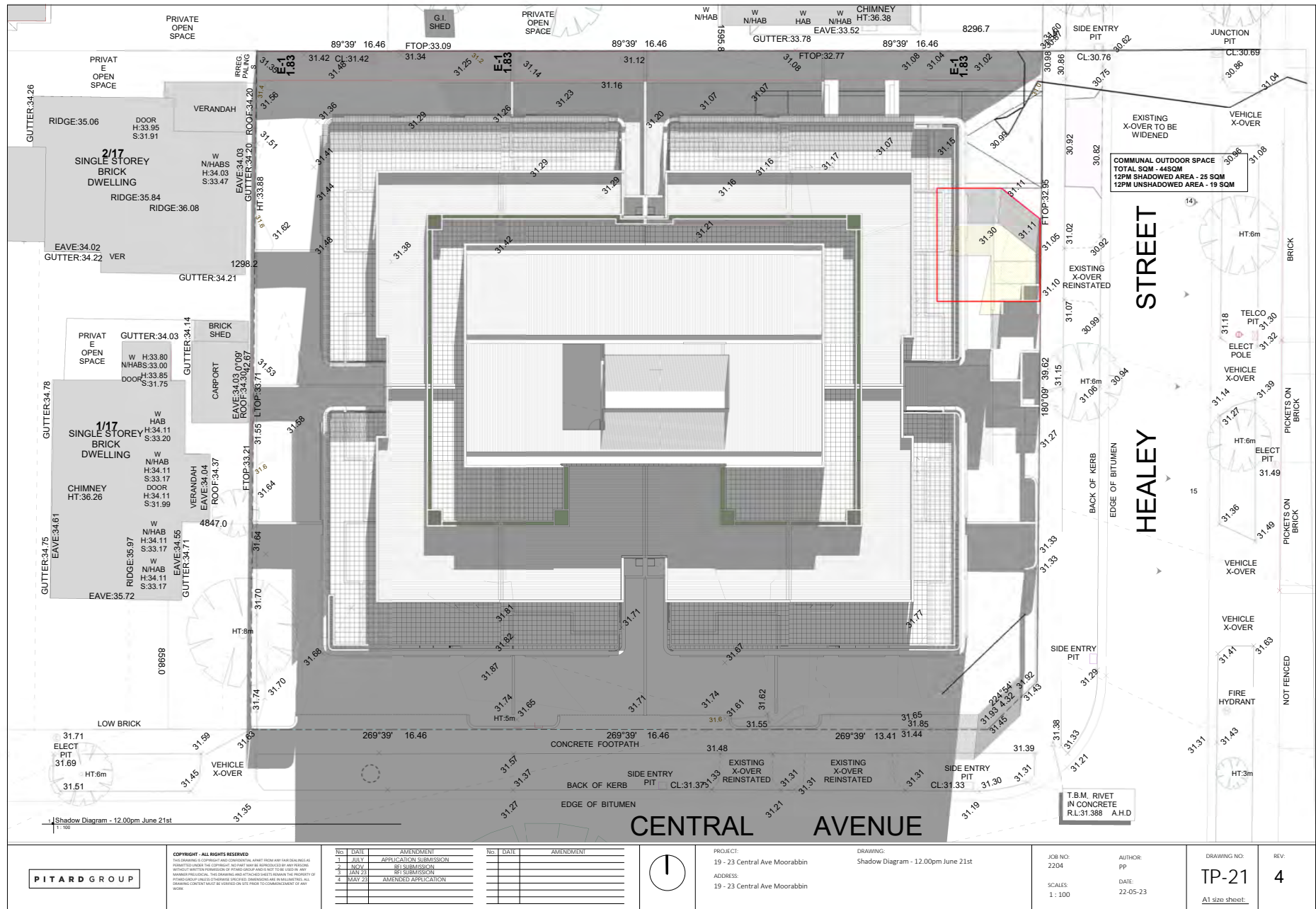


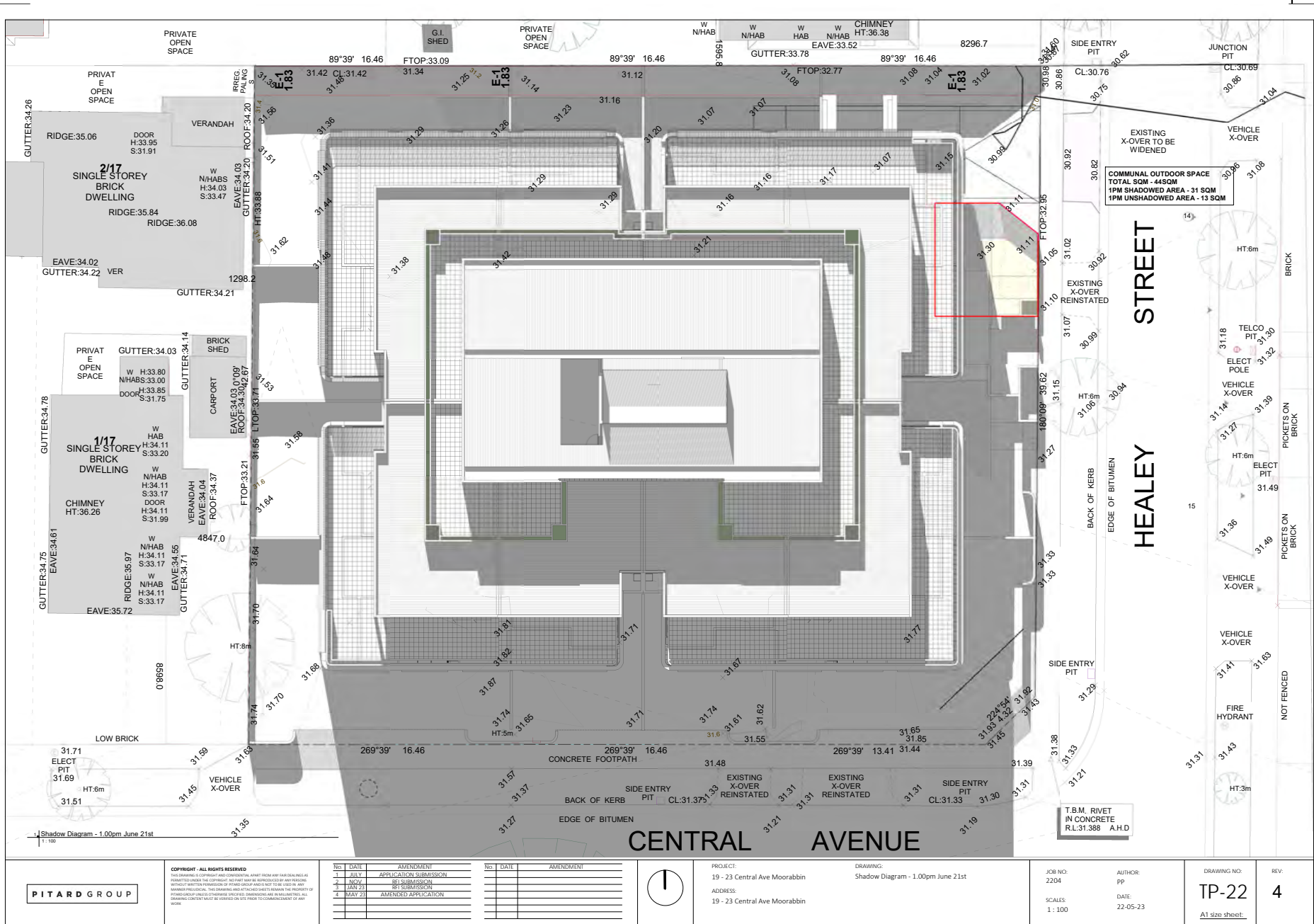
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ADDRESS:  
19 - 23 Central Ave Moorabbin

DRAWING:  
Shadow Diagram - 11.00am June 21st

JOB NO:  
2204  
AUTHOR:  
PP  
DATE:  
22-05-23

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TP-20  
A1 size sheet  
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NO.	DATE	AMENDMENT
1	JULY	APPLICATION SUBMISSION
2	NOV	RE SUBMISSION
3	JAN 21	RE SUBMISSION
4	MAY 23	AMENDED APPLICATION

NO.	DATE	AMENDMENT
1	JULY	APPLICATION SUBMISSION
2	NOV	RE SUBMISSION
3	JAN 21	RE SUBMISSION
4	MAY 23	AMENDED APPLICATION



PROJECT:  
19 - 23 Central Ave Moorabbin  
ADDRESS:  
19 - 23 Central Ave Moorabbin

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Shadow Diagram - 1.00pm June 21st

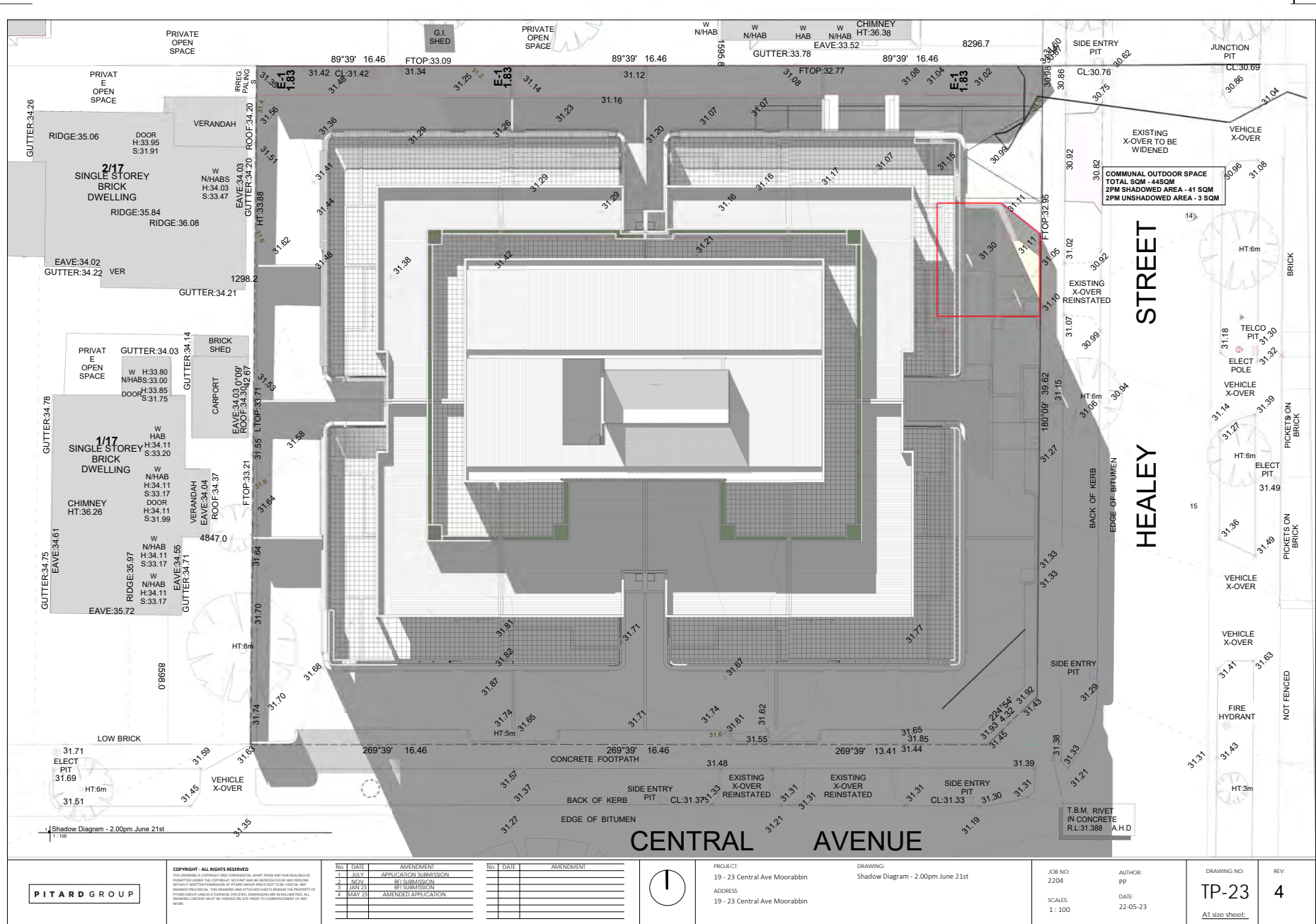
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AUTHOR:  
PP  
DATE:  
22-05-23

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NO.	DATE	AMENDMENT
1	JULY	APPLICATION SUBMISSION
2	NOV	RE SUBMISSION
3	JAN 21	RE SUBMISSION
4	MAY 23	AMENDED APPLICATION

NO.	DATE	AMENDMENT
1	JULY	APPLICATION SUBMISSION
2	NOV	RE SUBMISSION
3	JAN 21	RE SUBMISSION
4	MAY 23	AMENDED APPLICATION



PROJECT:  
19 - 23 Central Ave Moorabbin  
ADDRESS:  
19 - 23 Central Ave Moorabbin

DRAWING:  
Shadow Diagram - 2.00pm June 21st

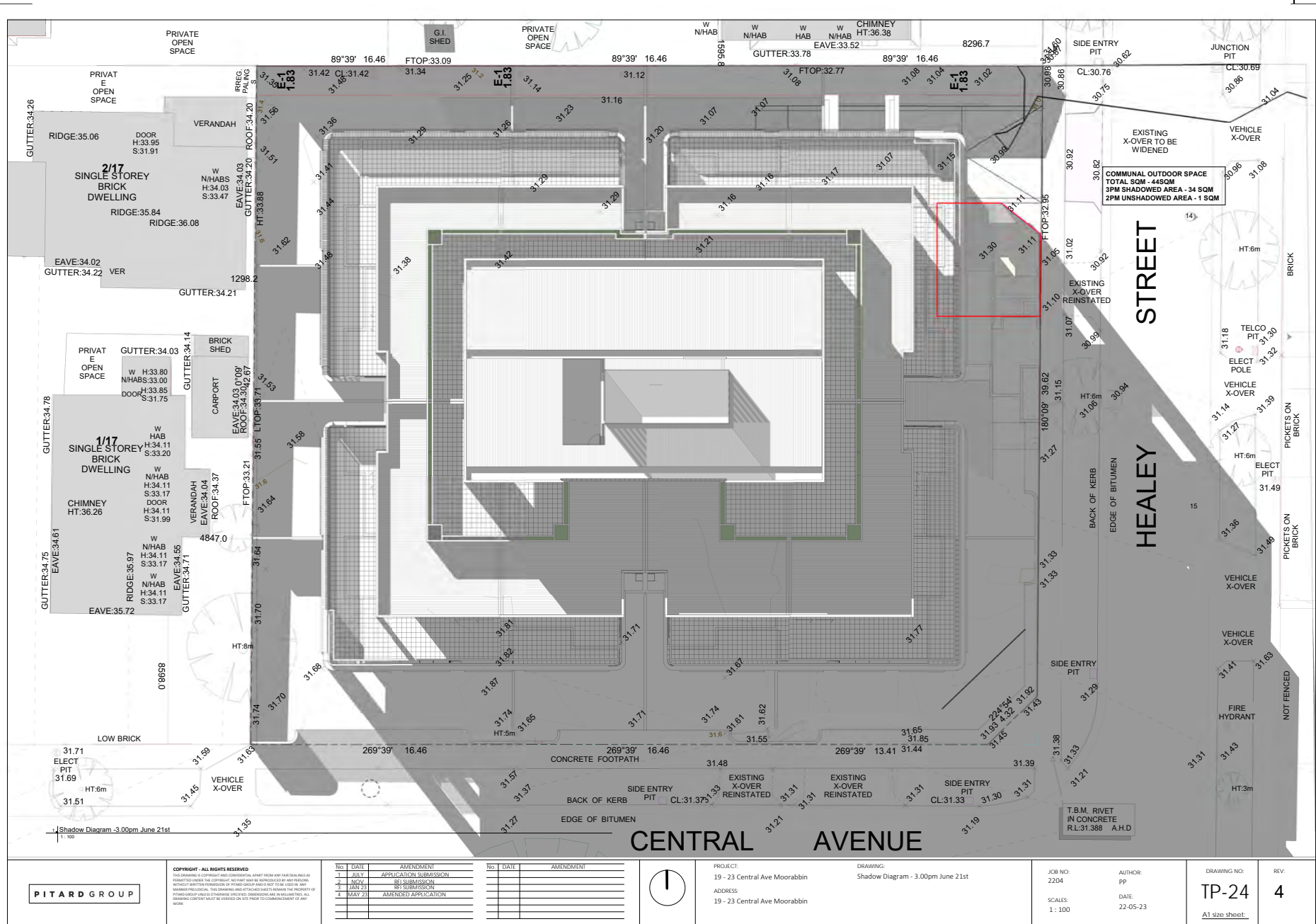
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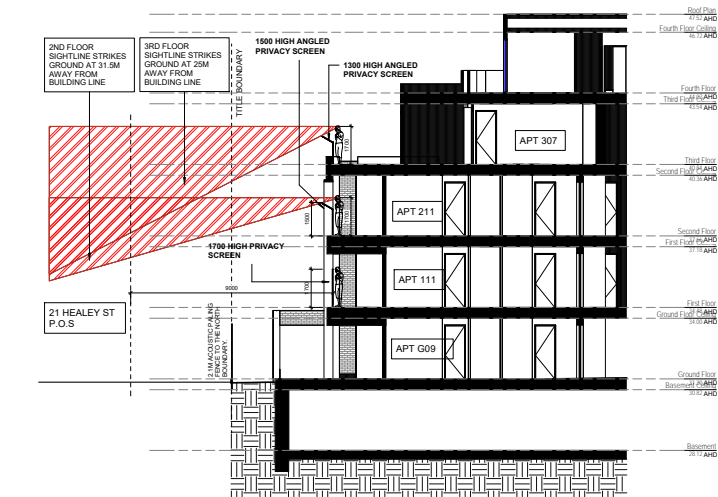
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22-05-23

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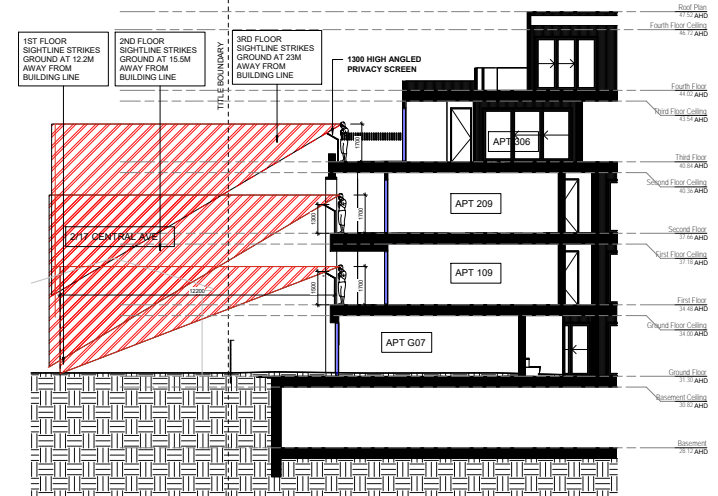
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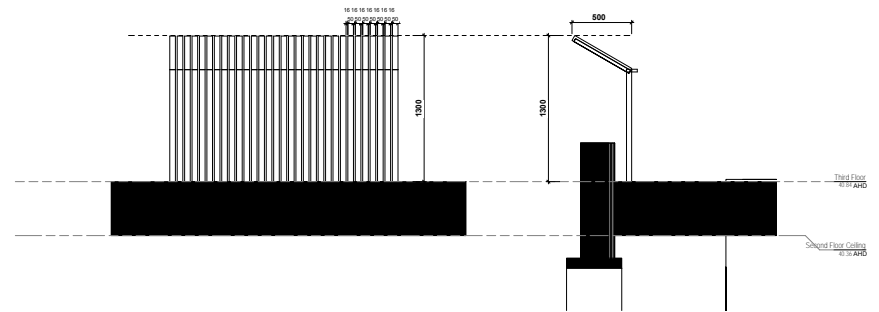




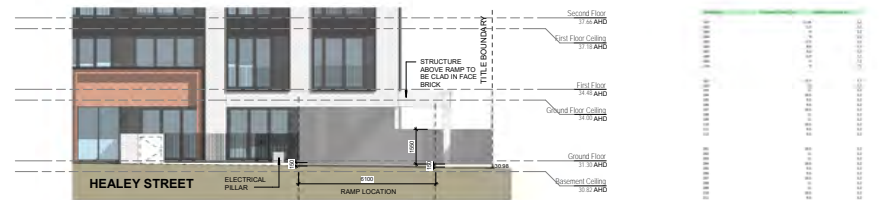
SIGHTLINE 01  
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SIGHTLINE 02  
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SCREENING DETAIL  
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STREET ELEVATION  
1:100

STORAGE SCHEDULE

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No.	DATE	AMENDMENT	No.	DATE	AMENDMENT
1	JULY	APPLICATION SUBMISSION			
2	AUG	REVISED SUBMISSION			
3	JAN 23	REVISED SUBMISSION			
4	MAY 23	AMENDED APPLICATION			



PROJECT:  
19 - 23 Central Ave Moorabbin  
ADDRESS:  
19 - 23 Central Ave Moorabbin

DRAWING:  
SIGHTLINE DIAGRAMS

JOB NO:  
2204  
SCALES:  
As indicated

AUTHOR:  
PP  
DATE:  
22-05-23

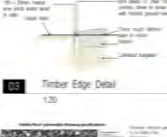
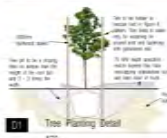
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#### BEFORE YOU DIG

Before starting any work, it is essential to call 811 to report the location of existing underground utilities. This is a legal requirement in most jurisdictions. Call 811 at least 48 hours before starting work. This will allow the utility companies to locate and mark all underground utilities. This is a legal requirement in most jurisdictions. Call 811 at least 48 hours before starting work. This will allow the utility companies to locate and mark all underground utilities.



Third Floor Plan  
Scale 1:200



Fourth Floor Plan  
Scale 1:200

#### PLANTING SCHEDULE

NO.	COMMON NAME	HEIGHT (ft)	SPREAD (ft)	QUANTITY
1	Tree	15.0	10.0	10
2	Shrub	10.0	5.0	20
3	Shrub	10.0	5.0	20



Horticultural Planter Box Detail

#### EXISTING TREE SCHEDULE

NO.	COMMON NAME	HEIGHT (ft)	SPREAD (ft)	QUANTITY
1	Tree	15.0	10.0	10
2	Shrub	10.0	5.0	20
3	Shrub	10.0	5.0	20

#### PLANTING SCHEDULE

NO.	COMMON NAME	HEIGHT (ft)	SPREAD (ft)	QUANTITY
1	Tree	15.0	10.0	10
2	Shrub	10.0	5.0	20
3	Shrub	10.0	5.0	20

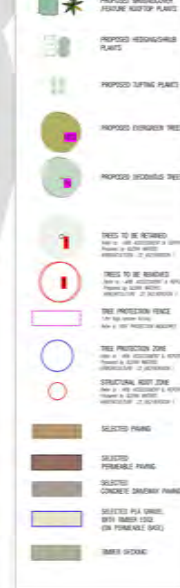
#### MAINTENANCE NOTES

Water and mulch the trees for the first year after planting. Water weekly for the first year, then bi-weekly for the second year. Mulch the trees with a 2-inch layer of mulch. Prune the trees as needed. Remove any dead or damaged branches. Water the trees during dry periods. Mulch the trees during dry periods. Water the trees during dry periods. Mulch the trees during dry periods.

#### PLANTING NOTES

Plant the trees in the holes provided. Water the trees after planting. Mulch the trees with a 2-inch layer of mulch. Prune the trees as needed. Remove any dead or damaged branches. Water the trees during dry periods. Mulch the trees during dry periods. Water the trees during dry periods. Mulch the trees during dry periods.

#### LANDSCAPE KEY



Species logo

1. 15.0' (4.57m) Tree  
2. 10.0' (3.05m) Tree  
3. 10.0' (3.05m) Tree  
4. 10.0' (3.05m) Tree



Prepared by: [Name]  
19-25 Central Avenue  
Landscape Plan

L1B

## Planning Committee Meeting

21 June 2023

**Agenda Item No: 4.3**

### **KP-2019/359/A - 94 TOOTAL ROAD, DINGLEY VILLAGE**

**Contact Officer: Metika Claxton, Statutory Planner**

#### **Purpose of Report**

This report is for the Planning Committee to consider the amendment application to Planning Permit No. KP-2019/359/A - 94 Tootal Road, Dingley Village.

#### **Disclosure of Officer / Contractor Direct or Indirect Interest**

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

#### **RECOMMENDATION**

That Planning Committee determine to support the proposal and issue a Notice of Decision to use and develop the land for a minor sport and recreation facility, function centre, indoor recreation facility, shop, museum and reduction of bicycle parking requirement at 94 Tootal Road, Dingley Village, subject to the conditions contained within this report.

This application requires a decision by Council for the following reason:

- The cost of development exceeds \$20,000 and the land is located outside the Urban Growth Boundary.



**City of Kingston  
Planning Committee Meeting**

**Agenda**

**21 June 2023**

**EXECUTIVE SUMMARY**

<b>Address</b>	94 Tootal Road, DINGLEY VILLAGE
<b>Legal Description</b>	Lot 1 on Plan of Subdivision 834399N
<b>Applicant</b>	Kinetica
<b>Planning Officer</b>	Metika Claxton

**PLANNING REQUIREMENTS**

<b>Planning Scheme</b>	Kingston
<b>Zoning</b>	Clause 35.04 – Green Wedge Zone
<b>Overlays</b>	Clause 43.02 – Design and Development Overlay Schedule 5 Clause 45.01 - Public Acquisition Overlay (PAO1) Clause 45.12 – Specific Controls Overlay (SCO6)
<b>Particular Provisions</b>	Clause 52.05 – Signs Clause 52.06 – Car Parking Clause 52.34 – Bicycle Facilities Clause 51.02 – Metropolitan Green Wedge Land: Core Planning Provisions
<b>Permit Trigger/s</b>	Clause 42.12 – SCO6 – Use and Development of the land for a Function Centre, Indoor Recreation Facility, Medical Centre, Shop, Food and Drink (Café), Museum Clause 52.34 – Reduction to the bicycle parking requirement

**APPLICATION / PROCESS**

<b>Proposal</b>	Current permit allows: Use and develop the land for a minor sport and recreation facility, function centre, indoor recreation facility, medical centre, residential building, shop, food and drink premises (café), museum and reduction of bicycle parking requirements
-----------------	--

The amendments applied for include:

- Delete reference to 'indoor recreation facility', 'residential building', and 'food and drink premises (café)' from the permit preamble

The permit preamble is proposed to read: *Use and develop the land for a minor sport and recreation facility, function centre, indoor recreation facility, medical centre, shop, museum and reduction of bicycle parking requirements*

- Amend Condition 1 to reflect the submitted plans under this amended application
- Delete Conditions 15 and 16
- Include the provision of staging for the development with Stage 2 to include Ovals 3 and 4
- Amend the endorsed plans to: reduce the footprint and increase the height of the Harris Elite Training and Admin Facility, reduce the footprint of the Community Pavilion Building, removal of the Indoor Sports Hall and Ovals 3 and 4 (which will form part of Stage 2 works).
- Amend Conditions 1a, 1f, and 6 respectively

Condition 37 (CMP/Environmental Audit requirements) was also applied to be amended, but this has been dealt with and determined under planning permit KP-2019/359/B and now forms part of the existing permit.

The supported amendment to the permit includes the following changes:

**City of Kingston  
Planning Committee Meeting**

**Agenda**

**21 June 2023**

	<ul style="list-style-type: none"><li>• Amend Condition 1, including the addition of Condition 1k and 1l</li><li>• Addition of Condition 3, 4, 5, 6, 7, 8, 12, 24, 25, and subsequent renumbering of permit conditions</li><li>• Amend Condition 11 (formerly 5), 13 (6), 28 (19), 30 (21), 31 (22), 40 (31), 42 (33), 43 (34), and 52 (43)</li><li>• Delete Condition 15 and 16 (residential building conditions)</li><li>• Amend permit preamble as noted above</li></ul>			
	The additional and amended conditions have either been required to reference staging or based on internal referrals received on the amended proposal.			
<b>Reference No.</b>	KP-2019/359/A	<b>RFI Received</b>	N/A	
<b>App. Received</b>	15/07/2022	<b>App. Amended</b>	Yes – 27/01/2023 and 16/05/2023	
<b>Site inspection</b>	No			
<b>S.52 Advertising</b>	Commenced: 14/03/2023	<b>Advertising Completed</b>	Yes – 27/03/2023	
<b>S.55 Referrals</b>	None – Section 52 comments requested only			
<b>Internal referrals</b>	Yes			
<b>Objection(s)</b>	Five (5) (TRIM checked on 06/06/2023)			
<b>Vegetation</b>	<b>Trees &gt; 8m</b>	NO	<b>No. of Trees to be removed (110cm circumference)</b>	Nil
LEGISLATIVE				
<b>Covenant/other Restriction</b>	No	Complies: N/A		
<b>Aboriginal Cultural Sensitivity Area</b>	Yes			
<b>CHMP</b>	No – Expert Report provided with original application that significant ground disturbance has occurred on the land, and a CHMP is not required.			
<b>Considered Plans</b>	Prepared by Peddle Thorp, Project No. 3-18-0058, Sheets TP-004-TP-047 (inclusive). Revision 6 submitted on 27/01/202			

## **1.0 RELEVANT HISTORY**

- 1.1 On 14 March 2021 a letter from the Minister for Planning was received that Kingston Planning Scheme Amendment C180King has been approved and granted a planning permit for the *Use and development for a minor sport and recreation facility, function centre, indoor recreation facility, medical centre, residential building, shop, food and drink premises (café), museum and reduction of bicycle parking requirements* under the provision of Part 4 Division 5 of the *Planning and Environment Act 1987*. The Minister directed the Council to issue a permit seven days after the gazettal of Amendment C180King pursuant to Section 97J of the Act.
- 1.2 Planning Permit KP-2019/359 (**Permit**) was issued on 25 May 2021 for the Use and develop the land for a minor sport and recreation facility, function centre, indoor recreation facility, medical centre, residential building, shop, food and drink premises (café), museum and reduction of bicycle parking requirements.
- 1.3 Condition 1 of the Permit is still outstanding, and no plans have been endorsed.
- 1.4 The permit expiry condition allowed six (6) years to commence works and eight (8) years to complete from the date of permit issue, and the permit will expire if the use is discounted for a period for two (2) years. The Owner has not yet acted on the Permit, but the permit has not expired, and this Section 72 amendment application can be considered. It is also noted that the SCO6 provision expires if the use is not commenced within six years from the date of the gazettal of Amendment C180 to the Kingston Planning Scheme and completed within eight years of commencement.
- 1.5 The Permit was not a permit issued at the direction of the Victorian Civil and Administrative Tribunal (**Tribunal**), or a permit issued under Division 6 (Powers of Minister in relation to applications) of the *Planning and Environment Act 1987* (**Act**). As noted above the permit was issued under Division 5 – Combined permit and amendment process of the *Planning and Environment Act 1987* (**Act**).
- 1.6 The permit application was not advertised; however, consultation was undertaken as part of Amendment C180King, and submissions were received.
- 1.7 The proposed changes sought under this application do not undermine any agreement or offer put forward by the Permit Applicant during the consideration of the original proposal.
- 1.8 Planning Permit application KP-2019/359/B was granted on 04/05/2023 which amended Condition 37 that related to Construction Management Plan (CMP) and Environmental Audit requirements.

## **2.0 SITE & SURROUNDS**

<b>Built form</b>	Vacant Site, except for small outbuildings in the north-west corner of the site that was historically used for paintballing
<b>Size (m2)</b>	27.69ha
<b>Topography</b>	The site falls approximately 10 metres to its southwest corner and 5 metres to its northeast corner.

<b>Fencing</b>	Cyclone chain mesh fencing
<b>Significant Vegetation</b>	The site has a range of vegetation along the front boundary
<b>Easements</b>	Nil
<b>Footpath assets/ access</b>	One accessway located along the east boundary in the northeast portion of the site

### 3.0 SURROUNDING LAND

3.1 The following map illustrates the subject site in its surrounding context.



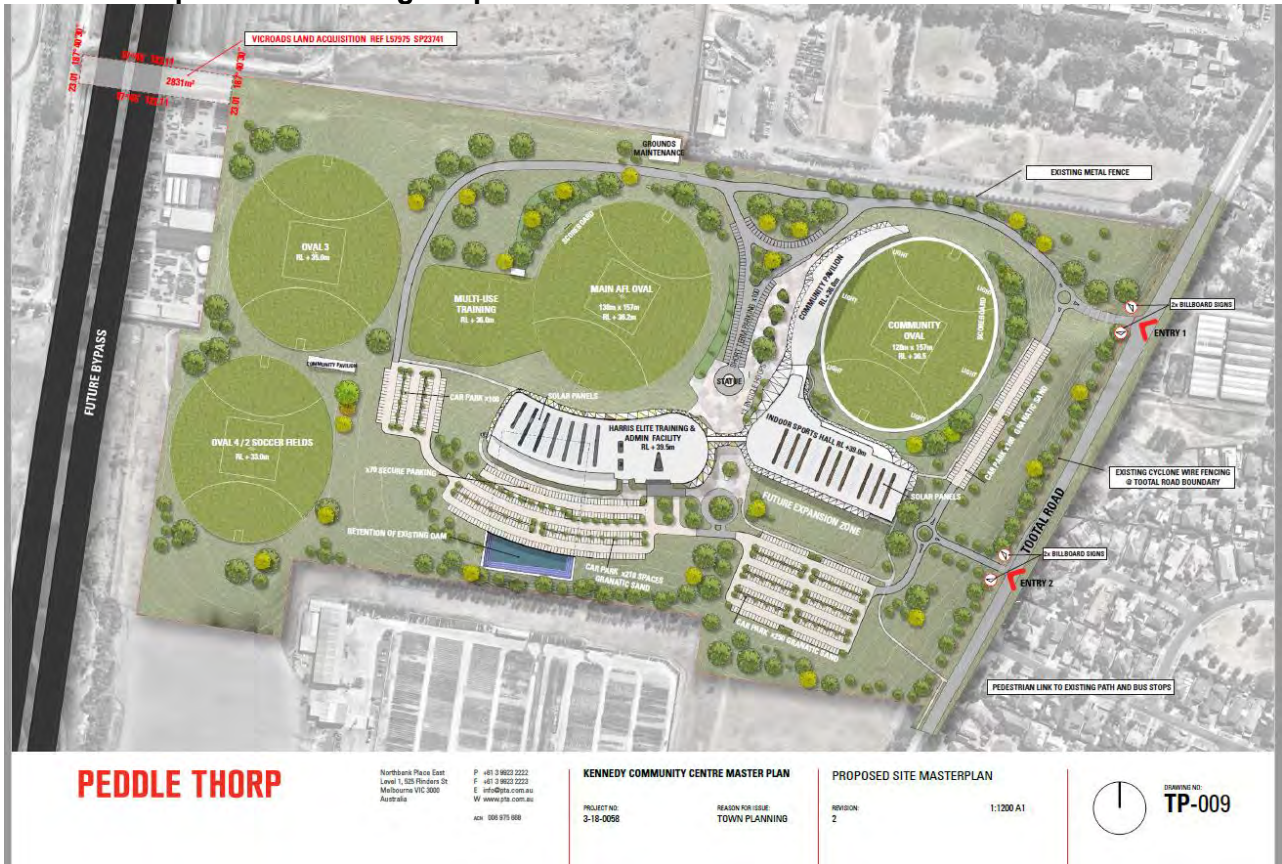
<b>North</b>	Light industrial/materials recycling uses and several dwellings
<b>East</b>	Tootal Road, across the street is residential land forming part of Dingley Village and a plant nursey
<b>South</b>	Wholesale plant nursery
<b>West</b>	Mornington Peninsula Freeway



#### **4.0 PROPOSAL**

- 4.1 The current permit KP-2019/359/B allows: Use and develop the land for a minor sport and recreation facility, function centre, indoor recreation facility, medical centre, residential building, shop, food and drink premises (café), museum and reduction of bicycle parking requirements
- 4.2 The amendments applied for includes:
- Delete reference to 'indoor recreation facility', 'residential building', and 'food and drink premises (café)' from the permit preamble. The permit preamble is proposed to read: *Use and develop the land for a minor sport and recreation facility, function centre, indoor recreation facility, medical centre, shop, museum and reduction of bicycle parking requirements*
  - Amend Condition 1 to reflect the submitted plans under this amended application
  - Delete Conditions 15 and 16
  - Include the provision of staging for the development with Stage 2 to include Ovals 3 and 4
  - Amend the endorsed plans to reduce the footprint and increase the height of the Harris Elite Training and Admin Facility, reduce the footprint of the Community Pavilion Building, removal of the Indoor Sports Hall and Ovals 3 and 4 (which will form part of Stage 2 works), and removal of the southern car access to the site.
  - Amend Conditions 1a, 1f, and 6
- 4.3 The supported amendment to the permit includes the following changes:
- Amend Condition 1, including the addition of Condition 1k and 1l
  - Addition of Condition 3, 4, 5, 6, 7, 8, 12, 24, 25, and subsequent renumbering of permit conditions
  - Amend Condition 11 (formerly 5), 13 (6), 28 (19), 30 (21), 31 (22), 40 (31), 42 (33), 43 (34), and 52 (43)
  - Delete Condition 15 and 16 (residential building conditions)
  - Amend permit preamble as noted above
- 4.4 The additional and amended conditions have either been required to reference staging or based on internal referrals received on the amended proposal.

Considered plans for the original permit:

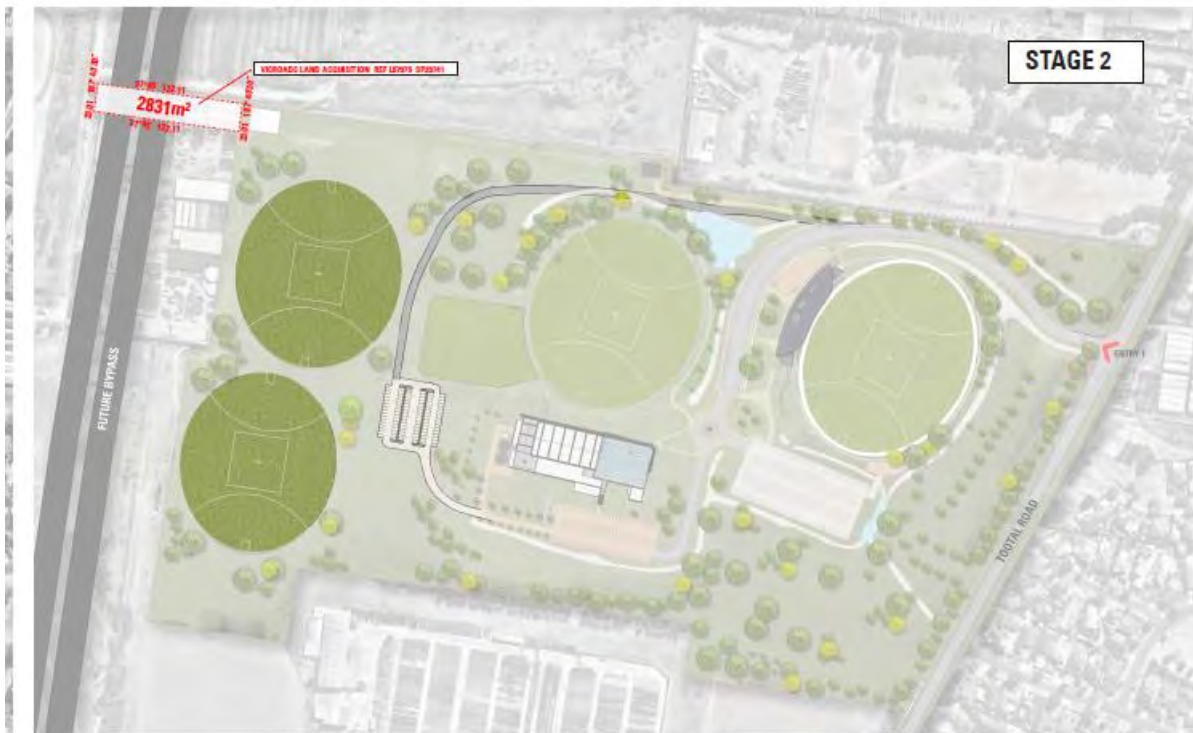


Proposed Amendment Plans under consideration:





**Proposed Stage 2 under consideration:**



**5.0 AMENDMENTS UNDER SECTION 50/57a OF THE ACT**

- 5.1 **The amended plans under Section 50 on 27/01/2023 included the following changes:**
- HETAF (Training and Admin Building): Further reduced the floor area by 11% and various material and internal changes.
  - Pavilion: Removal of medical area and reduction in concourse above and various material and internal changes
  - Site: Relocation of food truck bays
- Changes were undertaken by the applicant at their own request.
- 5.2 **The amended plans under Section 57a on 16/05/2023 included the following changes:**
- Updated Landscape Plan to address Vegetation Management Officer's and objector's concerns
  - Updated Lighting Tower details to address objector's concerns, the main light towers are now 52 metres high. It is also noted limited detail was provided in the original approval and/or conditions of the planning permit.

**6.0 PLANNING CONTROLS**

Zone / Overlay / Particular Provisions	Rationale
<p><b>Clause 35.04 – Green Wedge Zone</b></p> <p><b>Clause 45.12 – Specific Controls Overlay (SCO6)</b></p>	<p>There is no permit required under the zone, due to the Clause 45.12 – Specific Controls Overlay (SCO6) allowing for the use and development permit triggers. However, the zoning should still be taken into consideration when it comes to the greater context of the site and where it sits within the Green Wedge Zone</p> <p>The proposal amendment proposes to lessen the built form on the land, while the overall height of the HETAF has increased from 10 metres to 13.8 metres (breadth reduced from 150 metres to 118 metres), however the building is still well set back on the site and screened by existing and proposed vegetation. The landscaping plan (which has been reduced from the considered plans under KP-2019/359) in conjunction with the proposed condition to allow for a Stage 1a and Stage 2 landscaping, achieves appropriate landscaping outcomes on the site.</p> <p>The Specific Controls Overlay (SCO6) allows a permit to be granted in line with the approved incorporated document <i>Hawthorn Football Club – Function Centre, Indoor Recreation Facility, Medical Centre, Shop, Food and Drink (Café), Museum and Signage Controls, 94 Tootal Road, Dingley Village</i>. The proposed changes to the proposal are in line with the document and proposes to remove the permit permissions for the listed document uses; food and drink (café) and indoor recreation facility (in addition to the removal of the residential building approval).</p>
<p><b>Clause 43.02 – Design and Development Overlay Schedule 5</b></p> <p><b>Clause 45.01 - Public Acquisition Overlay (PAO1)</b></p>	<p>None of the proposed amendments trigger a planning permit under these Overlays.</p>
<p><b>Clause 52.05 – Signs</b></p>	<p>There is no signage proposed under this amendment.</p>
<p><b>Clause 52.06 – Car Parking</b></p>	<p>It is proposed to provide a total of 467 formal car parking spaces across the site located as follows:</p> <ul style="list-style-type: none"> <li>• 125 paved car spaces located to the west of the Pavilion;</li> <li>• 222 spaces in a compact gravel carpark to the south of the Community Oval; and</li> <li>• 120 spaces in a compact gravel carpark to the south of the HETAF.</li> </ul>



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<b>Zone / Overlay / Particular Provisions</b>	<b>Rationale</b>
	<p>A total 467 formal parking spaces are provided. There is an expectation from the applicant that the southern grassed area will be able to accommodate overflow carparking.</p> <p>The proposed car parking is a reduction of 363 parking spaces when compared with the approved development. However, this comes in conjunction with the removal of the Indoor Sports Hall. The anticipated car parking demand in the applicant's Traffic Impact Report (Prepared by OneMileGrid) is accommodated within the provided car spaces, including the overflow space required in the absolute peak demand (624 spaces)</p> <p>The car parking design and accessways complies with the Design Standards under Clause 52.06-9. Council's Traffic Engineer requires a permit condition to remove bays that would be impacted from the Ambulance turning circles from their allocated bay as shown in the provided swept paths.</p> <p>The proposal meets the decision guidelines under this provision (subject to conditions).</p>
<b>Clause 52.34 – Bicycle Facilities</b>	<p>The Planning Permit (KP-2019/359) requires the provision of 100 bicycle parking spaces for the previously approved development schedule – which exceeds the bicycle parking requirement under the scheme of 25 bicycle spaces.</p> <p>The amendment has provided 56 bicycle parking spaces, which is at a rate of 0.12 bicycle spaces per car space which was the same rate used for the original approval.</p> <p>The proposal meets the decision guidelines under this provision.</p>
<b>Clause 51.02 – Metropolitan Green Wedge Land: Core Planning Provisions</b>	<p>The provision is not relevant as the Specific Controls Overlay (SCO6) allows all the uses otherwise prohibited under the provision.</p>

## 7.0 REFERRALS

### External Referrals/Notification

- 7.1 Notice of the application was provided to the following external authorities pursuant to Section 52 of the *Planning and Environment Act 1987*.

<b>Department</b>	<b>Section 52/55</b>	<b>Determining / Recommending</b>	<b>Objection</b>	<b>Comments</b>
<b>Department of Transport</b>	52	Commenting	No	All the access to the site is from Tootal Road which is a local road under the care and management of Kingston City Council.

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				The strip of land to the northwest of the subject site has already been acquired by VicRoads for future development of the Mordialloc Bypass and the remaining parcel is not impacted by the proposal.
Melbourne Water	52	Commenting	No	The property is not subject to flooding from any of Melbourne Water's assets. Council must comment on requirements due to any local area flooding.
Moorabbin Airport	52	Commenting	Yes	We have reviewed the application and as the proposed location is likely to infringe the restricted airspace, please obtain a controlled activity assessment from an aviation consultant.
EPA	52	Commenting	No	<p>Given the proposed amendments do not alter the requirement of an audit before the use and development begin, it is considered that EPA's stance on the matter remains unchanged and EPA does not object to this proposal. EPA notes that landfill gas on site remains a concern, and reinforces that the development should be carefully managed so as to not increase risks of landfill gas impacts.</p> <p>In addition, should the permit be amended, EPA recommends that Council also include the following permit note:</p> <p style="padding-left: 40px;">A. The amended <i>Environment Protection Act 2017</i> came into effect on 1 July 2021. The amended <i>Environment Protection Act 2017</i> imposes new duties on individuals and/or businesses undertaking the activity permitted by this permit. If your business engages in activities that may give rise to a risk to human health or the environment from pollution or waste, you must understand those risks and take action to minimise them as far as reasonably practicable</p> <p>For further information on what the laws mean for Victorian businesses go to:</p>

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				<a href="https://www.epa.vic.gov.au/for-business/new-laws-and-your-business">https://www.epa.vic.gov.au/for-business/new-laws-and-your-business</a>
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**Internal Referrals**

7.2 The application was referred to the following Council departments for comment:

Department / Area	Comments / Rationale / Recommended Conditions
Traffic Engineer	No objection raised, subject to a permit condition to address: <i>The ambulance swept path shows the ambulance going through some marked parking bays, the bays will need to be removed to ensure that the ambulance can access the facility as intended.</i>
Development Advice Engineer/Infrastructure	No objection raised, subject to drainage conditions relating to flood modelling required before the stormwater management plan can be endorsed.
Roads and Drains	No objection raised
Construction Management	Not referred, however matters regarding the CMP were recently dealt with under the amendment to the permit KP-2019/359/B to reword Condition 37. There are no further changes required under this permit that will impact the CMP.
Waste Management	No objection raised, noting the waste management plan submitted with the application is satisfactory.
Sustainable Design Advisor	<p>No objection raised, subject to new conditions relating to improved ESD initiatives:</p> <p><u>Bicycle Facilities</u> Provide accessible and undercover secure bicycle parking space for staff use in both buildings.</p> <p><u>Electric Vehicle Infrastructure</u> The location of the electric vehicle charging points must be shown on plans with a note or associated legend item reflecting commitments in the SMP.</p> <p><u>Green Travel Plan</u> The Green Travel Plan needs to reflect all sustainable transport facilities provided on-site.</p> <p><u>Renewable energy systems – Solar</u> The proposed solar photovoltaic system to be sized to meet a minimum of 5% of the site's energy requirements. Minimum system size needs to be shown on roof plans.</p> <p><u>Rainwater Tank</u> Plans need to indicate rainwater tanks size and re-use connections as proposed in the SMP.</p> <p><u>Recycled Water Infrastructure</u> Provide further information on plans on how the future recycled water supply can connect to the irrigation system.</p> <p><u>Building Materials</u></p>

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	Concrete to be specified with supplementary cementitious material (SCM) & recycled aggregate where appropriate and recycled water used in the manufacture. All fabricated structural steelwork to be supplied by a steel fabricator/contractor accredited to the Environmental Sustainability Charter of the Australian Steel Institute.
<b>Vegetation Management Officer</b>	No objection raised, subject to new conditions relating to landscaping stages.
<b>Urban Design</b>	No objection raised.
<b>Active Kingston</b>	No objection raised.

## **8.0 ADVERTISING**

- 8.1 The proposal was advertised by sending notices to adjoining and opposite property owners and occupiers and by maintaining a notice on site for fourteen (14) days.
- 8.2 Four (4) objection(s) to the proposal were received by residents and one (1) objection received by Moorabbin Airport. The valid grounds of objection raised are summarised as follows:
- Height of the lighting towers
  - Function centre capacity
  - Traffic jams on Tootal Road
  - Insufficient landscaping plan

## **9.0 PLANNING CONSULTATION MEETING**

- 9.1 In accordance with Council's Planning Consultation Meeting Policy, no meeting was required as (less than 6) objections to the application were received. However, as required by the Policy, Council's planning officer contacted the objectors and, in this conversation, one objector requested a planning consultation to be held.
- 9.2 A planning consultation meeting was held on 20/04/2023 with the relevant Planning Officer, the Permit Applicant and 1 (one) objector in attendance. The above-mentioned issues were discussed at length.
- 9.3 The above concerns were unable to be resolved at the meeting, and the objections still stand.

## **10.0 PLANNING CONSIDERATIONS:**

### **Planning Policy Framework**

- 10.1 The amendment application has been assessed against the Planning Policy Framework and it is considered that the proposed use and development is consistent with relevant policies contained within this section of the Kingston Planning Scheme.
- 10.2 The proposal supports **Clause 11** (Settlement), which are closely aligned with the objectives and policy outcomes sought by the Metropolitan Strategy – 'Plan Melbourne: Metropolitan Planning Strategy' (Department of Transport, Planning and Local Infrastructure, 2014).



- 10.3 **Clause 11.02** (Managing Growth) aims to ensure a sufficient supply of land is made available for a variety of purposes. To achieve this, it takes into account sufficient land availability to meet forecasted demand. **Clause 11.03-1S** places particular emphasis on ensuring that planning for urban growth should consider, amongst other things, the opportunities for the consolidation, redevelopment and intensification of existing urban areas.
- 10.4 **Clause 02.03-8** (Transport) at a local level, provides strategic directions for transport planning including to improve traffic circulation, car parking, site layout, integrate land use and transport planning to create a more sustainable community and to minimise conflict with abutting land uses. The proposal provides appropriate car parking provision and utilises the existing road access without substantial burden on the existing network
- 10.5 **Clause 13** (Environmental Risks and Amenity) aims to ensure that planning adopts a best practice environmental management and risk management approach which aims to avoid or minimise environmental degradation and hazards. Further, planning should identify and manage the potential for the environment, and environmental changes, to impact upon the economic, environmental or social well-being of society. Planning should ensure that development and risk mitigation does not detrimentally interfere with the important natural process as well as preparing for and responding to the impacts of climate change.
- 10.6 **Clause 15** (Built Environment and Heritage) aims to ensure the role of urban design, building design, heritage and energy and resource efficiency in delivering liveable and sustainable cities, towns and neighbourhoods. Furthermore, it aims that all new land use and development appropriately responds to its landscape and character, valued built form and cultural context, and protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.
- 10.7 **Clause 15.01-1S** (Urban Design) aims to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity. The objectives of **Clause 15.01-2S** (Building design) seek to achieve building design outcomes that contribute positively to the local context and enhance the public realm. The provisions of **Clause 15.02-1S** encourage land use and development that is energy and resource efficient through improved building design, urban consolidation and promotion of sustainable transport.

10.8 **Aboriginal Cultural Heritage**

It is important to note that the Subject Land is identified in an area of Aboriginal Cultural Heritage Sensitivity.

However, the Permit Applicant has provided Aboriginal Cultural Heritage Due Diligence Advice from an Heritage Consultant with the original application (dated 31 May 2019). The advice provided sufficient evidence that site has undergone significant ground disturbance and therefore a Cultural Heritage Management Plan is not required. The amendment reduces the scope of works so the advice still stands.

**11.0 RESPONSE TO GROUNDS OF OBJECTIONS**

- 11.1 The following objector concerns have been addressed below:

- Height of the lighting towers
- Function centre capacity
- Traffic jams on Tootal Road
- Insufficient landscaping plan

- 11.2 **Height of the lighting towers:** Concern was raised about the maximum height of the light towers being 65 metres. The applicant has reduced the height of the towers by 13 metres to 52 metres to help address these concerns raised by residents. It is noted that an objection was also received from Moorabbin Airport, stating that the height of the tower may infringe on the restricted airspace. We also have limited information about the management of these towers when in operation. Therefore, a planning permit condition should be included in any amended permit issued requiring a Lighting Management Plan. This plan will allow for the applicant to address possible infringement into airspace, which are outside the considerations of the Kingston Planning Scheme but will need to be dealt with under other legislation. It is noted that light towers were shown on the original plan but lacked details, including the height. This condition allows for effective compliance measures to occur. The proposal height of the towers, at 52 metres, is considered appropriate as the towers are located quite far back into the site.

- 11.3 **Function centre capacity:** There is no proposed change under this amendment to the function centre capacity which is restricted under Condition 14: *Except with the prior written consent of the Responsible Authority for specific functions, the maximum number of patrons permitted to use the function centre at any one time is 150. Any application for an increase in patron numbers must comply with the requirements of the Incorporated Document titled 'Hawthorn Football Club - Function Centre, Indoor Recreation Facility, Medical Centre, Shop, Food and Drink (Cafe), Museum and Signage Controls, 94 Tootal Road, Dingley Village'.*

Pursuant to the Incorporated Document, the Function Centre capacity is 400 patrons. It is noted that written consent will be required for any increase to the 150 patrons for any event, when required. Council will ask for appropriate traffic management to ensure minimal impacts to the road network.

- 11.4 **Traffic jams on Tootal Road:** There were concerns raised about the volume of traffic entering the site and creating traffic jams along Tootal Road. The application was referred to Council's Traffic Engineer, who stated: *The proposed a single access on Tootal Road is considered adequate from traffic generation and distribution point of view. The access will have a minimal impact to the operation of Tootal Road, and the SIDRA analysis provided by One Mile Grid demonstrated that the queuing and delay are within an acceptable range under the normal operating condition. It is required that during an event when large crowd is expected, suitable traffic management is required to facilitate the safe and efficient access of the site as part of the event management.* Therefore, there are no concerns about the volume of traffic that will attend the site and the proposal is considered to be appropriate.

- 11.5 **Insufficient landscaping plan:** On 16/05/2023, the application was amended via Section 57a to update the landscape plan. The update includes the existing vegetation along the front boundary, replanting at the entryway to the site and the inclusion of a range of indigenous species. As noted in Council's Vegetation Management Officer referral, permit conditions should be included to have an additional Stage 1A landscaping condition to be completed two years after the works for Stage 1 are completed. There will also be a requirement to provide landscaping for Stage 2 when it occurs. These additional landscaping conditions will help the landscaping with what was approved under the original permit and are therefore considered appropriate.

## **12.0 CONCLUSION:**

- 12.1 On balance, the proposed amendment is considered to substantially comply with the relevant planning policy and therefore should be supported. The proposal is scaling down

the originally approved permit and formalises the capacity for staging, however, retains a proposal that achieves an appropriate outcome.

- 12.2 It is considered that the objector's concerns have been addressed, where appropriate, and, subject to the inclusion of appropriate conditions (including those discussed in this report). It is, therefore, recommended that the application be supported with the issue of a Notice of Decision to Grant a Permit.
- 12.3 As outlined above, it has been determined that prior to deciding on this application all factors pursuant to section 60(1) of The Act have been considered. Further to this, the proposal does not give rise to any significant social and economic effects.
- 12.4 The proposed amendments to are considered appropriate for the site as they should not have a detrimental impact on surrounding properties (subject to appropriate conditions) and the proposal satisfies the requirements of the Kingston Planning Scheme, including the PPF, Strategic Vision, Zoning/Overlay controls and Particular Provisions.

### **13.0 RECOMMENDATION**

That the Planning Committee determine to support the proposal and issue a Notice of Decision to Grant a Permit to use and develop the land for a minor sport and recreation facility, function centre, indoor recreation facility, medical centre, shop, museum and reduction of bicycle parking requirements at No. 94 Tootal Road, Dingley Village (Lot 1 on Plan of Subdivision 834399N), subject to the following conditions:

- 1. Before the development of Stage 1 starts, excluding works in accordance with condition 46, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans submitted to Council dated Jan 2023 by Peddle Thorp Architects and dated 08 May 2023 by MemLA Landscape Architects, but modified to show:**
  - a) Deleted
  - b) **a comprehensive stormwater management (drainage) strategy of the site including:**
    - ii) **A detailed flood modelling report and flood maps based on the pre and post-development scenarios, confirming that no adverse downstream impacts are incurred along Tootal Road, or neighboring properties in the minor and major storm events. The flood modelling must be carried out as per the current Melbourne Water technical specifications.**
    - iii) **a report with MUSIC model output and a drainage concept plan incorporating Rainwater Tanks for water reuse and other Water Sensitive Urban Design Treatments to achieve best practice objectives must be prepared as per Council's "*Civil Design Requirements for Developers - Part A - Integrated Stormwater Management*" to the satisfaction of the Responsible Authority.**
  - c) Deleted
  - d) **the provision of a fully dimensioned and detailed site plan including (but not limited to) finished levels to Australian Height Datum, car parking details (formal and overflow), accessway widths, surface finishes, easements, and location of outdoor training lights and lighting details, to the satisfaction of the Responsible Authority;**

- e) the provision of fully dimensioned detailed floor and elevation plans of the administration and pavilion buildings including floor areas of each ancillary use, their layout and designation of use, to the satisfaction of the Responsible Authority;
- f) **Deleted**
- g) details of Lot 1 boundary fencing treatments and site access security arrangements, Including the fencing details for the front boundary to Tootal Road, to the satisfaction of the Responsible Authority;
- h) **the provision of construction materials, external finishes and colours for the administration and pavilion buildings;**
- i) pedestrian and bicycle access points to be provided along the eastern property boundary (Tootal Road frontage) to the satisfaction of the Responsible Authority;
- j) removal of all signage shown on the plans;
- k) **any necessary changes to comply with the SMP as per Condition 11;**
- l) **parking bays that hinder the movements of the ambulance to be removed or relocated.**

**Endorsed Plans**

- 2. The development and use as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.

**Staging**

- 3. **Before the development of stage 2 (excluding demolition, environmental audit activities, removal of service infrastructure, approved tree removal, site preparation and bulk excavation) commences, detailed development plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions, including the provision of construction materials, external finishes and colours of any buildings.**
- 4. **Stage 2 development plans must include pedestrian and bicycle access points provided along the western property boundary to the satisfaction of the Responsible Authority.**

**Landscaping**

- 5. **Within 6 months of the completion of Stage 1, a Stage 1A landscape plan prepared by a suitably qualified person to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved the plan(s) will be endorsed and will then form part of the permit. The plans must show:**
  - a) **A planting schedule of all proposed trees and shrubs, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant;**
  - b) **The delineation of all garden beds, paving, grassed area, retaining walls, fences and other landscape works;**
  - c) **The location of all bioswales shown and consistent with the location of the bioswales required as part of the site drainage requirements with any vegetation planted within the bioswales to be indigenous;**



- d) A minimum of 3,000 additional indigenous plantings with tree species to include a mix of
    - *Acacia mearnsii*
    - *Acacia implexa*
    - *Acacia paradoxa*
    - *Leptospermum continentale*
    - *Eucalyptus viminalis* ssp. *pryoriana*
    - *Allocasuarina littoralis*
  - e) All trees provided at a minimum of 2 metres in height at time of planting, medium to large shrubs to be provided at a minimum pot size of 200mm; unless with the prior approval of the Responsible Authority;
  - f) The provision of notes, including cross-sectional diagrams showing the dimensions, substrate requirements, drainage and irrigation of all bioswales, raingardens or green infrastructure;
  - g) The provision of notes regarding site preparation, including the removal of all weeds, proposed mulch, soil types and thickness, subsoil preparation and any specific maintenance requirements.
6. Planting in accordance with Stage 1A must be completed within 2 years from the date of the completion of Stage 1.
7. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority, including that any dead, diseased or damaged plants are to be replaced.
8. Before the commencement of Stage 2, the provision of a landscape plan prepared by a suitably qualified landscape professional to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved the plan will be endorsed and will then form part of the permit. The plans must show:
- a) A planting schedule of all proposed trees and shrubs, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant with all plants chosen to be to the satisfaction of the Responsible Authority;
  - b) The delineation of all garden beds, paving, grassed area, retaining walls, fences, planter boxes, climbing trellis and other landscape works;
  - c) The location of all bioswales shown and consistent with the location of the bioswales required as part of the site drainage requirements with any vegetation planted within the bioswales to be indigenous;
  - d) A range of plant types from ground covers to large shrubs and trees, provided at adequate planting densities (e.g. plants 1 metre width at maturity planted 1 metre apart);
  - e) All trees provided at a minimum of 2 metres in height at time of planting, medium to large shrubs to be provided at a minimum pot size of 200mm; unless with the prior approval of the Responsible Authority;
  - f) The provision of notes, including cross-sectional diagrams showing the dimensions, substrate requirements, drainage and irrigation of all bioswales, raingardens or green infrastructure;
  - g) The provision of notes regarding site preparation, including the removal of all weeds, proposed mulch, soil types and thickness, subsoil preparation and any specific maintenance requirements.

9. The medical centre operation must be limited as follows:
- a) The medical centre must only be operated as a specialist sports medicine centre providing sports and exercise health care;
  - b) except with the prior written consent of the Responsible Authority no more than twelve (12) persons providing health services may work within the medical centre at any one time; and
  - c) all persons providing health services must have a professional affiliation with the Hawthorn Football Club.

**Medical Centre Standard Hours**

10. Unless with the prior written consent of the Responsible Authority, the Medical Centre permitted by this permit must operate only between the following times:

- Monday to Friday      8.00am to 8.00pm
- Saturday                8.00am – 1.00pm
- Sunday                  Closed

**Sustainable Management Plan**

11. Before the endorsement of plans required by Condition 1, an improved Sustainable Management Plan (SMP), to the satisfaction of the Responsible Authority, must be submitted to and approved by the Responsible Authority. When approved, the SMP will be endorsed and will then form part of the permit and must thereafter be complied with. The SMP must include, but is not limited to the following criteria:

- Indoor Environment Quality
- Energy Efficiency
- Water Efficiency
- Stormwater Management
- Building Materials
- Transport
- Waste Management
- Urban Ecology
- Innovation
- Construction and Building Management.

12. Before any stage of the development starts (excluding demolition, site preparation and bulk excavation, or remediation works) a Sustainable Management Plan (SMP), to the satisfaction of the Responsible Authority, must be submitted to and approved by the Responsible Authority. When approved, the SMP will be endorsed and will then form part of the permit and must thereafter be complied with. The SMP must include, but is not limited to the following criteria:

- Indoor Environment Quality
- Energy Efficiency
- Water Efficiency
- Stormwater Management
- Building Materials
- Transport
- Waste Management
- Urban Ecology
- Innovation
- Construction and Building Management.

**General amenity conditions**

- 13. The amenity of the area must not be detrimentally affected by the use, including through the:**
- **Transport of materials, goods or commodities to or from the land.**
  - **Appearance of any building, works or materials.**
  - **Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil.**
  - **Presence of vermin.**
  - **Any other way.**
  - **Any flaring or air emissions from the closed landfill must be compliant with Best Practice Environmental Management (BPEM) 788.3, 2015.**
14. The development and / or use of the site must not cause nuisance or be detrimental to the amenity of the neighbourhood by the emission of noise. In this regard any nuisance-must be assessed in accordance with the Australian Standards AS1055 and AS2107 relating to the measurement of Environmental Noise and recommended sound levels.
15. The loading and unloading of goods to and from vehicles must only be carried out on the land.
16. Goods or packaging materials must not be stored or left exposed outside the building so as to be visible to the public from a road or other public place.
17. All external surfaces of the building elevations must be finished in accordance with the schedule on the endorsed plans and maintained in good condition to the Responsible Authority's satisfaction.

#### **Function Centre**

18. Before the function centre use starts, a Patron Management Plan must be prepared in consultation with, and to the satisfaction of, the City of Kingston for the function centre. The Patron Management Plan must include a site layout plan nominating the overall licensed area together with 3 written report outlining the following:
- types of events;
  - management of patrons entering and leaving the venue and smoking outside;
  - keeping of complaints register;
  - security; and
  - management arrangements.
19. Noise emitted from the Function centre must comply with the State Environment Protection Policy N-2 (Control of Music Noise from Public Premises) as amended from time to time
20. The use of the function centre must operate only between the hours of:
- Sunday to Thursday: 7.00am to 11.00pm; and
  - Friday to Saturday: 7.00am to 1.00am the next day
21. Except with the prior written consent of the Responsible Authority for specific functions, the maximum number of patrons permitted to use the function centre at any one time is 150. Any application for an increase In patron numbers must comply with the requirements of the Incorporated Document titled 'Hawthorn Football Club - Function Centre, Indoor Recreation Facility, Medical Centre, Shop, Food and Drink (Cafe), Museum and Signage Controls, 94 Tootal Road, Dingley Village'.

**22. Deleted**

**23. Deleted**

**Lighting**

- 24. Before the installation of any external lights, a Lighting Management Plan must be submitted and approved to the satisfaction of the Responsible Authority. When approved, the plan will be endorsed and will form part of the permit. The plan must show:**
- **The location of all external lighting (including any fixed to a building)**
  - **The layout and design of all external lighting to achieve the recommended maximum values of illuminance in the Australian Standard 4282 – Control of the obtrusive effects of outdoor lighting**
  - **Approval from Moorabbin Airport or the Airport Authority regarding the height of any lighting towers.**
- 25. Within 3 months of the installation of external lighting under the Lighting Management Plan, an inspection of the lighting and compliance with the Lighting Management Plan (inspection report) is to be carried out by a suitably qualified expert and a report of the results including any recommendations for lighting management is to be submitted to the satisfaction of the Responsible Authority. Any recommendations in the inspection report are to be implemented to the satisfaction of the Responsible Authority.**
- 26. All external lighting of the site, including all sports fields, car parking areas and buildings, must be designed, fitted with suitable baffles and located to prevent any adverse effect on adjoining land, to the satisfaction of the Responsible Authority.**
- 27. The outdoor lights for all sports ovals must be switched off after 10.30pm each night to the satisfaction of the Responsible Authority.**

**Infrastructure and Road Works**

- 28. Before the development of Stage 1 starts, detailed engineering drawings of all of the site's access points, to the satisfaction of the Responsible Authority, must be submitted to and approved by the Responsible Authority.**
- 29. The design of the Tootal Road vehicle access required by Condition 26 of this permit must be subject to a satisfactory Road Safety Audit, before submission to the Responsible Authority for approval. The findings of this Audit must also be provided to the Responsible Authority, with the detailed engineering drawings of the site access, to the satisfaction of the Responsible Authority.**
- 30. Before the use under Stage 1 starts, all works shown on the detailed engineering drawings required by Condition 28 of this permit must be fully constructed to the satisfaction of the Responsible Authority and any existing vehicular crossing not in accordance with the endorsed plan must be removed and the kerb reinstated in a manner satisfactory to the Responsible Authority.**

**Construction Management**

- 31. Before each stage of the development commences, a Construction Management Plan (CMP) to the satisfaction of the Responsible Authority, must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. The Responsible Authority can consider the CMP in stages to allow works in accordance with condition 46 to occur. The final CMP must specify and deal with, but is not limited to, the following:**
- a) **a detailed schedule of works including a full project timing, staging, including any demolition works;**



- b) a traffic management plan for the site, including when or whether any access points would be required to be blocked; an outline of requests to occupy public footpaths or roads, or anticipated disruptions to local services; and preferred routes for trucks delivering to the site;
- c) the location for the parking of all construction vehicles and construction worker vehicles during construction;
- d) delivery of materials including times for loading/unloading and unloading points; expected frequency; and details of where materials will be stored and how concrete pours would be managed;
- e) proposed traffic management signage indicating any inconvenience generated by construction;
- f) a fully detailed plan indicating where construction hoardings would be located (if required),
- g) a waste management plan including the containment of waste on site, disposal of waste, stormwater treatment and on-site facilities for vehicle washing;
- h) containment of dust, dirt and mud within the site and method and frequency of clean up procedures in the event of build up of matter outside the site;
- i) business operations on the site during construction;
- j) site security;
- k) public safety measures;
- l) construction times, noise and vibration controls;
- m) restoration of any Council assets removed and/or damaged during construction;
- n) protection works necessary to road and other infrastructure (limited to an area reasonably proximate to the site);
- o) remediation of any damage to road and other infrastructure (limited to an area reasonably proximate to the site);
- p) an emergency contact that is available for 24 hours per day for residents and the Responsible Authority in the event of relevant queries or problems experienced;
- q) traffic management measures to comply with provisions of AS 17 42.3-2002 Manual of uniform traffic control devices - Part 3: Traffic control devices for works on roads; and
- r) all contractors associated with the construction of the development must be made aware of the requirements of the Construction Management Plan.

32. During the construction, the following must occur:

- a) any stormwater discharged into the stormwater drainage system is to comply with EPA guidelines;
- b) stormwater drainage system protection measures must be installed as required to ensure that no solid waste, sediment, sand, soil, clay or stones from the premises enters the stormwater drainage system;
- c) vehicle borne material must not accumulate on the roads abutting the site;
- d) the cleaning of machinery and equipment must take place on site and not on adjacent footpaths, roads or parks;
- e) all litter (including items such as cement bags, food packaging and plastic strapping) must be disposed of responsibly; and
- f) all site operations must comply with the EPA Publication TG302/92 (including all revisions or replacement guidelines).

### **Parking and traffic management**

33. Before the use starts, two (2) copies of a traffic and parking management plan, to the satisfaction of the Responsible Authority, must be submitted for approval. The use must not commence until the plan has been approved and endorsed by the Responsible Authority. The endorsed plan will then form part of the permit. The plan must include (but is not limited to):

**City of Kingston  
Planning Committee Meeting**

**Agenda**

**21 June 2023**

- a) The means by which traffic movements to and from the site will be managed for large events.
  - b) The location of all areas on- and/or off-site to be used for staff and patron parking for large events.
  - c) Owner's permission and any required planning permission for parking on other land.
  - d) Specification of staff numbers adequate to enable efficient operation of car parking areas both on- and off-site.
  - e) The number and location of all on- and off-site security staff.
  - f) The means by which pedestrian flows to and from car parking areas will be controlled both on- and off-site.
  - g) Measures to discourage patron car parking in locations other than those approved in this plan.
  - h) Measures to preclude staff parking in designated patron car parking areas.
  - i) Staffing and other measures to ensure the orderly departure and arrival of patrons especially any large groups departing at closing time.
  - j) Servicing of the drainage and maintenance of car parking areas.
34. Traffic and parking operations on and adjacent to the site must conform to the endorsed plan.
35. Before the use starts, areas set aside for parking vehicles, access lanes and paths as shown on the endorsed plans must, to the satisfaction of the Responsible Authority, be:
- a) Constructed to the satisfaction of the Responsible Authority.
  - b) Properly formed to such levels that they can be used in accordance with the plans.
  - c) Surfaced in accordance with the endorsed plans under this permit or in an all-weather coloured concrete seal-coat or alternate material, to the satisfaction of the Responsible Authority.
  - d) Drained and maintained to the satisfaction of the Responsible Authority.
  - e) Appropriately delineated (by line-marking, wooden posts, wheel stops or other means to the satisfaction of the Responsible Authority) to indicate each car space, allocation and signage of visitor car spaces, and access lanes.
36. Parking areas and access lanes must be kept available for these purposes at all times to the satisfaction of the Responsible Authority and maintained to the satisfaction of the Responsible Authority.
37. Suitable dust suppression measures must, if necessary to avoid amenity impacts in adjacent residential areas, be implemented for unseated car parking areas to the satisfaction of the Responsible Authority.
38. In areas set aside for car parking, measures must be taken to the satisfaction of the Responsible Authority to prevent damage to fences or landscaped areas.
39. The overflow car parking area shown on the endorsed plans must be graded, compacted/ drained and planted with hardwearing grasses, or other surface material to the satisfaction of the Responsible Authority, and thereafter maintained. Clear directions for the use of the overflow car parking areas must be provided on the site, with the areas clearly identified, to the satisfaction of the Responsible Authority.

**Drainage and Water Sensitive Urban Design (WSUD)**

40. Before each stage of the development commences, excluding works in accordance with condition 46 to occur, a detailed Stormwater Management (drainage) Plan in line with accepted Stormwater Management Strategy pursuant to condition 1b) above, showing the stormwater works to the nominated point of discharge must be prepared to the satisfaction of the Responsible Authority. The Stormwater Management Plan must be prepared by a qualified person and show all details of the proposed stormwater works including all existing and proposed features that may have an impact (e.g. trees to be retained, crossings, services, fences, abutting buildings, existing boundary surface

**levels, etc.). The Stormwater Management Plan must be prepared as per Council's "*Civil Design Requirements for Developers - Part A - Integrated Stormwater Management*".**

41. The development of the site must be provided with stormwater works which incorporates the use of water sensitive urban design principles to improve stormwater runoff quality and which also retains on site any runoff above the permissible site discharge. The system must be maintained to the satisfaction of the Responsible Authority. Council's Development Engineer can advise on satisfactory options to achieve these desired outcomes which may include the use of an infiltration or bio-retention system, rainwater tanks connected for reuse and a detention system.
42. **Stormwater works must be provided on the site so as to prevent overflows onto adjacent properties and not create adverse downstream impacts (increased depth or extents of flooding) on Tootal Road and neighboring properties in the minor or major storm events.**
43. **The overall stormwater outflow of the development to Council drainage system must be limited to a discharge rate nominated or agreed by Council.**

**Environmental Audit (subsurface landfill gas migration)**

44. Before the use or buildings and works associated with the use start the permit holder must provide to the Council:
  - a) A Certificate of Environmental Audit in accordance with Section 53Y of the Environment Protection Act 1970; or
  - b) A Statement of Environmental Audit under Section 53Z of the Environment Protection Act 1970. A Statement must state that the site is suitable for the use and development allowed by this permit.
45. All the conditions of the Statement of Environmental Audit must be complied with to the satisfaction of the responsible authority. Before the use starts written confirmation of compliance must be provided by a suitably qualified environmental professional or other suitable person acceptable to the responsible authority. In addition, sign off must be in accordance with any requirements in the Statement conditions regarding verification of works.
46. Before completion of the environmental audit required by condition 44, investigative, assessment and site preparatory works may be carried out provided the landfill rehabilitation structures and elements are not damaged and the works are to the satisfaction of the responsible authority. Site preparatory works include:
  - Clay capping and ground levelling earthworks;
  - Piling pads, crane pads;
  - In ground service trenches (site wide), laying of services, and backfilling;
  - Drainage and swales (including retention features, pits, pipes, and culverts within property);
  - Road pavements; and
  - Gas mitigation / collection systems (site wide).

**Condition required by Melbourne Water:**

47. Pollution and sediment laden runoff must not be discharged directly or indirectly into Melbourne Water's drains or waterways.

**Conditions required by Transport for Victoria**

48. Demolition and construction of development must not disrupt bus operations on Tootal Road without written consent of the Head, Transport for Victoria.

49. Any request for written consent to disrupt bus operations must be submitted not later than 8 weeks before the planned disruption and must detail measures to mitigate impact of planned disruption.

**Completion**

50. Once any stage of the development has started it must be continued and completed to the satisfaction of the Responsible Authority.
51. Before occupation of any stage of the development hereby permitted, landscaping works as shown on the endorsed plans for the particular stage must be completed to the satisfaction of the Responsible Authority. The landscaping must then be maintained to the satisfaction of the Responsible Authority.


**Time limits**

- 52. In accordance with section 68 of the Planning and Environment Act 1987 (The Act), this permit will expire if one of the following circumstances applies:**
- a) The development is not started within six (6) years from the date of the gazettal of Amendment C180 (gazettal dated 20 May 2021).**
  - b) The development is not completed within eight (8) years from the date of the gazettal of Amendment C180 (gazettal dated 20 May 2021).**
  - c) The use is discontinued for a period of two (2) years.**

In accordance with section 69 of The Act, the responsible authority may extend the periods referred to if a request is made in writing:

- a) before the permit expires; or
- b) within six (6) months after the permit expiry date, where the use or development allowed by the permit has not yet started; or
- c) within twelve (12) months after the permit expiry date, where the development allowed by the permit has lawfully started before the permit expires.

**Appendices**

Appendix 1 - KP-2019/359/A - 94 Tootal Road, Dingley Village - Considered Plans (Ref 23/146810) 

Author/s: Metika Claxton, Statutory Planner  
Reviewed and Approved By: Jennifer Pippo, Team Leader Statutory Planning  
Jaclyn Murdoch, Manager City Development



## 4.3

### KP-2019/359/A - 94 TOOTAL ROAD, DINGLEY VILLAGE

1	KP-2019/359/A - 94 Tootal Road, Dingley Village - Considered Plans.....	155
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APRIL 2005



MARCH 2006



JUNE 2009

Over the past 2 decades the site has seen sand mining and as a result of this there has been soil remediation measures. These images show the various changes the site has seen.



FEBRUARY 2010



FEBRUARY 2013



OCTOBER 2017

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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058  
REASON FOR ISSUE:  
TOWN PLANNING

**SITE HISTORY**

REVISION:  
6  
DATE:  
JAN 2023  
SCALE:  
N.T.S

DRAWING NO:  
**TP-006**





PEDDLE THORP

B. DESIGN RESPONSE  
KENNEDY COMMUNITY CENTRE

KENNEDY COMMUNITY CENTRE

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

REVISION:  
6

DATE:  
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SCALE:  
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#### KENNEDY COMMUNITY CENTRE MASTER PLAN

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

#### PROPOSED SITE MASTERPLAN

REVISION:  
6

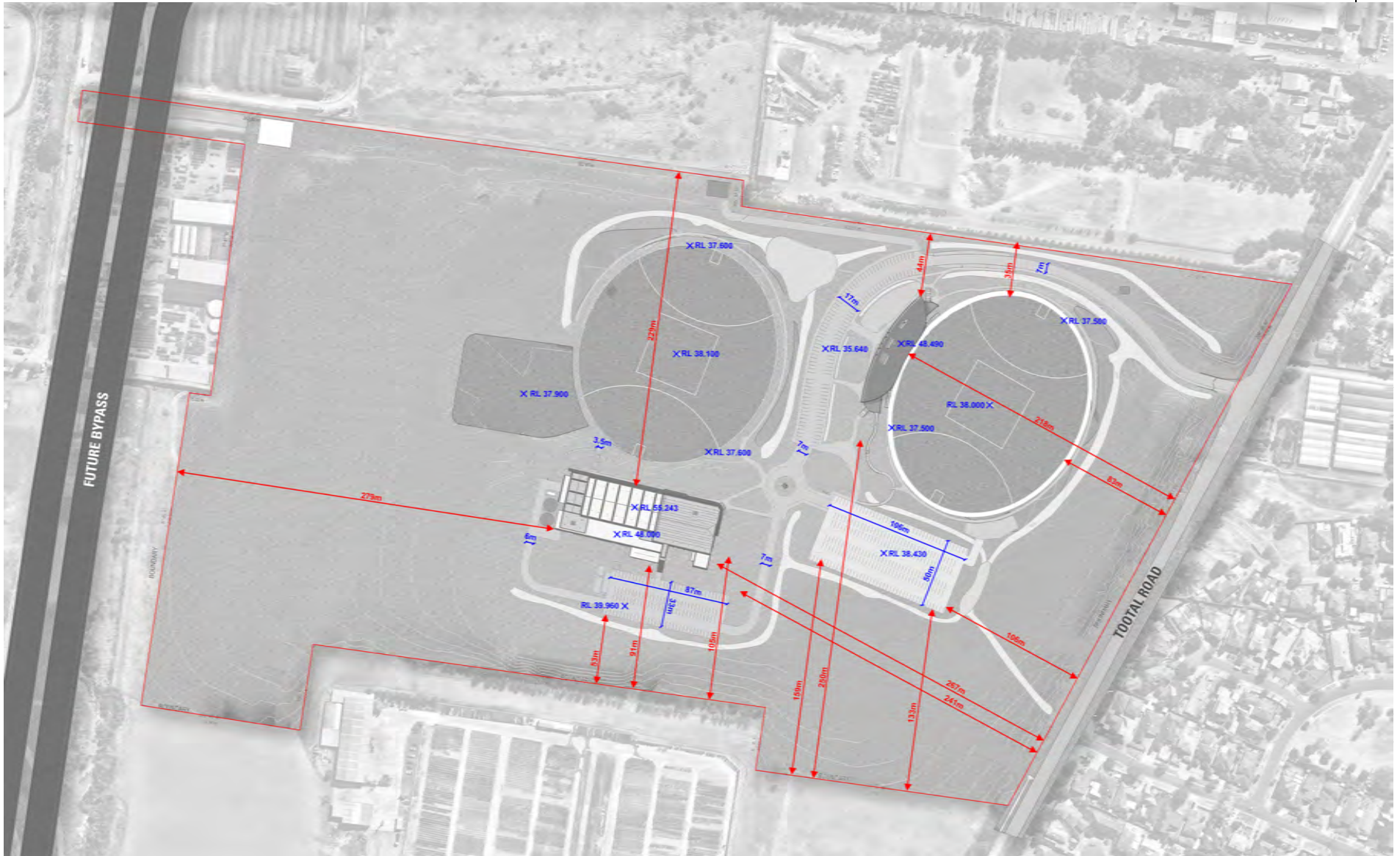
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DRAWING NO:  
**TP-009**





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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058  
  
REASON FOR ISSUE:  
TOWN PLANNING

**SETBACKS**

REVISION:  
6  
  
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JAN 2023  
  
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DRAWING NO:  
**TP-010**



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#### KENNEDY COMMUNITY CENTRE MASTER PLAN

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

#### LIGHTING

REVISION:  
6

DATE:  
JAN 2023

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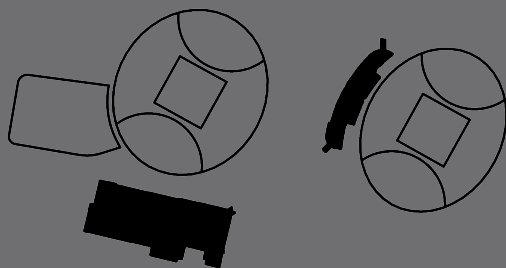


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C. OVERALL PLANS  
KENNEDY COMMUNITY CENTRE

PEDDLE THORP

KENNEDY COMMUNITY CENTRE

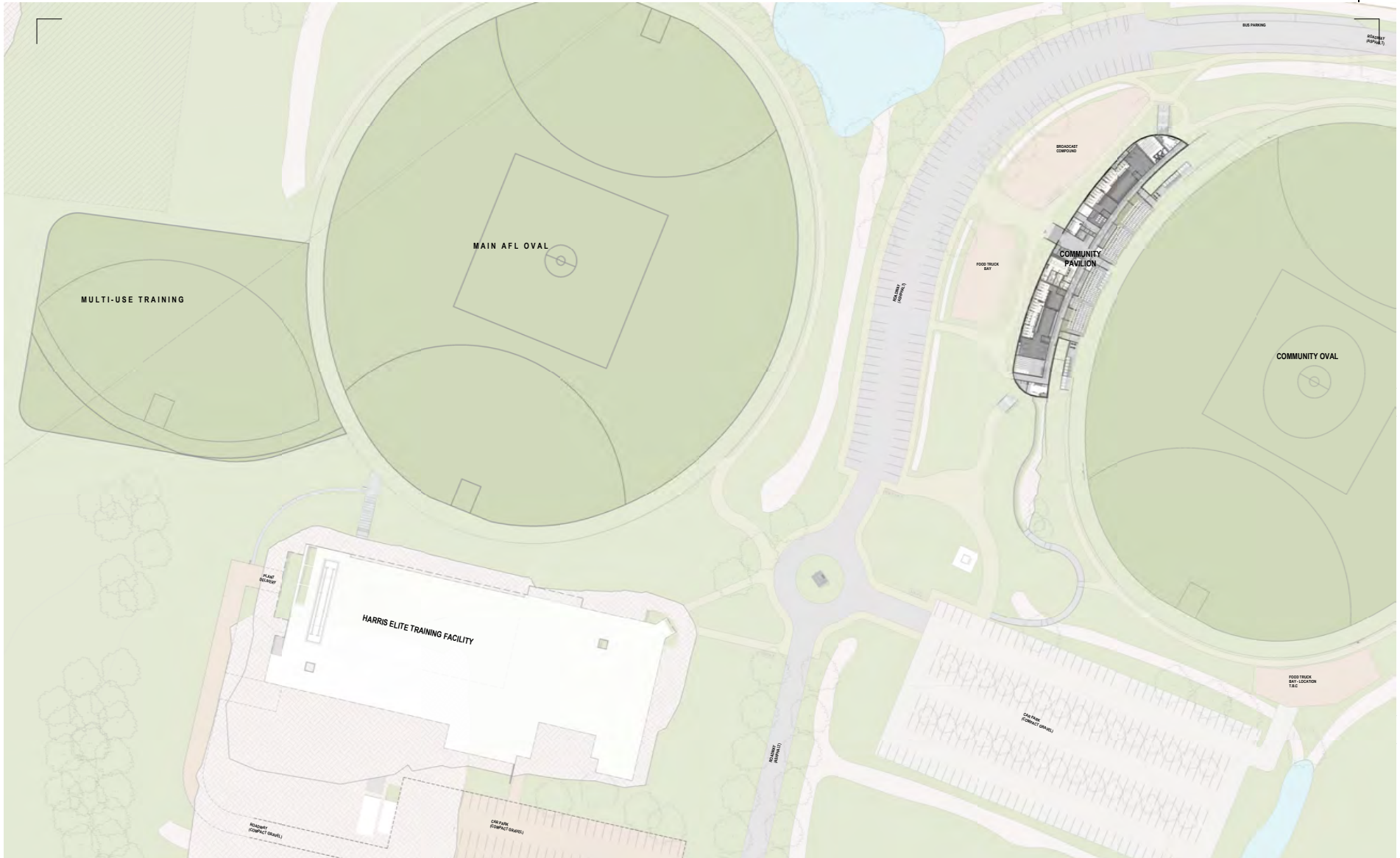
PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

REVISION:  
6

DATE:  
JAN 2023

SCALE:  
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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058  
  
REASON FOR ISSUE:  
TOWN PLANNING

**LOWER GROUND PLAN**

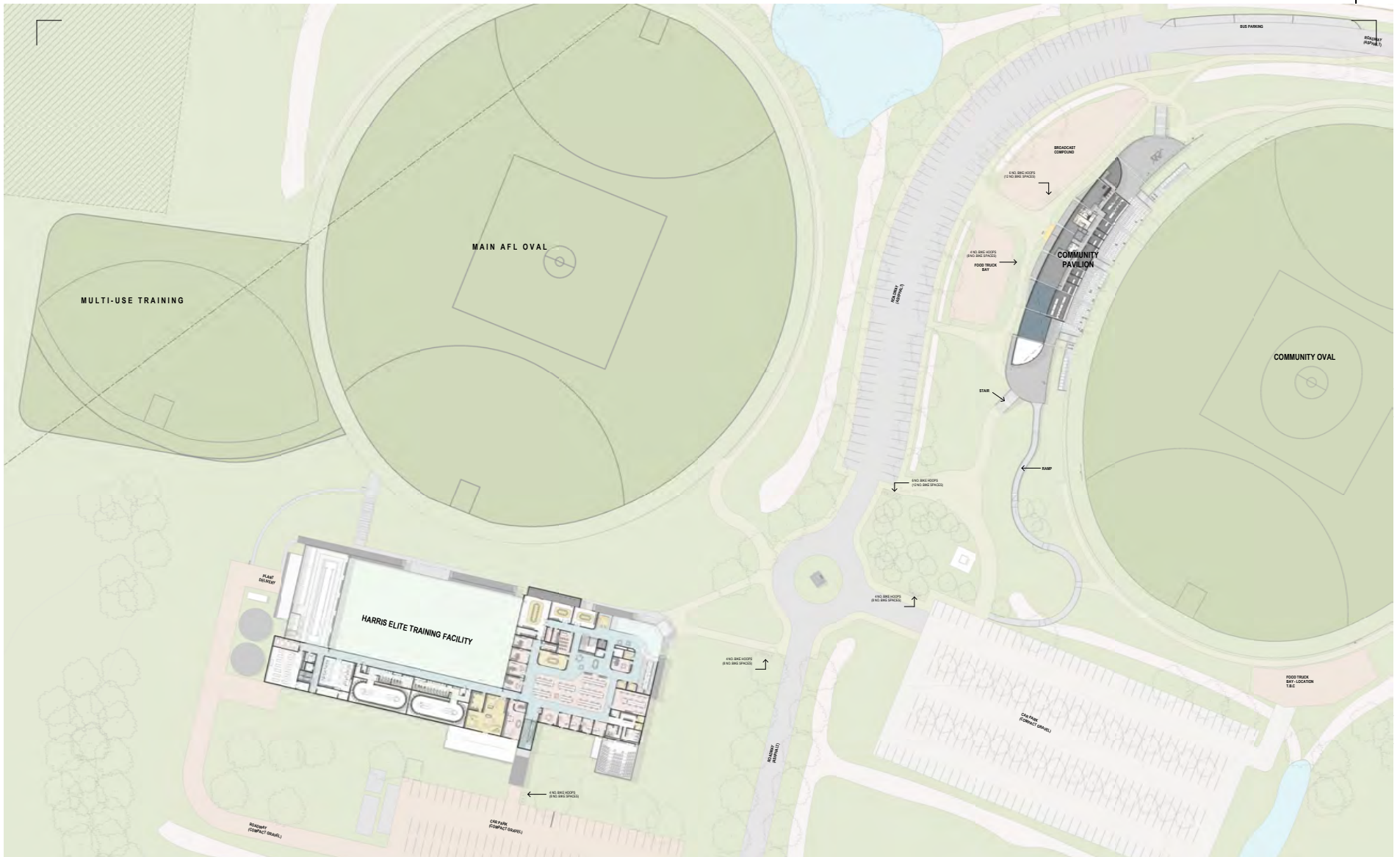
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JAN 2023  
  
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**TP-015**







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#### KENNEDY COMMUNITY CENTRE MASTER PLAN

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

#### LEVEL 01 PLAN

REVISION:  
6

DATE:  
JAN 2023

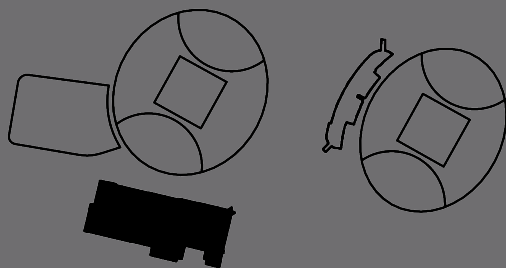
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**D. HARRIS ELITE TRAINING & ADMIN FACILITY**  
KENNEDY COMMUNITY CENTRE

**PEDDLE THORP**

**KENNEDY COMMUNITY CENTRE**

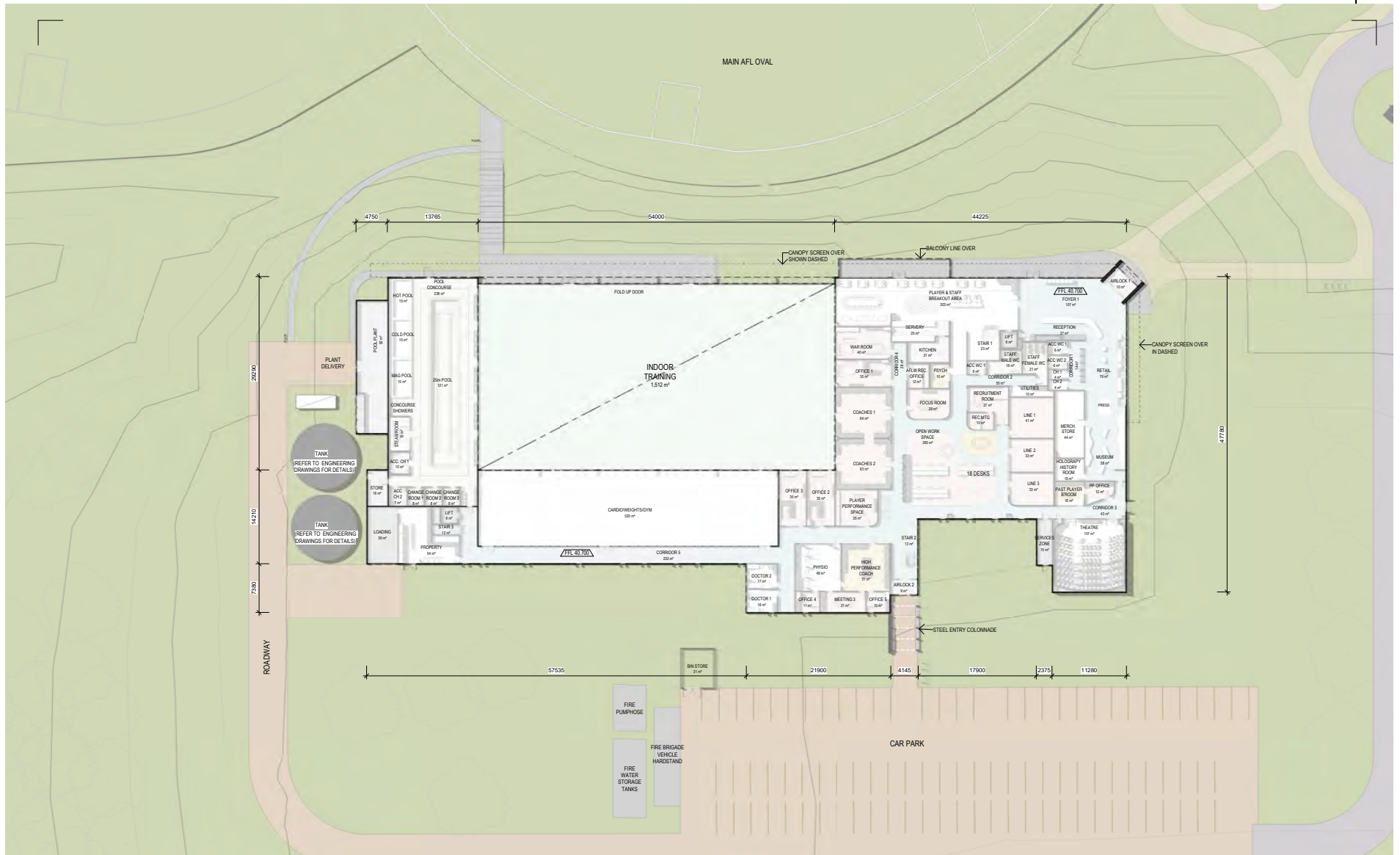
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3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

REVISION:  
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DATE:  
JAN 2023

SCALE:  
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#### KENNEDY COMMUNITY CENTRE MASTER PLAN

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

#### HARRIS ELITE TRAINING & ADMIN GROUND

REVISION:  
6

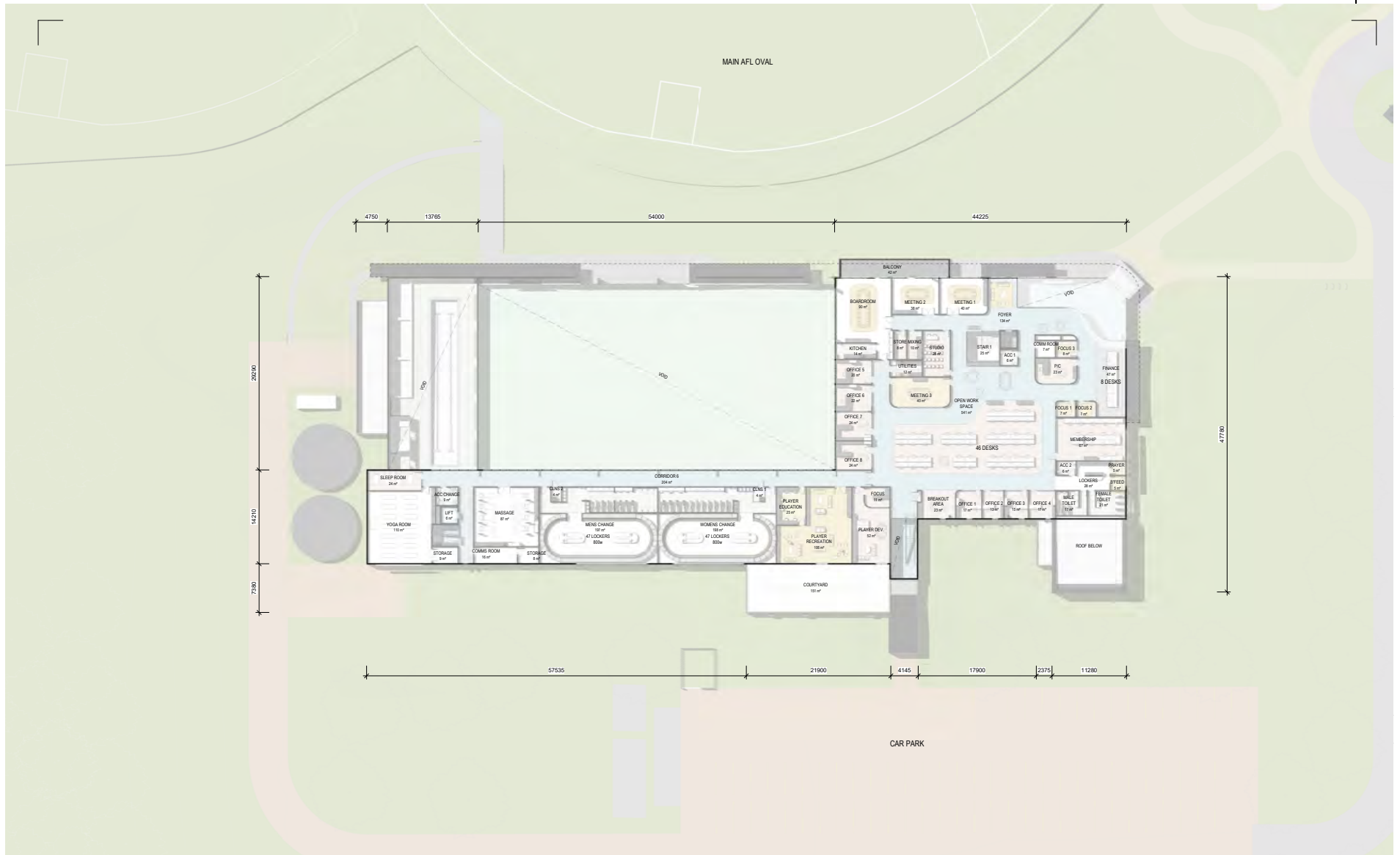
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JAN 2023

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DRAWING NO:  
**TP-020**

d. Dingley Village -  
Considered Plans



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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

**HARRIS ELITE TRAINING & ADMIN  
LEVEL 01**

REVISION:  
6

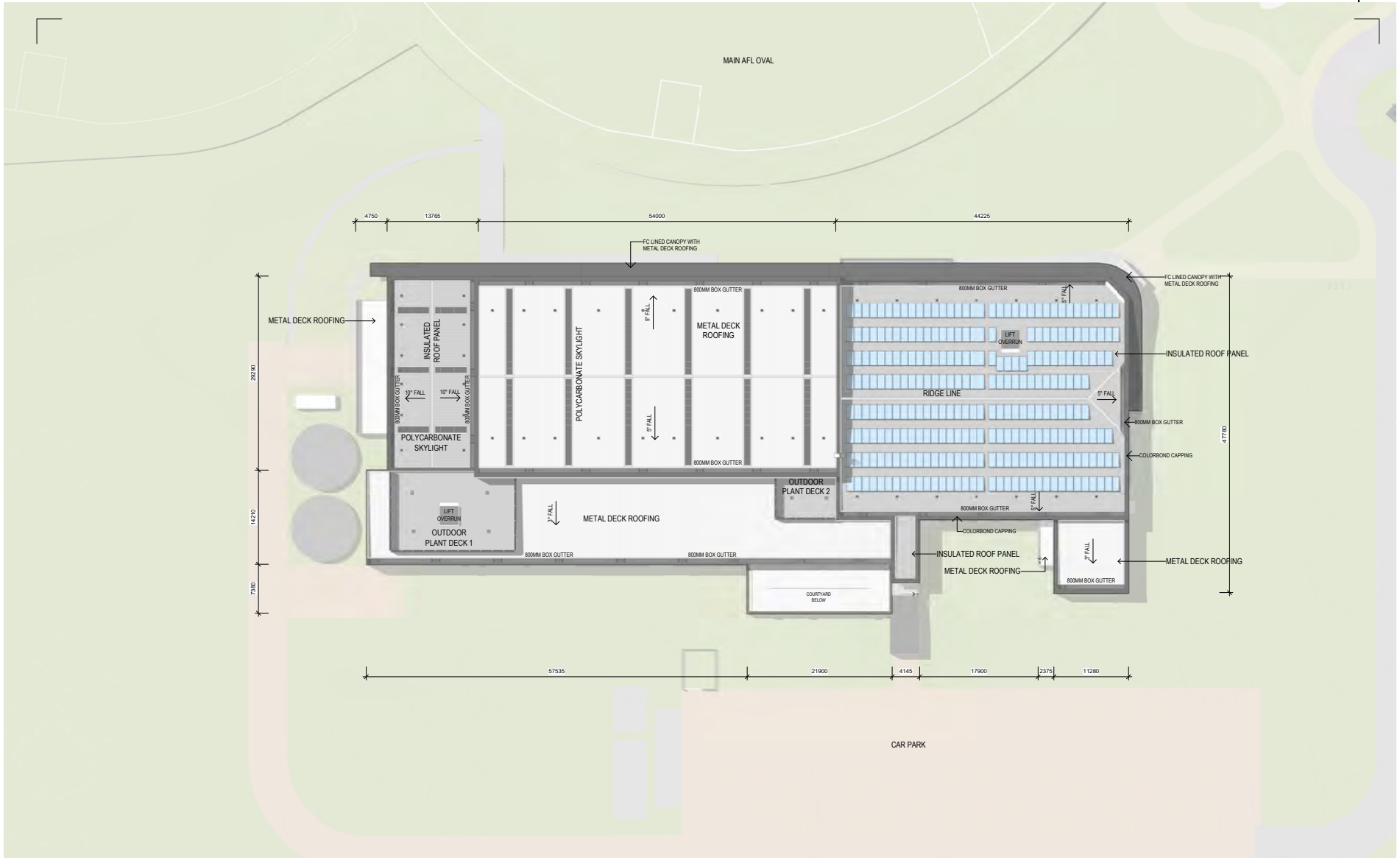
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DRAWING NO:  
**TP-021**





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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058  
REASON FOR ISSUE:  
TOWN PLANNING

**HARRIS ELITE TRAINING & ADMIN  
ROOF**

REVISION:  
6  
DATE:  
JAN 2023  
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DRAWING NO:  
**TP-022**



# PEDDLE THORP

DRAWING NO:  
**TP-023**



FRONT ENTRY



OVAL SIDE

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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
**3-18-0058**

REASON FOR ISSUE:  
**TOWN PLANNING**

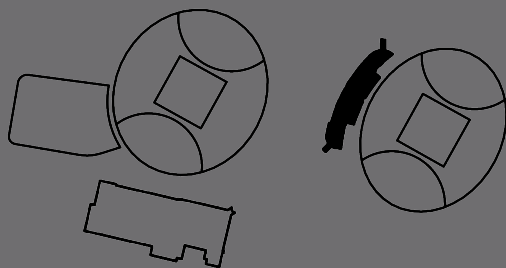
**HARRIS ELITE TRAINING & ADMIN  
EXTERNALS**

REVISION:  
**6**

DATE:  
**JAN 2023**

SCALE:  
**N.T.S**

DRAWING NO:  
**TP-024**



**E. COMMUNITY PAVILION**  
KENNEDY COMMUNITY CENTRE

**PEDDLE THORP**

**KENNEDY COMMUNITY CENTRE**

PROJECT NO:  
3-18-0058

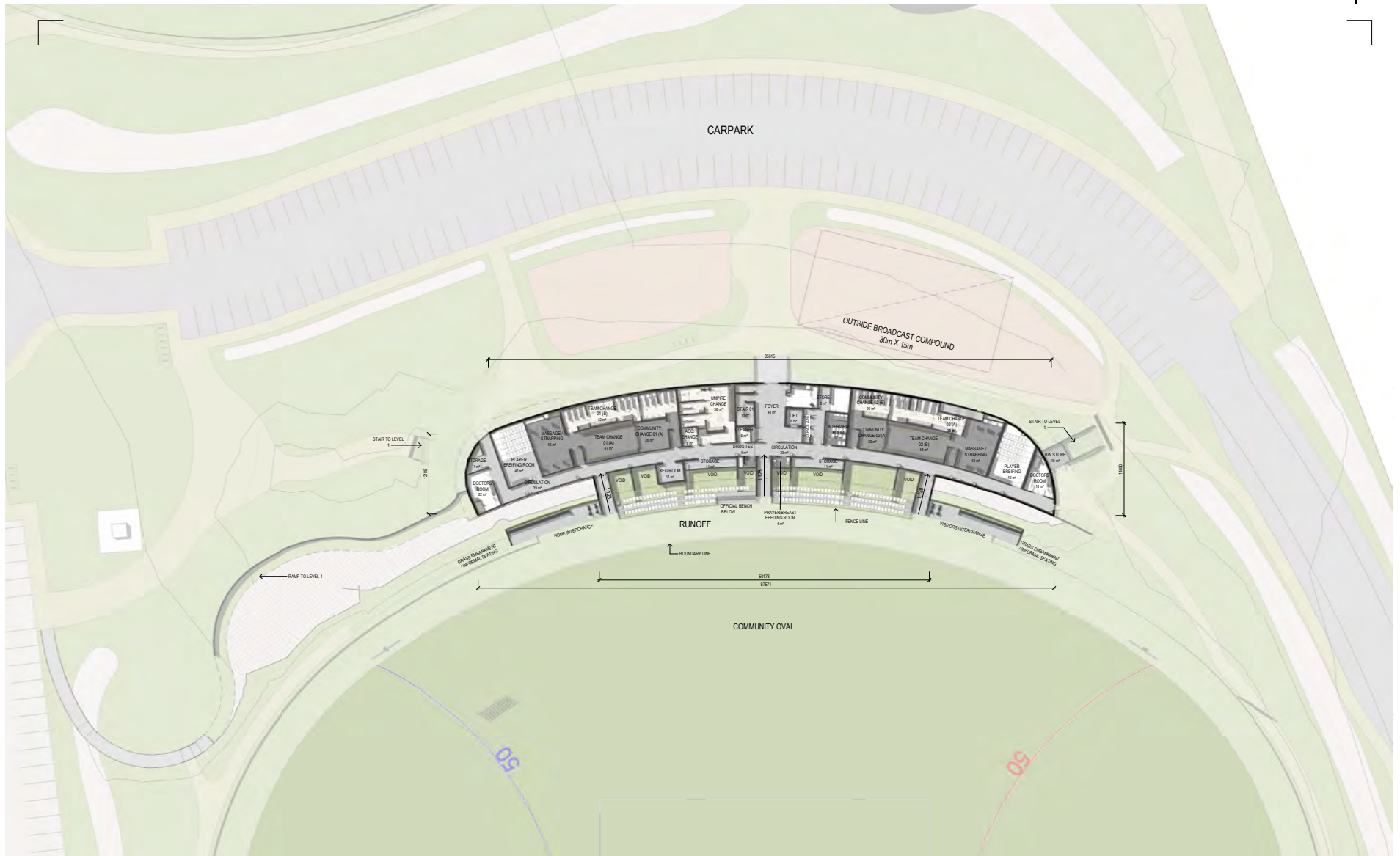
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TOWN PLANNING

REVISION:  
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DATE:  
JAN 2023

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N.T.S





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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058  
REASON FOR ISSUE:  
TOWN PLANNING

**COMMUNITY PAVILION  
LOWER GROUND**

REVISION: 6  
DATE: JAN 2023  
SCALE: 1:250 @ A1

DRAWING NO:  
**TP-026**



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#### KENNEDY COMMUNITY CENTRE MASTER PLAN

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

#### COMMUNITY PAVILION GROUND

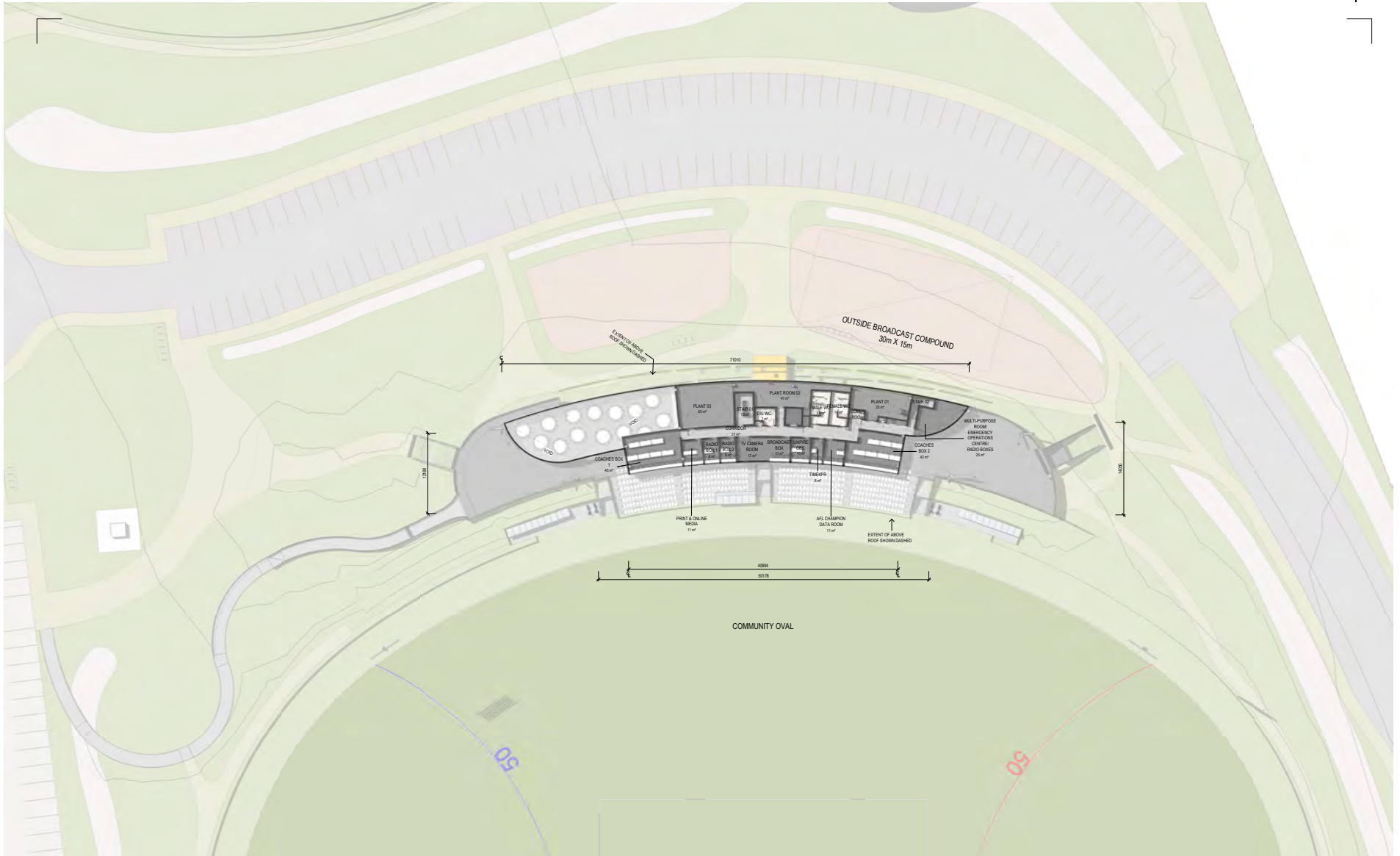
REVISION:  
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DATE:  
JAN 2023

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DRAWING NO:  
**TP-027**



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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

**COMMUNITY PAVILION**

**LEVEL 01**

REVISION:  
6

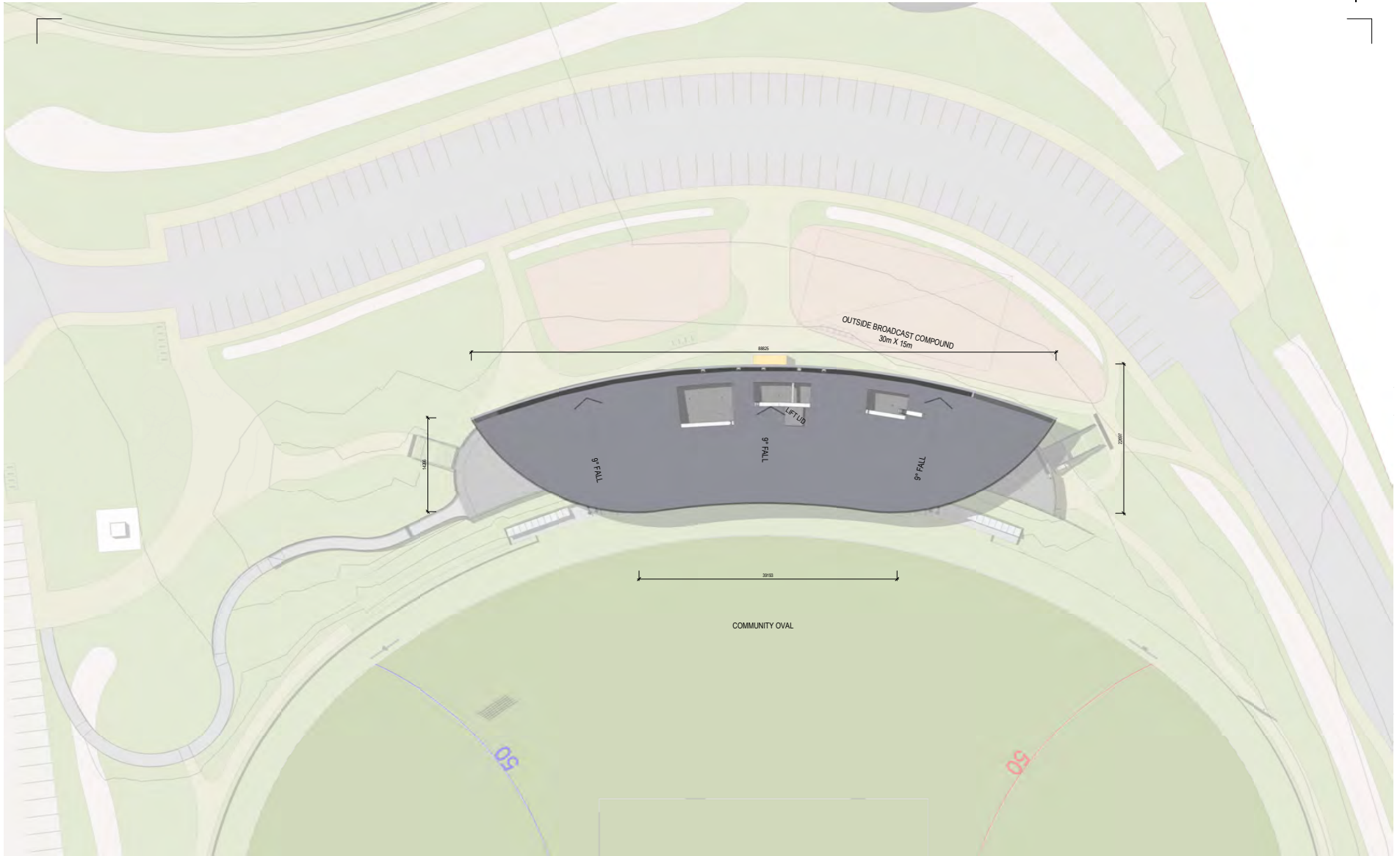
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DRAWING NO:  
**TP-028**





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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
**3-18-0058**

REASON FOR ISSUE:  
**TOWN PLANNING**

**COMMUNITY PAVILION  
ROOF**

REVISION:  
**6**

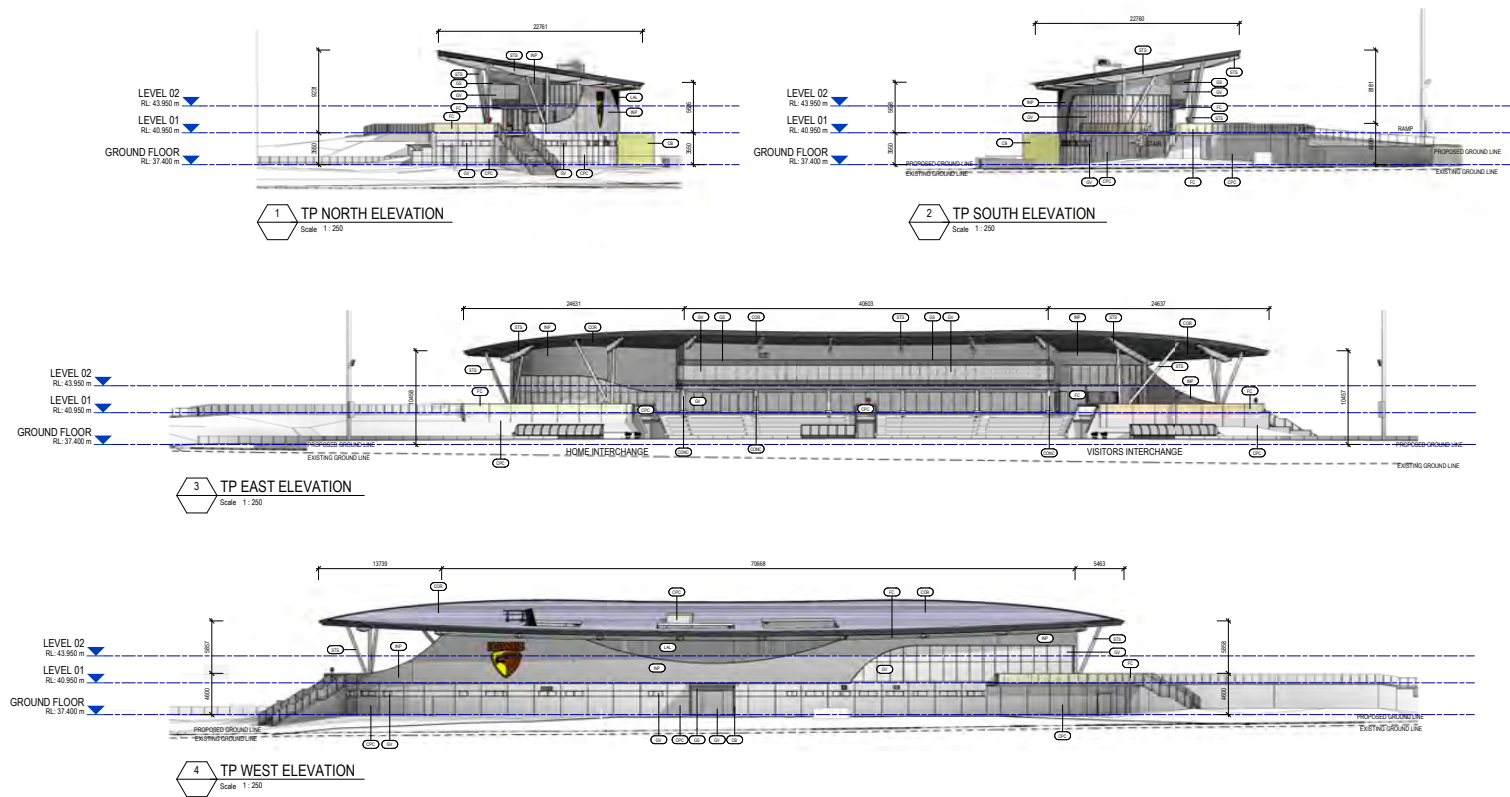
DATE:  
**JAN 2023**

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DRAWING NO:  
**TP-029**





CB	METAL WALL CLADDING
CONC	CONCRETE STRUCTURE
COR	METAL ROOFING / SOFFIT LINING
CPC	PRECAST CONCRETE
FC	FIBRE CEMENT SHEET
GP	POLYCARBONATE CLADDING
GS	SPANDREL GLAZING
GV	GLAZING
INP	INSULATED PANEL
LAL	VERTICAL LOUVRES POWDERCOATED
LGL	HORIZONTAL GLASS LOUVRES
MS	MILD STEEL PLATE POWDERCOATED
RD	ROLLER DOOR POWDERCOATED
SCR	ALUMINIUM POWDERCOATED SCREEN
STS	STEEL STRUCTURE

# PEDDLE THORP

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## KENNEDY COMMUNITY CENTRE MASTER PLAN

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

## COMMUNITY PAVILION ELEVATIONS

REVISION:  
6

DATE:  
JAN 2023

SCALE:  
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DRAWING NO:  
**TP-030**

d. Dingley Village -  
Considered Plans



OVERVIEW



CAR PARK ENTRY

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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
**3-18-0058**

REASON FOR ISSUE:  
**TOWN PLANNING**

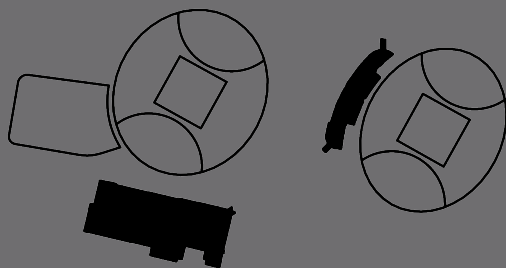
**COMMUNITY PAVILION  
EXTERNALS**

REVISION:  
**6**

DATE:  
**JAN 2023**

SCALE:  
**N.T.S**

DRAWING NO:  
**TP-031**



F. OVERALL DRAWINGS  
KENNEDY COMMUNITY CENTRE

PEDDLE THORP

KENNEDY COMMUNITY CENTRE

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

REVISION:  
6

DATE:  
JAN 2023

SCALE:  
N.T.S

# PEDDLE THORP

## KENNEDY COMMUNITY CENTRE HFC

LOWER GROUND	
ROOM / AREA	AREA(m²)
STORAGE	7
DOCTORS ROOM	19
PLAYER BRIEFING	42
MASSAGE / STRAPPING	43
STAIR 02	5
TEAM CHANGE 02 (A)	38
TEAM CHANGE 02 (B)	48
TEAM CH 02 AIRLOCK	4
COMMUNITY CHANGE 02 (A)	23
COMMUNITY CHANGE 02 AIRLOCK	4
COMMUNITY CHANGE 02 (B)	20
COMMS	11
INTERVIEW ROOM	17
STORE	6
FOYER	46
FIRST AID	15
STAIR 01	11
CLEANER	5
UMPIRE CHANGE	12
UMPIRE CHANGE	38
UMPIRE CHANGE	7
ACC CHANGE	6
COMMUNITY CHANGE 01 AIRLOCK	4
COMMUNITY CHANGE 01 (A)	47
TEAM CHANGE 01 (A)	42
TEAM CHANGE 01 (B)	4
MASSAGE / STRAPPING	46
PLAYER BRIEFING ROOM	46
DOCTORS ROOM	22
KID ROOM	11
STORAGE	11
DRUG TEST	4
PRAYER/BREAST FEEDING ROOM	4
STORAGE	11
CIRCULATION	33
BIN STORE	16
STORE 02	3
COMMUNITY CHANGE 01 (B)	21
STORE	11
UMPIRE CHANGE	8
CIRCULATION	39
CIRCULATION	31
CIRCULATION	32
CIRCULATION	42
LIFT	6
HYDRAULICS RISER	1
ELECTRICAL CUPBOARD	1
COMMS CUPBOARD	1
RISER	1
F.L.P	2
TOTAL (m²)	981

COMMUNITY PAV TOTAL GFA (m²) 1881

GROUND	
ROOM / AREA	AREA(m²)
FEMALE AMENITIES	7
KIOSK	19
STORE	6
STORE	13
FEMALE AMENITIES	25
ACC. WC	6
MALE AMENITIES	36
COOL ROOM	12
CLEANERS	5
KITCHEN STORE	29
STAIR 01	13
KITCHEN	31
FUNCTION ROOM	192
CORRIDOR	27
LIFT	6
MALE AMENITIES	12
FUNCTION BAR	21
FUNCTION ROOM	7
CORRIDOR	20
A.V RACK	1
HYD RISER	1
COMMS RISER	1
RISER	3
TOTAL (m²)	424

LEVEL 1	
ROOM / AREA	AREA(m²)
MULTI-PURPOSE ROOM	25
PLANT 01	25
COMMS	3
FEMALE WC	14
CORRIDOR 2	14
PLANT ROOM 02	41
DIS WC	7
STAIR 01	13
PLANT 02	55
COACHES BOX 1	45
PRINT & ONLINE MEDIA	11
RADIO BOX 1	9
RADIO BOX 2	8
TV CAMERA ROOM	17
BROADCAST BOX	11
UMPIRE OBS.	10
TIMEKEEP	6
AFL CHAMPION DATA ROOM	11
COACHES BOX 2	42
CORRIDOR	27
STAIR 02	8
PLANT ROOM 02 AIRLOCK	2
CORRIDOR	16
CORRIDOR	19
F.H.R.	1
HYD RISER	1
COMMS RISER	1
LIFT	6
F.H.R.	1
TOTAL (m²)	499

GROUND	
ROOM / AREA	AREA(m²)
POOL PLANT	51
AIRLOCK 1	10
FOYER 1	107
RECEPTION	37
RISER	3
RETAIL	79
HOLOGRAPHY HISTORY ROOM	15
MUSEUM	58
MERCH. STORE	44
ACC WC 2	6
UTILITIES	10
CORRIDOR 1	14
ACC WC 1	6
ACC WC 1	6
STAFF FEMALE WC	21
STAFF MALE WC	16
CORRIDOR 2	59
LINE 1	41
LINE 2	33
LINE 3	33
PAST PLAYER B ROOM	16
PP OFFICE	12
CORRIDOR 3	43
THEATRE	107
REC MTG	10
STAIR 2	13
OPEN WORK SPACE	265
PLAYER & STAFF BREAKOUT AREA	203
PLAYER PERFORMANCE SPACE	35
NECRUTMENT ROOM	27
PSYCH	10
FOCUS ROOM	26
KITCHEN	21
SERVERY	25
LIFT	6
STAIR 1	23
CORRIDOR 4	28
WAR ROOM	40
SERVICES ZONE	15
COACHES 1	64
OFFICE 2	35
OFFICE 3	35
AIRLOCK 2	9
PROPERTY	54
LOADING	39
HIGH PERFORMANCE COACH	51
OFFICE 5	10
MEETING 3	21
OFFICE 4	11
PHYSIO	48
DOCTOR 1	15
DOCTOR 2	17
ACC CH 1	7
ACC CH 1	16
STEAM ROOM	15
POOL CONCOURSE	238
25m POOL	121
INDOOR TRAINING	1513
OFFICE 1	35
COACHES 2	63
AFLW REC. OFFICE	12
CH 1	4
CH 2	4
HOT POOL	15
COLD POOL	15
MAD POOL	15
LIFT	6
CARDIO/WEIGHTS/GYM	520
CORRIDOR 5	232
CHANGE ROOM 2	8
CHANGE ROOM 3	8
STAIR 3	13
CHANGE ROOM 1	8
RISER	3
STORE	16
RISER	3
TOTAL (m²)	4859

\*CIRC / OPEN SPACE INCLUDES  
— RECEPTION  
— CAFE SERVING  
— RECREATION  
— KITCHEN

LEVEL 1	
ROOM / AREA	AREA(m²)
FOYER	134
MEETING 1	40
MEETING 2	38
BOARD ROOM	90
OFFICE 5	20
OFFICE 6	22
BALCONY	42
OFFICE 7	24
OFFICE 1	17
OFFICE 2	13
OFFICE 3	15
OFFICE 4	17
MALE TOILET	17
FEMALE TOILET	21
B FEED	5
PRAYER	5
LOCKERS	28
ACC 2	6
MEMBERSHIP	67
FOCUS 1	7
FOCUS 2	7
OPEN WORK SPACE	541
MEETING 3	40
OFFICE 8	24
STUDIO	28
MIXING	10
STORE	8
COMM ROOM	7
UTILITIES	12
PLAYER DEV.	52
BREAKOUT AREA	23
ACC 1	6
KITCHEN	14
PVC	23
FOCUS 3	8
FINANCE	47
LIFT	6
FOCUS	11
STAIR 1	25
RISER	2
PLAYER RECREATION	106
PLAYER EDUCATION	25
WOMENS CHANGE	198
MENS CHANGE	197
CLNS 1	4
CLNS 2	4
MASSAGE	87
COMMS ROOM	16
STORAGE	9
YOGA ROOM	110
ACC CHANGE	9
STORAGE	8
CORRIDOR 6	204
SLEEP ROOM	24
TOTAL (m²)	2523

HARRIS ETAF TOTAL GFA (m²) 7382

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## KENNEDY COMMUNITY CENTRE MASTER PLAN

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

## DEVELOPMENT SUMMARY

REVISION:  
6

DATE:  
JAN 2023

SCALE:  
N.T.S

DRAWING NO:

TP-033

Considered Plans

4.3 KP-2019/359/A - 94 Tootal Road, Dingley Village - KP-2019/359/A - 94 Tootal Road, Dingley Village -

Appendix 1



## SOLAR COLLECTING

Solar panels will be arrayed over the large amount of roof area cross the built form.  
Harvested energy will be used to power various things across the site and minimize energy use from the grid.



## NATURAL LIGHT

Large circulation areas within the complexes will feature translucent roof lighting to optimize natural light and minimize the need for artificial lighting



## ENERGY USE

North orientated glazing with canopy shading  
Low energy LED lighting internally  
Solar hot water where possible  
External walls with high thermal mass for minimal heat transfer  
Tinted double glazing for minimal heat transfer



All ESD initiatives can be used for education programs that run within the community education facility

## EMBODIED ENERGY

Use of low energy materials  
Methods to minimize waste on site during construction

- Re use of scrap material
- Improved quality control and process monitoring
- Waste exchanges
- Ship to point of use
- Zero waste



## STORM WATER RETENTION

Rainwater will be accumulated and stored in tanks for re-use on site



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## KENNEDY COMMUNITY CENTRE MASTER PLAN

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

## ENVIRONMENTALLY SUSTAINABLE DESIGN

REVISION:  
6

DATE:  
JAN 2023

SCALE:  
N.T.S

DRAWING NO:  
**TP-038**





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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

**FRONT GATE RENDER**

REVISION:  
6

DATE:  
JAN 2023

SCALE:  
N.T.S

DRAWING NO:  
**TP-039**





PROPOSED STREET VIEW FROM TOOTAL ROAD (WITHOUT TREES)



EXISTING STREET VIEW



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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058  
REASON FOR ISSUE:  
TOWN PLANNING

**VIEW FROM TOOTAL ROAD 1**

REVISION:  
6  
DATE:  
JAN 2023  
SCALE:  
N.T.S

DRAWING NO:  
**TP-040**





PROPOSED STREET VIEW FROM TOOTAL ROAD (WITHOUT TREES)



EXISTING STREET VIEW



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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058  
  
REASON FOR ISSUE:  
TOWN PLANNING

**VIEW FROM TOOTAL ROAD 2**

REVISION:  
6  
  
DATE:  
JAN 2023  
  
SCALE:  
N.T.S

DRAWING NO:  
**TP-041**





PROPOSED STREET VIEW FROM TOOTAL ROAD (WITHOUT TREES)



EXISTING STREET VIEW



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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

**VIEW FROM TOOTAL ROAD 3**

REVISION:  
6

DATE:  
JAN 2023

SCALE:  
N.T.S

DRAWING NO:  
**TP-042**





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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058  
REASON FOR ISSUE:  
TOWN PLANNING

**ARTISTS IMPRESSION 1**

REVISION:  
6  
DATE:  
JAN 2023  
SCALE:  
N.T.S

DRAWING NO:  
**TP-043**





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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058  
REASON FOR ISSUE:  
TOWN PLANNING

**ARTISTS IMPRESSION 2**

REVISION:  
6  
DATE:  
JAN 2023  
SCALE:  
N.T.S

DRAWING NO:  
**TP-044**





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**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

**ARTISTS IMPRESSION 3**

REVISION:  
6

DATE:  
JAN 2023

SCALE:  
N.T.S

DRAWING NO:  
**TP-045**





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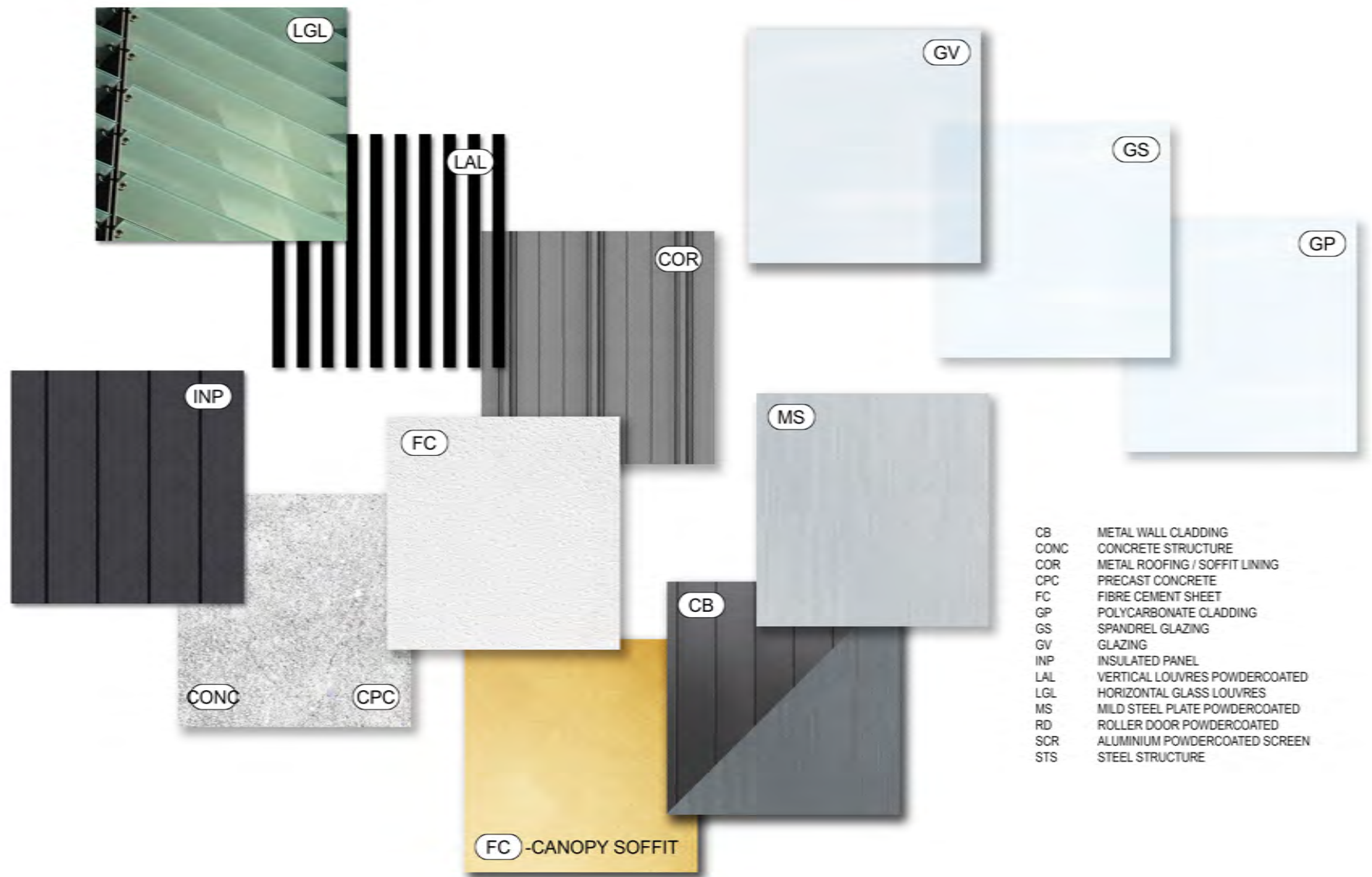
**KENNEDY COMMUNITY CENTRE MASTER PLAN**

PROJECT NO:  
3-18-0058  
REASON FOR ISSUE:  
TOWN PLANNING

**ARTISTS IMPRESSION 5**

REVISION:  
6  
DATE:  
JAN 2023  
SCALE:  
N.T.S

DRAWING NO:  
**TP-046**



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#### KENNEDY COMMUNITY CENTRE MASTER PLAN

PROJECT NO:  
3-18-0058

REASON FOR ISSUE:  
TOWN PLANNING

#### MATERIALS BOARD

REVISION:  
6

DATE:  
JAN 2023

SCALE:  
N.T.S

DRAWING NO:  
**TP-047**



# Kennedy Community Centre

Client: Hawthorn Football Club

Location: Tootal Rd, Dingley

Dwg No.	Drawing Title	Issue	Issue Note	Issue Date	Sheet Date	Checked by	Revision	Drawn by
LD1	Cover Sheet	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD2	Materials and Notes	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD3	Master Plan	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD4	Site Plan 01	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD5	Site Plan 02	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD6	Planting Plan 01	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD7	Planting Plan 02 & Plant List	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD8	General Plant List	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD9	Surfaces and Levels 01	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD10	Surfaces and Levels 02	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD11	Surfaces and Levels 03	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD12	Surfaces and Levels 04	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD13	Landscape Soil Depths	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD14	Landscape Service Plan	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD20	General Soft Landscaping Details	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD21	General Soft Landscaping Details	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD22	General Soft Landscaping Sections	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF
LD30	Tree Retain/Removal Plan	E	STAGE 1 PLANTING	5/5/2023	16/12/2022	RPM		NF



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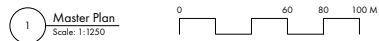
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DATE	15/05/2023	PROJECT	Kennedy Community Centre
CLIENT	Hawthorn Football Club	DATE	16/12/2022
PROJECT	Cover Sheet	DATE	16/12/2022
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Town Planning Landscape Notes - General Construction

- These notes are to read as a general guide for implementation of the landscape plan. This drawing is not for construction and is to be used for Town Planning purposes only. The final locations of all services and other assets may not be known at the town planning stage and the landscape plan may need to be revised to respond to building permit civil and architectural plans.
- Dismantling: Vegetation to be removed shall be mulched for re-use on the site. Strip and stockpile existing site topsoil prior to building works commencing and re-use in the landscape.
- Pavement: Consider using recycled concrete aggregate for sub-grade material. Drain pavements to garden beds (install sub-surface drains in garden beds to pour during each where logical).
- Weed Control: All areas shown on the drawings as mulched planting bed, grassed areas and trees in grassed areas shall include a weed eradication programme using an approved non-selective contact herbicide (2,4-Diquat/glyphosate) following the manufacturer's specifications. Leave sprayed areas for a period of 10 days prior to disturbance and repeat for any weeds still alive.
- Landscape Set Out: Install edging between all lawn areas and garden beds - type and location as shown in the drawings. The contractor is solely responsible for locating, avoiding and protection of all services on and associated with the site. Dial before you dig - telephone No: 1100.
- Sub-surface Drainage: Install sub-surface drainage which discharges to stormwater or soakage pits for any garden bed or grassed areas that is poorly drained.
- Sub-surface Drains: For garden bed areas and advanced trees, rip to depths shown in the planting details. Mark location of all underground services prior to commencing ripping operations.
- Soil and Additives: Control your load capacity to obtain advice on additives to adjust the pH level to the desired range of pH 5.5 to 7.0. Some plants tolerate high or low pH levels. If soil is heavy yellow clay, add gypsum at the rate of 1.5 - 2kg/m<sup>2</sup> for garden beds and 1.5 kg/m<sup>2</sup> for lawns. In very dry or hydrophobic soils a soil wetting agent shall be added.
- Soil Collection: After application of soil additives, cultivate plant bed and lawn areas to depths shown on planting plan so as to eliminate compaction and to mix sub-soil and soil additives.
- Topsoiling: Supply: One stripped topsoil shall be used where possible and improved as so to meet the specifications for imported topsoil blends in AS 4419:2003. All topsoil to meet this standard.
- Topsoiling: Spread topsoil as per detailed drawing.
- Mulching: Supply: Mulch to AS 4454:1999 or integrate as per drawings or informable when WMO.
- Mulching: Spread over all garden beds to max consolidated depth as per detail.
- Planting of Mulched Beds & Advanced Trees: Supply: Trees to comply with Nintex: Purchasing of Landscape Trees - A Field Guide to Assessing Tree Quality. Shrubbs shall demonstrate a large, well developed and healthy fibrous root system with repeated and sequential division and no evidence of root rot, restriction or damage.
- Planting: Set out plants in accordance with the drawings. Water plants prior to planting and when planted at a rate of: Trees & 140mm pots > 5 to 200 - 300mm pots > 10 to 300mm > 30 to 300mm > 30 to 300mm > 30 to 300mm. Climbers require a vine of well climbing frame.
- Planting of Grassed Areas: Supply: Install low water use grass such as Palmetto or St. Walter Buffalo. Use NPK 10-4-0 + trace elements lawn starter.
- Planting: Following preparation and topsoiling, re-grade to provide smooth contours and to eliminate soil clods. Apply half roll as per manufacturer's instructions. Keep continuously moist until established.
- Irrigation: Planting to be maintained and watered in for a period of 52 weeks after Practical Completion.

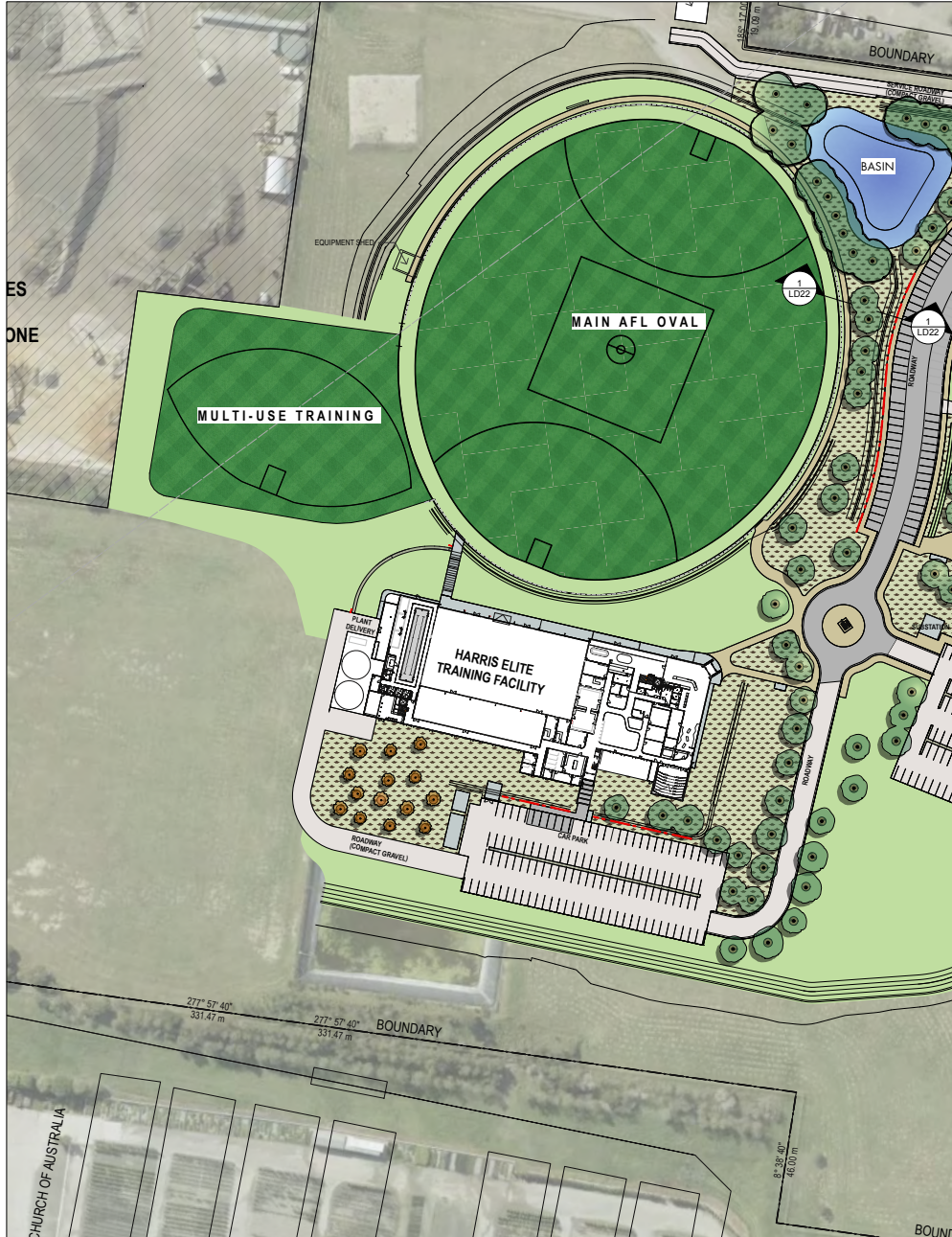




FILE	C	DATE	9/5/2022	REVISION	
PROJECT	Kennedy Community Centre				PROJECT #
CLIENT	Hawthorn Football Club		DATE	10-0-22	DWG #
DWG	Master Plan		SCALE	1:1	
			EXAMPLE	NO	
			DWG	APPRO	REVISION

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LEGEND

- Proposed Trees
- Proposed Mass Planted Areas
  - Herb Rich Woodland
- Proposed Surfaces
  - Playing Surface Turf
  - General Lawn Turf - Hydroseed
  - Native Grassland - Hydromulch
  - Sealed Road
  - Crushed Rock
  - Concrete Plain Grey
  - Pedestrian Path Granitic Sand
  - Garden Bed
- Detention Basin

1 Site Plan 01  
Scale: 1:750



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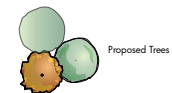
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NO.	DATE	DESCRIPTION	BY	CHECKED
0001	10/05/23	Kennedy Community Centre		
0002	10/05/23	Hawthorn Football Club		
0003	10/05/23	Site Plan 01		

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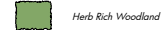


# LEGEND



Proposed Trees

## Proposed Mass Planted Areas



Herb Rich Woodland

## Proposed Surfaces



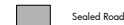
Playing Surface Turf



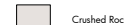
General Lawn Turf - Hydroseed



Native Grassland - Hydromulch



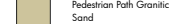
Sealed Road



Crushed Rock



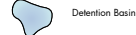
Concrete Plain Grey



Pedestrian Path Granitic Sand



Garden Bed



Detention Basin

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## Surfaces and Edges



Asphalt



Carpark\_Granitic Sand



Carpark /swale Edge



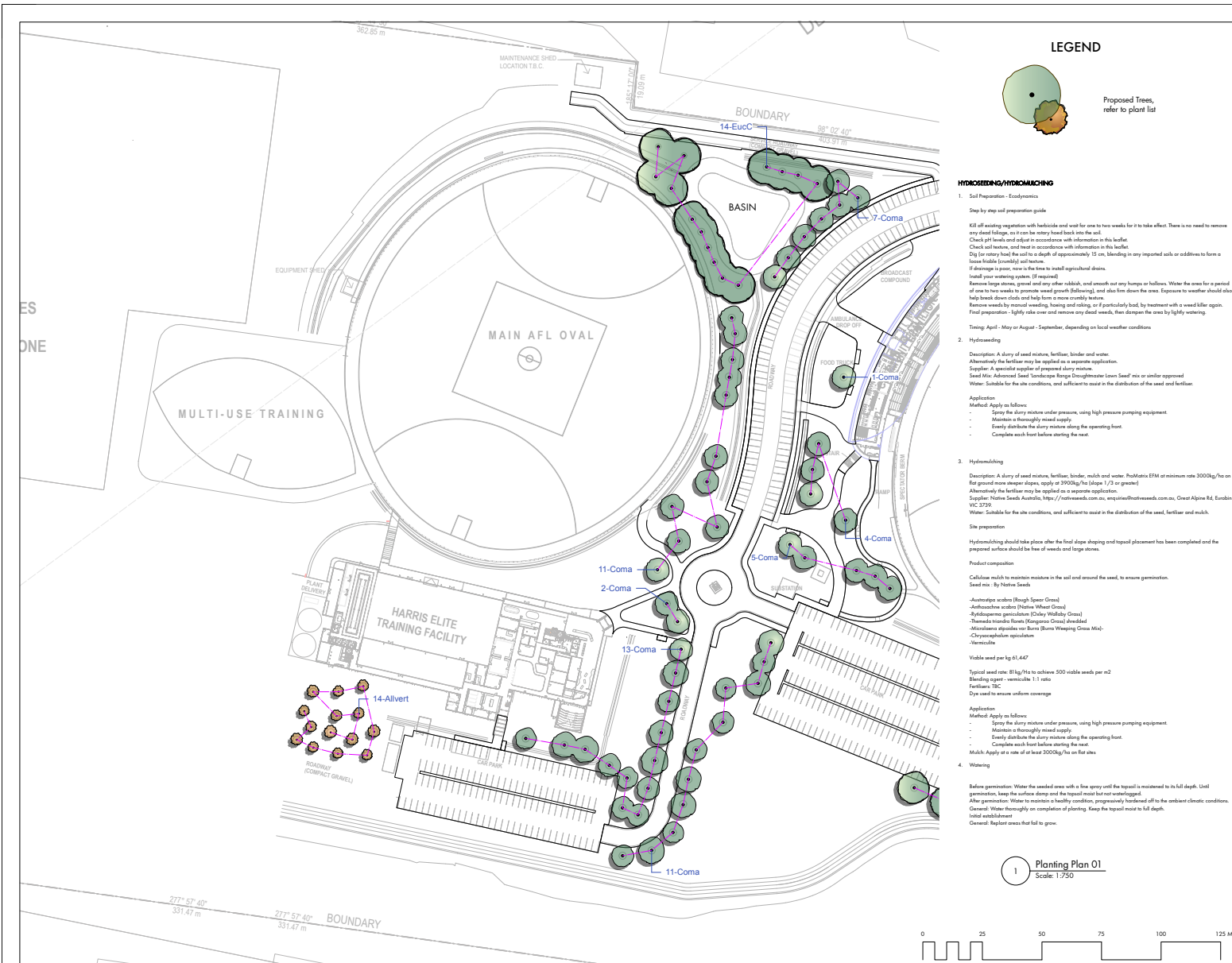
Pedestrian Path\_Toppings



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NO.	DATE	DESCRIPTION	BY	CHECKED
001	10/05/23	Kennedy Community Centre		
002	10/05/23	Hawthorn Football Club		
003	10/05/23	Site Plan 02		
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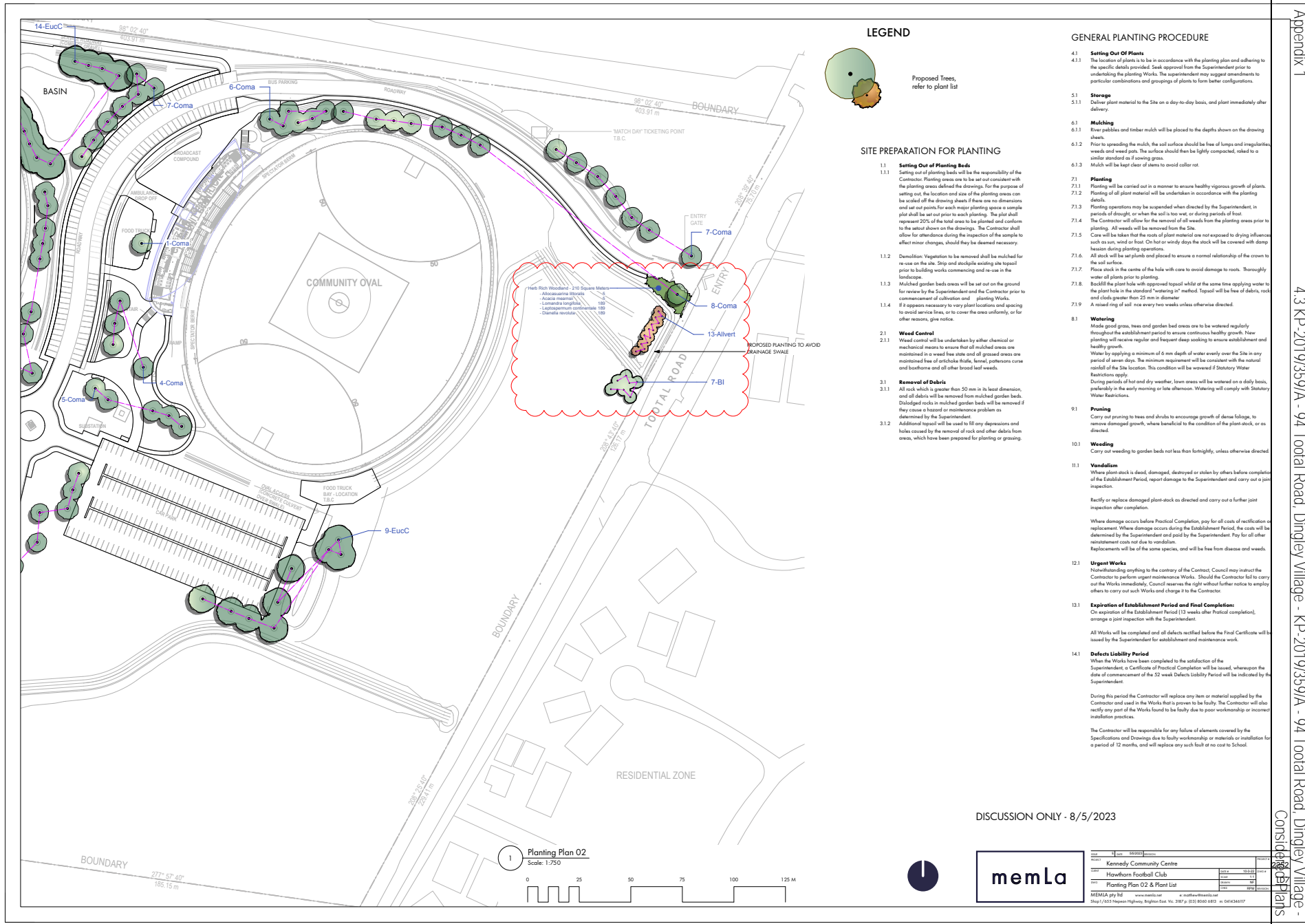


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
NO.	DATE	DESCRIPTION
001	10/03/2023	Initial Design
002	10/03/2023	Final Design
003	10/03/2023	Final Design

Kennedy Community Centre  
Hawthorn Football Club  
Planting Plan 01

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t: (03) 8540 6873  
e: info@memla.com.au





Individual Tree Planting List						
Image	ID	Qty	Common Name	Botanical Name	Scheduled Size	Mature Height
	Alvert	27	Drooping She-oak	<i>Allocasuarina verticillata</i>	2.0m HI 45 L	5 - 10m
	BI	7	Coastal Banksia	<i>Banksia integrifolia</i>	2.0m HI 45 L	5 - 10m
	Conia	78	Spotted Gum	<i>Corymbia maculata</i>	2.0m HI 45 L	25 - 30m
	RRG	23	River Red Gum	<i>Eucalyptus camaldulensis</i>	2.0m HI 45 L	25 - 30m
	Total	132				

TREE SPECIES



*Allocasuarina Verticillata*  
DROOPING SHE-OAK



*Banksia integrifolia*  
COASTAL BANKSIA



*Corymbia maculata*  
SPOTTED GUM



*Eucalyptus camaldulensis*  
RIVER RED GUM

Landscape Area - Mass Planting										
Area Name	Percent	Qty	Botanical Name	Common Name	Scheduled Size	Rate/Spacing	Plant ID	Pot Price \$	m2	
		Total								
Herb Rich Woodland		0								
		577								
	5	5	<i>Acacia melanophylla</i>	Black Wattle	Tubestock	0.5 Plants/m	Acacia	0.85		210.168
	5	5	<i>Adiantum species</i>	Black She Oak	Tubestock	0.5 Plants/m	Adiant	0.85		
	30	189	<i>Chamaelirium luteum</i>	Spreading Flax Lily	Tubestock	3 Plants/m	Chama	0.85		
	30	189	<i>Lepidosperma confertiflorum</i>	Prickly Tea Tree	Tubestock	3 Plants/m	Lepido	0.85		
	30	189	<i>Lomandra longifolia</i>	Spiny-headed Mat-Rush	Tubestock	3 Plants/m	Lomandra	0.85		

MASS PLANTING SPECIES  
Herb Rich Woodland



*Allocasuarina Verticillata*  
BLACK SHE OAK



*Acacia melanophylla*  
BLACK WATTLE



*Chamaelirium luteum*  
BLUEBERRY FLAX LILY



*Lepidosperma confertiflorum*  
PRICKLY TEA TREE



*Lomandra longifolia*  
SPINY-HEADED MAT-RUSH

DISCUSSION ONLY - 8/5/2023






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MEMIA	10/10/2023	MEMIA
MEMIA	Kennedy Community Centre	MEMIA
MEMIA	Hawthorn Football Club	MEMIA
MEMIA	General Plant List	MEMIA
MEMIA	MEMIA	MEMIA

Considered Plans



LEGEND

-  Proposed Trees, refer to plant list
-  Existing Trees to be Removed
-  Existing Trees to be Retained

DISCUSSION ONLY - 8/5/2023



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MEMIA	1	08/05/2023	MEMIA
PROJECT	Kennedy Community Centre		
CLIENT	Hawthorn Football Club		
DATE	08/05/2023	MEMIA	1
MEMIA	1	08/05/2023	MEMIA
Tree Retain/Removal Plan			
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