

Agenda

Planning Committee Meeting

Wednesday, 20th March 2024

Commencing at 7.00pm

Council Chamber
1230 Nepean Highway, Cheltenham

kingston.vic.gov.au

Peter Bean
Chief Executive Officer
Kingston City Council

**City of Kingston
Planning Committee Meeting**

Agenda

20 March 2024

Notice is given that Planning Committee Meeting of Kingston City Council will be held at 7.00pm at Council Chamber, 1230 Nepean Highway, Cheltenham, on Wednesday, 20 March 2024.

1. Apologies

2. Confirmation of Minutes of Previous Meetings

Minutes of Planning Committee Meeting 13 December 2023

3. Foreshadowed Declaration by Councillors, Officers or Contractors of any Conflict of Interest

Note that any Conflicts of Interest need to be formally declared at the start of the meeting and immediately prior to the item being considered – type and nature of interest is required to be disclosed – if disclosed in writing to the CEO prior to the meeting only the type of interest needs to be disclosed prior to the item being considered.

4. Planning and Place Reports

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- 4.2 KP-2022/834 - 10 Central Avenue, Moorabbin 17
- 4.3 KP-2023/574 - 1-7 Wells Road and Jack Grut Reserve, Mordialloc .. 135
- 4.4 Chelsea Structure Plan - Communications and Engagement Strategy263

5. Confidential Items

Nil

4. Planning and Place Reports

Planning Committee Meeting

20 March 2024

Agenda Item No: 4.1

TOWN PLANNING APPLICATION DECISIONS - FEBRUARY 2024

Contact Officer: Carly De Mamiel, Senior Customer Liaison and Administration Officer

Attached for information is the report of Town Planning Decisions for the month of January 2024.

A summary of the decisions is as follows:

| Type of Decision | Number of Decisions Made | Percentage (%) |
|--|--------------------------|----------------|
| Planning Permits | 67 | 77 |
| Notice of Decision | 12 | 14 |
| Refusal to Grant a Permit | 1 | 1 |
| Other - Withdrawn (5) - Prohibited (0) - Permit not required (0) - Lapsed (2) - Failure to Determine (0) | 7 | 8 |
| Total | 87 | 100 |

(NB: Percentage figures have been rounded)

OFFICER RECOMMENDATION

That the report be noted.

Appendices

Appendix 1 - Town Planning Application Decisions - February 2024 (Ref 24/61110) 

Author/s: Carly De Mamiel, Senior Customer Liaison and Administration Officer

Reviewed and Approved By: Heidi Heath, Team Leader City Development Administration

4.1

TOWN PLANNING APPLICATION DECISIONS - FEBRUARY 2024

| | | |
|---|---|---|
| 1 | Town Planning Application Decisions - February 2024 | 9 |
|---|---|---|

| Planning Decisions February, 2024 | | | | | | | |
|--|-----------------------------------|---------------|-------------------|---------------------|--|-----------------|----------------------|
| APPL. No. | PROPERTY ADDRESS | SUBURB | APPL. DATE | DATE DECIDED | PROPOSAL DESCRIPTION | DECISION | VCAT DECISION |
| KP-2023/628 | 6A Gnotuk Avenue | ASPENDALE | 22/11/2023 | 1/02/2024 | Building and works associated with a ramp to Boatshed 691 | Permit | No |
| KP-2019/569/B | 260-280 Chesterville Road | MOORABBIN | 5/07/2023 | 1/02/2024 | Use and Development of the land for a staged mixed-use development comprising Offices, Food and Drink Premises (excluding Bar and Hotel), Child Care Centre, Market, Function Centre and Restricted Recreation Facility, Sale and Consumption of Liquor (General Licence & On-Premises Licence), the display | Permit | No |
| KP-2023/233 | 156 Balcombe Road | MENTONE | 5/05/2023 | 1/02/2024 | The use of the land for community care accommodation and the construction of a four (4) storey building containing five (5) dwellings and nine (9) community care accommodation units | Refused | No |
| KP-2021/155/A | 19 Elman Road | CHELTENHAM | 24/08/2023 | 1/02/2024 | Buildings and works for the construction of a three storey apartment building in an Activity Centre Zone and a Special Building Overlay | Permit | No |
| KP-2023/708 | Warehouse 7 82 Levanswell Road | MOORABBIN | 11/12/2023 | 1/02/2024 | The use of the land as a container deposit scheme centre and a reduction in the car parking requirement | Permit | No |
| KP-2023/508 | 14 Aurea Court | CLARINDA | 12/09/2023 | 2/02/2024 | Subdivide the land into three (3) lots | Permit | No |
| KP-2023/549 | 57 Keys Road | MOORABBIN | 16/10/2023 | 2/02/2024 | Subdivide the land into seven (7) lots | Permit | No |
| KP-2023/335 | 2 23 Bowman Street | ASPENDALE | 13/06/2023 | 2/02/2024 | The construction of two (2) double storey dwellings | Permit | No |

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|---------------|-----------------------------|-------------------|------------|-----------|---|--------------------|----|
| KP-2023/337 | 1 25 Bowman Street | ASPENDALE | 13/06/2023 | 2/02/2024 | The construction of two (2) double storey dwellings ** Sent letter to owner requesting full Form 23 ** | Permit | No |
| KP-2020/537/A | 191-199 Spring Road | DINGLEY VILLAGE | 5/10/2023 | 2/02/2024 | The use of the land for a plant nursery and associated buildings and works | Permit | No |
| KP-2022/191/A | 11-33 Narelle Drive | ASPENDALE GARDENS | 7/12/2023 | 2/02/2024 | Development of building and works to the existing building, to construct business identification signage and to reduce the car parking requirement | Permit | No |
| KP-2023/203 | 77 Larnook Crescent | ASPENDALE | 27/04/2023 | 5/02/2024 | Development of six (6) dwellings | Notice of Decision | No |
| KP-2024/23 | 3 Gainsborough Road | MENTONE | 24/01/2024 | 5/02/2024 | The construction of a ground floor extension to an existing single storey dwelling in the Special Building Overlay | Permit | No |
| KP-2024/20 | Unit 1 16 Murphy Street | CLARINDA | 23/01/2024 | 5/02/2024 | Subdivide the land into two (2) lots | Permit | No |
| KP-2023/674 | 96-114 Como Parade West | MENTONE | 4/12/2023 | 6/02/2024 | To construct and put up for display an internally illuminated promotional sign | Withdrawn | No |
| KP-2023/370 | Rear 611-628 Nepean Highway | CARRUM | 28/06/2023 | 7/02/2024 | Removal of native vegetation in accordance with Clause 52.17 | Permit | No |
| KP-2020/420/B | 66 Bay Trail | MENTONE | 19/10/2023 | 8/02/2024 | Use of the land for an innominate use (Life saving club), place of assembly and sale and consumption of liquor (restricted club licence), reduce the car parking requirements of Clause 52.06 and removal of native vegetation pursuant to Clause 52.17 | Permit | No |

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|---------------|-----------------------------|-----------------|------------|------------|---|--------------------|----|
| KP-2022/115 | 13 James Street | CLAYTON SOUTH | 25/02/2022 | 8/02/2024 | Construction of a warehouse in the Special Building Overlay | Permit | No |
| KP-2023/411 | 3 Fifth Street | PARKDALE | 21/07/2023 | 8/02/2024 | The construction of two (2) double storey dwellings | Permit | No |
| KP-2023/413 | 4 Royal Road | BONBEACH | 11/09/2023 | 8/02/2024 | The construction of two (2) double storey dwellings | Permit | No |
| KP-2018/912/A | 2 157 Beach Road | PARKDALE | 18/08/2023 | 8/02/2024 | An extension to a dwelling & associated works on a lot less than 300sqm | Permit | No |
| KP-2024/9 | 27 Edmond Street | PARKDALE | 15/01/2024 | 8/02/2024 | Subdivide the Land into Two (2) Lots | Permit | No |
| KP-2023/551 | 11 Maury Road | CHELSEA | 17/10/2023 | 9/02/2024 | Development of two (2) double storey dwellings | Permit | No |
| KP-2024/24 | Unit 1 41 Riviera Street | MENTONE | 29/01/2024 | 10/02/2024 | Subdivide the land into two (2) lots | Permit | No |
| KP-2005/160/C | Opposite 35 Waterside Drive | WATERWAYS | 3/11/2023 | 13/02/2024 | The construction of buildings and works on this site and to use for a food and drink premises (cafe) | Notice of Decision | No |
| KP-2024/28 | 72 Argus Street | CHELTENHAM | 30/01/2024 | 14/02/2024 | Subdivide the land into two (2) lots | Permit | No |
| KP-2023/122 | 16 Keamy Avenue | CHELTENHAM | 17/03/2023 | 14/02/2024 | The construction of three (3) double storey dwellings | Permit | No |
| KP-2023/339 | 13 19-23 Clarinda Road | OAKLEIGH SOUTH | 13/06/2023 | 14/02/2024 | The use of the land as an education centre (training centre) and a reduction of the car parking requirement | Permit | No |
| KP-2023/538 | 21 149 Thames Promenade | CHELSEA HEIGHTS | 6/10/2023 | 14/02/2024 | The construction of an extension to the existing dwelling | Permit | No |
| KP-2023/659 | 27A Capella Crescent | MOORABBIN | 18/12/2023 | 14/02/2024 | Use of the land for the sale of packaged liquor | Permit | No |
| KP-2023/54 | 4 213-223 Wells Road | CHELSEA HEIGHTS | 2/02/2024 | 14/02/2024 | The construction of a warehouse and a reduction in the car parking requirement | Permit | No |
| KP-2022/329/A | 1 59 Wilson Street | CHELTENHAM | 1/02/2024 | 14/02/2024 | The construction of a front fence | Permit | No |

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|---------------|--------------------------------|-----------------|------------|------------|---|--------------------|----|
| KP-2022/140/A | Warehouse 14 1-5 Lake Drive | DINGLEY VILLAGE | 6/02/2024 | 14/02/2024 | The construction of a mezzanine level in an existing warehouse | Permit | No |
| KP-2024/22 | 6 104-110 Keys Road | CHELTENHAM | 1/02/2024 | 14/02/2024 | The construction of buildings and works including a mezzanine in the existing warehouse | Permit | No |
| KP-2024/33 | 24-26 Hinkler Road | MORDIALLOC | 6/02/2024 | 14/02/2024 | Buildings and works associated with the installation of a biogas system | Permit | No |
| KP-2023/503 | 11 Houston Street | MENTONE | 6/09/2023 | 14/02/2024 | Development of the land for the construction of two (2) dwellings | Notice of Decision | No |
| KP-2024/25 | 34 Fletcher Street | MOORABBIN | 29/01/2024 | 15/02/2024 | Subdivide the land into two (2) lots | Permit | No |
| KP-2022/838 | 13 White Street | PARKDALE | 29/12/2022 | 15/02/2024 | The construction of three (3) double storey dwellings | Permit | No |
| KP-2022/472 | 5 View Street | MENTONE | 14/07/2022 | 15/02/2024 | The construction of two (2) double storey dwellings | Notice of Decision | No |
| KP-2023/513 | 104 Station Street | ASPENDALE | 15/09/2023 | 15/02/2024 | Development of two (2) double-storey side-by-side dwellings | Notice of Decision | No |
| KP-2016/276/A | 53A Nepean Highway | ASPENDALE | 18/10/2022 | 15/02/2024 | In accordance with the endorsed plans: Construction of a residential apartment building in DDO1 with part of the building having a floor to ceiling height over 3.5 metres. Buildings and works within DDO7. Alteration of access to a Road Zone Category 1. | Notice of Decision | No |
| KP-2023/557 | 21-23 Wannan Street | HIGHETT | 17/10/2023 | 15/02/2024 | The use of the land for motor vehicle sales | Notice of Decision | No |
| KP-2024/45 | 17 Hartwell Place | CHELTENHAM | 14/02/2024 | 16/02/2024 | Subdivide the land into two (2) lots | Permit | No |

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|---------------|----------------------------|------------|------------|------------|--|--------------------|----|
| KP-2023/347 | 30 Second Street | PARKDALE | 15/06/2023 | 16/02/2024 | Construction of two (2) dwellings on a lot | Permit | No |
| KP-2021/734 | 1026 Nepean Highway | MOORABBIN | 22/10/2021 | 16/02/2024 | In accordance with the endorsed plans Use and develop the land for a child care centre and to create access to a road in a Transport Zone 2 | Permit | No |
| KP-2022/306 | 28 Railway Parade | HIGHETT | 9/05/2022 | 16/02/2024 | The construction of two (2) double storey dwellings | Permit | No |
| KP-2024/46 | 17 Park Street | MORDIALLOC | 14/02/2024 | 16/02/2024 | Subdivide the Land into Two (2) Lots | Permit | No |
| KP-2023/566 | 20 Antibes Street | PARKDALE | 19/10/2023 | 16/02/2024 | The construction of two (2) double storey dwellings | Notice of Decision | No |
| KP-2023/425 | 35 Weymar Street | CHELTENHAM | 31/07/2023 | 16/02/2024 | Develop the land for two (2) dwellings | Permit | No |
| KP-2023/573 | 756-768 Springvale Road | BRAESIDE | 25/10/2023 | 16/02/2024 | Proposed 2M high brick fence & wrought iron fence along existing boundary with new entry gates | Lapsed | No |
| KP-2022/825 | 20 Matthieson Street | HIGHETT | 22/12/2022 | 19/02/2024 | The construction of two (2) double storey dwellings | Permit | No |
| KP-2024/44 | 5 Darvall Court | CHELTENHAM | 14/02/2024 | 19/02/2024 | Subdivide the land into two (2) lots | Permit | No |
| KP-2023/552 | 1-3 Tarnard Drive | BRAESIDE | 17/10/2023 | 20/02/2024 | To construct a building (fence) in a Land Subject to Inundation Overlay (LSIO) | Permit | No |
| KP-2024/21 | 18 The Waterways Boulevard | WATERWAYS | 23/01/2024 | 20/02/2024 | Alterations and additions to dwelling in DDO6 & IPO2 planning overlay. | Withdrawn | No |
| KP-2023/562 | 1 1383 Nepean Highway | CHELTENHAM | 18/10/2023 | 20/02/2024 | The construction of buildings and works to the existing buildings including an extended roof | Permit | No |
| KP-2002/406/C | 36 La Perouse Boulevard | BONBEACH | 17/01/2024 | 20/02/2024 | The development of the land for 178 dwellings, the subdivision of the land into 178 lots and the removal of an easement from the land, in | Withdrawn | No |

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|---------------|------------------------|-------------------|------------|------------|--|--------------------|----|
| | | | | | accordance with plans submitted pursuant to Condition 1 hereof | | |
| KP-2019/36/A | 972-988 Nepean Highway | MOORABBIN | 12/09/2023 | 20/02/2024 | To construct and put up for display business identification signs and buildings and works (extension to building and façade upgrade) | Permit | No |
| KP-2020/115/A | 43 Golden Avenue | CHELSEA | 22/09/2023 | 20/02/2024 | Development of land for five (5) dwellings | Permit | No |
| KP-2014/957/C | 30-36 Edithvale Road | EDITHVALE | 6/10/2023 | 21/02/2024 | The construction of ten (10) double storey dwellings and to create access to a road in a Transport Zone 2 | Permit | No |
| KP-2023/404 | 213 Chesterville Road | MOORABBIN | 19/07/2023 | 21/02/2024 | Subdivide the land into Twenty Three (23) Lots and Removal of Easement E-1 (drainage and sewerage) from Lot 1 and Lot 2 on TP709415F | Notice of Decision | No |
| KP-2024/38 | 23 Langrigg Avenue | EDITHVALE | 9/02/2024 | 21/02/2024 | The construction of a double storey dwelling in the Special Building Overlay | Permit | No |
| KP-2024/1 | 37 Barbara Street | MOORABBIN | 3/01/2024 | 21/02/2024 | Subdivide the Land into Three (3) Lots | Permit | No |
| KP-2023/418 | 2 Springvale Road | ASPENDALE GARDENS | 24/07/2023 | 21/02/2024 | The sale and consumption of liquor on the premises in association with a convenience restaurant | Permit | No |
| KP-2023/278 | 1355 Nepean Highway | CHELTENHAM | 25/05/2023 | 22/02/2024 | The use and development of the land for a display home centre and display of business identification signage. | Permit | No |
| KP-2023/446 | 1308 Centre Road | CLAYTON SOUTH | 15/08/2023 | 22/02/2024 | The development of a permanent food truck, retractable awning and storage rooms (part retrospective) associated with an existing food and drink premises in the Special Building Overlay | Permit | No |

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|---------------|--------------------------|-----------------|------------|------------|---|--------------------|----|
| KP-2023/606 | 1239-1241 Nepean Highway | CHELTENHAM | 14/11/2023 | 22/02/2024 | Use of land for the sale of Packaged Liquor | Permit | No |
| KP-2023/722/A | 75 Chute Street | MORDIALLOC | 14/02/2024 | 22/02/2024 | The construction of a double storey dwelling in the Special Building Overlay | Permit | No |
| KP-2023/535 | 10 Duke Street | ASPENDALE | 5/10/2023 | 22/02/2024 | The development of two (2) double-storey side-by-side dwellings | Notice of Decision | No |
| KP-2023/348 | 17 Brigantine Court | PATTERSON LAKES | 6/07/2023 | 23/02/2024 | The development of two double storey dwellings | Lapsed | No |
| KP-1998/800/A | 35A Matthieson Street | HIGHETT | 28/11/2023 | 23/02/2024 | To develop and use the site for a dual occupancy, in accordance with plans to be submitted pursuant to Condition 1 hereof. | Notice of Decision | No |
| KP-2023/248 | 270-271 Nepean Highway | EDITHVALE | 11/05/2023 | 23/02/2024 | The display of internally illuminated and business identification signage | Permit | No |
| KP-2023/383 | 31 Graham Road | CLAYTON SOUTH | 4/07/2023 | 23/02/2024 | Buildings and works associated with the land as warehouse (as of right) and reduction in car parking | Permit | No |
| KP-2021/462/A | 243 Charman Road | CHELTENHAM | 30/11/2023 | 23/02/2024 | To use the land for the sale and consumption of liquor (General Licence) | Permit | No |
| KP-2023/645 | Unit 4 435 Main Street | MORDIALLOC | 28/11/2023 | 26/02/2024 | Boundary realignment to include part of the common property area into Lot 4 creating a new lot 4A | Permit | No |
| KP-2024/62 | 73 Wilson Street | CHELTENHAM | 21/02/2024 | 26/02/2024 | Subdivide the land into two (2) lots | Permit | No |
| KP-2024/52 | 3 104-110 Keys Road | CHELTENHAM | 19/02/2024 | 26/02/2024 | The construction of a mezzanine level and alterations and additions to the existing warehouse | Permit | No |
| KP-2023/655 | 4 Barwon Court | CLAYTON SOUTH | 1/12/2023 | 26/02/2024 | Variation of the restrictive covenant contained in transfer No. H409780 applicable to Lot 71 on LP118086 (9291/952) by adding the words "or | Permit | No |

| | | | | | | | |
|---------------|---------------------------|------------|------------|------------|---|--------------------|----|
| | | | | | rendered material" after the words "brick veneer" | | |
| KP-2024/63 | 77 Broadway | BONBEACH | 21/02/2024 | 27/02/2024 | Subdivide the Land into Two (2) Lots | Permit | No |
| KP-2024/61 | 1 201-202 Beach Road | MORDIALLOC | 22/02/2024 | 27/02/2024 | The construction of a front fence, deck and awning in the Special Building Overlay | Permit | No |
| KP-2016/782/A | 16 Balcombe Road | MENTONE | 11/10/2022 | 27/02/2024 | Amend planning permit condition 2 to extend the operating hours of the health and fitness studio from 6:00am to 5:00am Monday to Saturday and operate on Sundays between 8:30am to 10:30am | Withdrawn | No |
| KP-2023/448 | 3 143 McDonald Street | MORDIALLOC | 11/08/2023 | 28/02/2024 | The construction of buildings and works, the use of the land as a food and drink premises (cafe), the sale and consumption of liquor on the premises and a reduction in the car parking requirement | Notice of Decision | No |
| KP-2024/37 | Unit 7 71-109 Bourke Road | CLARINDA | 12/02/2024 | 28/02/2024 | The construction of a verandah associated with the existing dwelling | Withdrawn | No |
| KP-2024/68 | 2 Anita Court | CARRUM | 26/02/2024 | 28/02/2024 | Subdivide the land into Two (2) Lots | Permit | No |
| KP-2023/624 | 27 Myola Street | CARRUM | 21/11/2023 | 29/02/2024 | Subdivide the Land into Three (3) Lots | Permit | No |
| KP-2020/705/B | 33 Hinkler Road | MORDIALLOC | 22/11/2023 | 29/02/2024 | Use and development of the site for an Indoor Recreation Facility | Permit | No |
| KP-2021/698/A | 364 Nepean Highway | PARKDALE | 6/12/2023 | 29/02/2024 | Develop the land for the construction of two (2) dwellings | Permit | No |
| KP-2004/884/A | 2 29 Mascot Avenue | BONBEACH | 7/02/2024 | 29/02/2024 | The construction on the land of two (2) double storey dwellings in accordance with the endorsed plans | Permit | No |

Planning Committee Meeting

20 March 2024

Agenda Item No: 4.2

KP-2022/834 - 10 CENTRAL AVENUE, MOORABBIN

Contact Officer: Kirsty Slater, Principal Statutory Planner

Purpose of Report

This report is for the Planning Committee to consider Planning Permit Application No. KP-2022/834 - 10 Central Avenue, Moorabbin.

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

RECOMMENDATION

That the Planning Committee determine to support the proposal and issue a Notice of Decision for the Construction of a eight (8) storey mixed use building with roof top terrace and basement car parking, a reduction in the standard car parking rate associated with office use and the removal of covenants from title at 10 Central Avenue, Moorabbin subject to the conditions contained within this report.

This application requires a decision by Council as it has been classified as an application of major significance.

EXECUTIVE SUMMARY

| | |
|--------------------------|--------------------------------------|
| Address | 10 Central Avenue, MOORABBIN |
| Legal Description | Lots 1 to 5 (inclusive) on PS 062572 |
| Applicant | PWP Pty Ltd |
| Planning Officer | Kirsty Slater |

PLANNING REQUIREMENTS

| | |
|------------------------------|---|
| Planning Scheme | Kingston |
| Zoning | Clause 37.08 – Activity Centre Zone – Schedule 3 |
| Overlays | None |
| Particular Provisions | Clause 52.02 – Easements, restrictions and reserves Clause 52.06 – Car Parking Clause 52.34 – Bicycle Facilities Clause 58 – Apartment Developments |
| Permit Trigger/s | Clause 37.08 – 2 – Use of land for dwellings (Section 2 use) where the frontage at ground floor level exceeds 2 metres. Clause 37.08-2 – Use of land for office (Section 2 use) where the frontage at ground floor level exceeds 2 metres. Clause 37.08-5 – To construct a building or to construct or carry out works. |

Clause 52.02- A permit is required before a person can proceed under Section 23 of the *Subdivision Act 1988* to create, vary or remove an easement or restriction or vary or remove a condition in the nature of an easement in a Crown grant.
 Clause 52.06-5 – A reduction in the standard car parking requirements associated with dwellings and office.

APPLICATION / PROCESS

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|---------------------------|---|------------------------------|------------------------|
| Proposal | Construction of a nine (9) storey mixed use building with roof top terrace and basement car parking, containing dwellings. Shop and office premises. The reduction in the standard car parking requirements and the removal of a restriction on title covenant. | | |
| Reference No. | KP-2022/834 | RFI Received | 25 August 2023 |
| App. Received | 22 December 2022 | App. Amended | N/A |
| Site inspection | Yes – 24 January 2024 | | |
| S.52 Advertising | Commenced: 25 September 2023 | Advertising Completed | Yes 1 November 2023 |
| S.55 Referrals | None | | |
| Internal referrals | Yes | | |
| Objection(s) | Nine (9) (TRIM checked on 23 February 2024) | | |
| ESD Summary | The proposal achieves a BESS score of 70% which is considered “Excellence”. The proposal includes the following commitments: <ul style="list-style-type: none"> • 50% of the development’s apartments are naturally cross-ventilated. • The non-residential areas are targeting a 2% DF to 60% of the nominated area. • The ventilation system for the commercial office areas will be designed to achieve, monitor and maintain CO2 concentrations below 800ppm. • The BESS Built-in Calculator has been used to demonstrate daylight compliance. • The development is provided with a comprehensive shading strategy. • The development is to achieve a 7.5 Star average NatHERS Energy Rating result. • The non-residential areas aim to reduce heating and cooling energy consumption below the reference case (BCA Section J 2019). • The development is to utilise a centralised electric heat pump hot water system. • Individual cold water and electricity meters will be provided to the commercial tenancies, apartments, and communal areas. • A 5.2kW Solar PV system is to be located on the roof of the proposed development. • Water efficient fittings and fixtures are applied throughout. • A 9,500-litre rainwater tank will harvest rainwater from the roof, roof terrace and L3 terrace areas. This tank will be connected to all GF-L2 toilets. • A Melbourne Water STORM rating of 101% is achieved. • Majority of landscaping is required to be native vegetation with low water demand i.e. no irrigation system and no watering after an initial period when plants are getting established. Alternatively, landscape irrigation demand will be connected to the rainwater tank. | | |

**City of Kingston
Planning Committee Meeting**

Agenda

20 March 2024

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| | <ul style="list-style-type: none"> • The proposed development will incorporate green walls. • In total 42 bicycle spaces are to be provided for residents. • In total 9 bicycle spaces are to be provided for residential visitors. • In total 12 bicycle spaces are to be provided for employees & 5 bicycle spaces are to be provided for non-residential visitors. • The development is provided with an end of trip facility including 2 showers, 12 lockers and changing facilities. • Communal space will be provided at roof top comprising 386m². • Communal space at roof top including a communal food production area. • Use of green concrete such as Boral Envisia or geopolymer concrete for 90% of all concrete. • Air tightness testing for a sample of the tenancies and apartments is to be undertaken mid-construction and post-construction. • 10-year carbon neutral power agreement between developer, owner's corporation, and electrical retailer to provide Green Power to both communal areas and options to the future tenants. | | | |
| Lot Size | 1,045m ² | | Mandatory Building Height requirement | N/A |
| Mandatory Garden area requirement | N/A | | | |
| Vegetation | Trees > 8m | No | No. of Trees to be removed (circumference 110cm) | None |
| LEGISLATIVE | | | | |
| Covenant/other Restriction | Yes Covenant 1356311 – affects all titles. Covenant C048335 – affecting Lots 2 and 5 on PS 0652572, Covenant B856386 – affecting Lots 4 and 5 on PS 0652572 Covenant B860098 – affecting Lots 3 and 5 on PS 0652572 | | Complies: N/A – covenant to be removed and the permit applicant is the only beneficiary owing to their ownership of all lots on title | |
| Aboriginal Cultural Sensitivity Area | Yes | | CHMP | Exempt as on a lot less than 0.11 hectares |
| Considered Plans | Drawings TP-010 Rev B, TP-011 Rev B, TP-020 Rev B, TP021 Rev C, TP-022 to TP-026 Rev B, TP-027 and TP028 Rev C, TP-090 to TP-092 Rev C, TP-100 to TP-104 inclusive Rev C, P-400 to TP-402 inclusive, TP-900 to TP-903 inclusive, Rev B, prepared by Ewert Leaf Pty Ltd. (Please note the Cover Sheet TP-000 submitted in association with the drawing sheets listed above does not accurately reflect the drawing references or revisions). "Without prejudice" 'Ground Floor' and 'Typical Floor' plans prepared by Ewert Leaf Pty Ltd, Drawing nos. TP-100 Rev E and TP-103 Rev E, | | | |

dated 30 January 2024, render/ Street Views Images 01 to 06 inclusive and 'Site Plan' dated 14 February 2024 and 'Comparison Shadow Diagrams' drawing nos. TP-900 to TP-903 inclusive Rev C and 'Sectional Shadow Diagrams' drawing no. TP-950 Rev C, dated 13 February 2024.

Landscape Plans prepared by Mark Browning Landscape Design dated August 2023 pages 1 to 8.

1. SITE HISTORY

1.1 There are no recent planning decisions relevant to the assessment of this application.

2. SUBJECT LAND

2.1 The photograph below illustrates the subject site from a streetscape perspective.





Source: Images - Site visit 24 January 2024

| | | | |
|---------------------------------|--|-------------------|---|
| Built form | <p>Four single storey attached dwellings, each with complex hipped roofs and brick veneer to exterior walls.</p> <ul style="list-style-type: none"> • Dwelling 1/10 has a single concrete crossover to Central Avenue, Dwelling 2/10 and 9B share a double width concrete crossover to Redholme Street, within dwelling 9A having a single concrete crossover to Redholme Street to the south. • Single garages with flat roof, garages attached to dwelling. • Minimal built form setback to Redholme Street, with greater front setback provided to Central Avenue. Minimal setback to the western (rear) boundary. • Private open space located within the front setback to Central Avenue, with open space to the rear for the dwellings facing Redholme Street. • Two steel sheds/outbuildings are located on the western rear boundary. | | |
| Lot Size (m²) | 1,045m ² | Dimensions | <ul style="list-style-type: none"> • North boundary (Central Avenue) – 23.09m • North East Corner – 6.68m • East boundary (Redholme Street)– 40.94m • South boundary – 14.80m • West boundary – 43.72m |
| Topography | <p>The land contains a fall of approximately 1.6 metres from the south to the north. The highest point is the southwest corner of the site.</p> | | |
| Fencing | <p>A 0.8m high brick fence is enclosed the north, northeast and eastern boundaries. A 1.9m high picket fence encloses the Central Avenue boundary. A 2.2m high picket fence runs the length of the western boundary.</p> | | |
| Vegetation | <p>Populated by a number of insignificant trees and hedging.</p> | | |
| Easement(s) | <p>A 1.83m wide E-1 easement is located along the site's southern property boundary</p> | | |
| Footpath assets / access | <p>Three existing crossovers are located in the roadside boundary of the Site; two on Redholme Street and one on Central Avenue.</p> | | |

| | |
|-----------------------------------|---|
| Covenant(s) / Restrictions | <p>Power poles occupy the road reserve on both Central Avenue and Redholme Street.</p> <p>Covenant 1356311 - Affects all titles.</p> <p>Covenant C048335 – Affects Volume 08559 Folio 147, Lot 2 on Plan of Subdivision 062572 and Volume 08559 Folio 148, Lot 5 on Plan of Subdivision 062572</p> <p>Covenant B856386 – Affects Volume 08493 Folio 865, Lot 5 on Plan of Subdivision 062572, and Volume 08493 Folio 864, Lot 4 on Plan of Subdivision 062572</p> <p>Covenant B860098 – Affects Volume 08559 Folio 145, Lot 3 on Plan of Subdivision 062572 and Volume 08559 Folio 146, Lot 5 on Plan of Subdivision 062572</p> |
|-----------------------------------|---|

3. SURROUNDING LAND

3.1 The following map illustrates the subject site in its surrounding context.



Aerial Image Source: Nearmap 29 October 2023

| | |
|--------------------|--|
| North | <p>Woolworths Supermarket is located on the north side of Central Avenue, opposite the subject site. It comprises a building of approximately two storeys above basement carparking. Access to the supermarket is from Taylor Street, with publicly accessible car parking forming its curtilage.</p> |
| South/ East | <p>Redholme Street runs from South Road in the north to the Nepean Highway Service Road to the south and is inclusive of street tree planting within its road reserves.</p> <p>Beyond Redholme Street to the east are a number of dwellings forming part of a larger residential precinct within the Moorabbin Activity Centre. Dwellings are generally one or two storeys with hipped/ pitched roofs and either brick/ render or weatherboard construction.</p> |

| | |
|---|---|
| West | <p>The site abuts the public carpark and curtilage of the Link Arcade. Access/ egress to the car park is from Central Avenue in the north and Redholme Street to the south respectively.</p> <p>Beyond the car park to the west is the Link Arcade complex, which has a maximum central building height of two storeys. The building contains a mix of commercial, professional, beauty, retail and food and drink premises with a central Plaza.</p> |
| Describe Neighbourhood Character | <p>Located within the Moorabbin Activity Centre, the surrounding area encompasses a mix of land uses/development types. Primarily, surrounding land consists of commercial uses to the north and east of the site. Otherwise the site interfaces with residentially zoned land to the south/west. The site is within close proximity to Moorabbin railway station and bus interchange and is serviced well by social and physical infrastructure.</p> |

4. PROPOSAL

4.1 A summary of the proposal is provided in the table below.

| | |
|--------------------|---|
| Description | <p>It is proposed to clear the land of all built form to facilitate the construction of a multi-storey mixed use building containing ground floor shop premises, two levels of commercial office space and residential levels with roof top common amenities, all above three levels of basement.</p> <p>A reduction in the standard car parking requirements associated with the use of the land for office and dwellings.</p> <p>Removal of all restrictive covenants from the land. Comprising:</p> <p>Covenant C048335 to be removed from Lot 2 (VOL8559 FO147) and Lot 5 (VOL08559 FOL148) Covenant B856386 to be removed from Lot 5 (VOL08493 FOL865 and Lot 4 (VOL08493 FOL864) Covenant B860098 to be removed from Lot 3 (VOL08559 FOL145) and Lot 5 (VOL08559 FOL146) Covenant C048335 states the registered proprietor or proprietors of the transferred land will not:</p> <p><i>1) Do or suffer to be done on the land hereby transferred or any part therefore anything which shall be a nuisance or annoyance to any person for the time being owning or occupying any part of the land comprises in the aforesaid Plan of Subdivision nor suffer, permit or allow the same to be used for any illegal or immoral purpose;</i></p> <p><i>2) Use or permit to be used on the land hereby transferred an machine equipment or instrument operated by electricity which causes interference with wireless or television reception unless such machine equipment or instrument is effectivity fitted with a device which prevents interference with wireless or television reception by any person or persons for the time being occupying ant of the land comprised in the aforesaid Plan of Subdivision.</i></p> |
|--------------------|---|

| | |
|--------------------------------|---|
| | <p>3) Without the prior written consent in writing of the registered proprietors for the time being of Lot 5 on the said Plan of Subdivision keep or permit to be kept on the land hereby transferred any animal or bird;</p> <p>4) Use or permit to be used any mechanical or other musical instrument of any kind nor practice or permit to be practiced any singing on the land hereby transferred between the hours of 12 midnight and 8.a.m so that the same is audible outside the land hereby transferred;</p> <p>5) Use or occupy the land firstly described hereby transferred or any part thereof or suffer the same to be used or occupied as a shop or other place for carrying on any trade or business, or otherwise than a private home;</p> <p>6) Without the prior consent in writing of the registered proprietors for the time being of Lot 5 on the aforesaid Plan of Subdivision paint or permit to be painted or make or permit to be made any alterations or additions whether structural or otherwise to the exterior of the land hereby transferred or any part thereof.</p> <p>7) to the intent that the said Lot 2 hereby transferred shall benefit by a similar covenant by the transferees of Lot 1, 3 and 4 on the said Plan of Subdivision and save as is otherwise in this transfer specifically provided she will not use the said Lot 5 or any part thereof so as to prevent and she will not in any way hinder or prevent the registered proprietor or proprietors for the time being of Lot 1 on the Plan of Subdivision from having exclusive use possession and enjoyment of the land coloured red on the Plan annexed hereto or the registered proprietor or proprietors for the time being Lot 3 on the said Plan of Subdivision from having the exclusive use possession and enjoyment of the land coloured green on the Plan annexed hereto or the registered proprietor or proprietors for the time being of Lot 4 on the said Plan of Subdivision from having the exclusive use possession and enjoyment of the land coloured yellow on the Plan annexed hereto.</p> <p>Covenant B856386 and B860098 contains the same restrictions to Covenant C048335 however item 7 is transcribed to reflect the titles and lots in which they relate.</p> <p>The Covenants to be removed burden the following lots:</p> <ul style="list-style-type: none"> • Covenant B860098 affects (burdens) Lots 3 and 5. • Covenant B856386 affects (burdens) Lots 4 and 5. • Covenant C048335 affects (burdens) Lot 2 only. |
| Use | <p>To use the land for:</p> <p>Shop (2 units totalling 499m² in area) at ground floor.</p> <p>Commercial office space at Levels 1 and 2 (totalling 1,860m² in area).</p> <p>Residential (dwellings) above, over six (6) levels.</p> |
| Storeys | <p>Nine (9) storeys including roof top terrace over three levels of basement car parking.</p> |
| Maximum building height | <p>33.90m</p> |

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| | | | | |
|-----------------------------------|---|-------------------|----------------------|----------------------------|
| Bedrooms (including study) | <p>A mix of one and two bedroom apartment types are proposed, comprising:</p> <ul style="list-style-type: none"> ▪ 30 x 1 bedroom dwellings (5 x 1 bedroom at levels 3 to 8) ▪ 12 x 2 bedrooms dwellings (2 x 2 bedroom at levels 3 to 8) | | | |
| Car parking | <p>A total of seventy-two (72) car parking spaces in total comprising:</p> <ul style="list-style-type: none"> ▪ Thirty (30) residential ▪ Five (5) for retail ▪ Thirty-seven (37) for office | | | |
| Bicycle parking | <p>A total of seventy-one (71) bicycle parking spaces in total comprising:</p> <ul style="list-style-type: none"> ▪ Four (4) for shop ▪ Ten (10) for office ▪ Five (5) for office visitors ▪ Forty-two (42) residential ▪ Ten (10) for residential visitors | | | |
| Street setback | <p>Ground Floor:</p> <p>Central Avenue – Minimum setback: 0 metres. Maximum 2.678 metres Redholme Street – Minimum setback: 0 metres. Maximum 2.0metres</p> <p>Level 1 and 2 (2nd and 3rd storey):</p> <p>Central Avenue – Minimum setback: 0 metres. Maximum 0.28 metres Redholme Street – Minimum setback: 0 metres. Maximum 0.28 metres</p> <p>Level 3 (4th storey):</p> <p>Central Avenue – Minimum setback: 0 metres. Maximum 0.28 metres Redholme Street – Minimum setback: 0 metres. Maximum 0.28 metres</p> <p>Levels 4 to 8 (5th to 9th storey):</p> <p>Central Avenue – Minimum setback: 3 metres to balustrade/ wall where applicable. Maximum 0.28 metres.</p> <p>Redholme Street – Minimum setback: 0 metres. Maximum 0.28 metres</p> | | | |
| Private/ Common Open Space | | Level 3 | Levels 4 to 8 | Roof Top (Communal) |
| | Apartment 01 | 121m ² | 32m ² | 386m ² |
| | Apartment 02 | 28m ² | 8m ² | |
| | Apartment 03 | 28m ² | 8m ² | |
| | Apartment 04 | 28m ² | 8m ² | |

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| | | | | |
|-------------------------------------|---|-------------------|---------------------|----|
| | Apartment 05 | 76m ² | 16m ² | |
| | Apartment 06 | 112m ² | 43m ² | |
| | Apartment 07 | 92m ² | 41m ² | |
| Site Coverage | 99% | | Permeability | 1% |
| Access | Existing crossovers to Redholme Street and Central Avenue to be reinstated with a new crossover proposed in the Sites southeast roadside boundary. | | | |
| Vegetation removal/retention | A total of four (4) trees occupy the site, identified as T1, T3, T4 and T5 on the Tree Condition Assessment prepared by Open Space Management dated February 2023. Five (5) street trees have been assessed within the adjacent road reserves of Central Avenue (T2A, B and C) and Redholme Street (T6 and T7). A mature Liquidambar (T8) is located approximately 5.5 metres from the mutual southwest boundary of the Site. | | | |
| Building materials | A contemporary building form is proposed that includes grey coloured, render, metal cladding, glass and precast panels. | | | |

4.2 An analysis of each level of the development is provided in the table below:

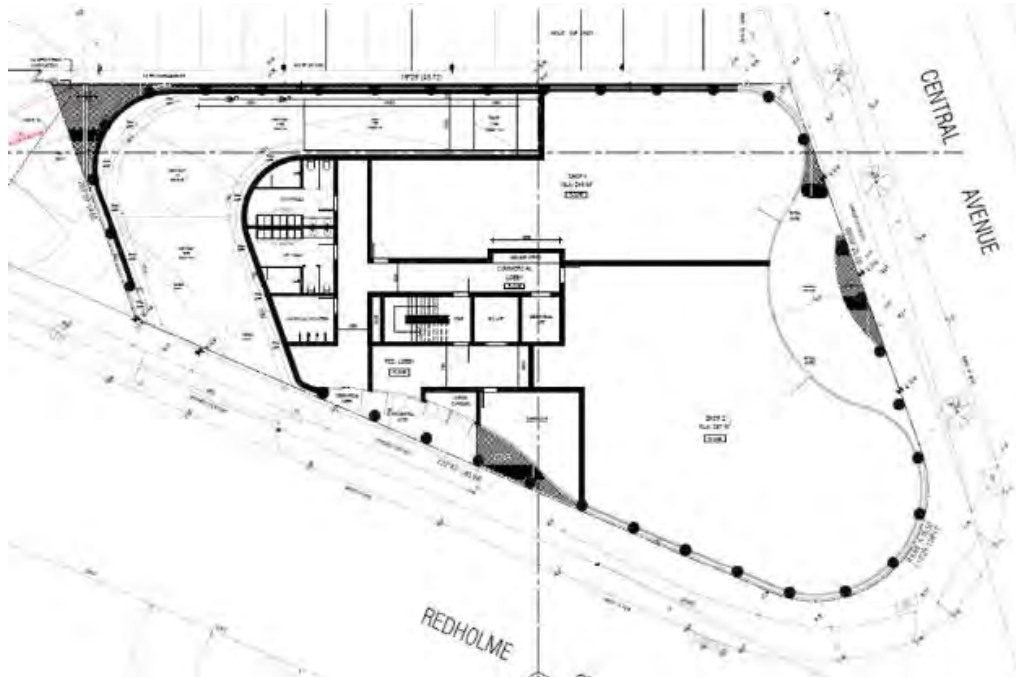
| | |
|--|---|
| Basement 03 Plan TP-090 Rev C | <ul style="list-style-type: none"> ▪ Thirty-nine (39) car parking spaces in total (including thirty-six (36) commercial car parking spaces and three (3) residential car parking spaces. Of these spaces, thirty-one (31) are proposed in a car stacker arrangement. ▪ Three (3) motorcycle parking spaces <p>Other details:</p> <ul style="list-style-type: none"> ▪ Twelve (12) residential storage cages, each 5m³ in volume. ▪ Lift and stair core to upper levels including a residential and retail lift. ▪ Vehicular access ramp. ▪ 9,500L rainwater tank. |
| Basement 02 Plan TP-091 Rev C | <ul style="list-style-type: none"> ▪ Twenty (20) car parking spaces in total (including nineteen (19) residential car parking spaces and one (1) DDA retail car parking space. <p>Other details:</p> <ul style="list-style-type: none"> ▪ Fourteen (14) residential storage cages, each 5m³ in volume. ▪ Lift and stair core to upper levels including a residential and retail lift. ▪ Vehicular access ramp. |
| Basement 01 Plan TP-092 Rev C | <ul style="list-style-type: none"> ▪ Thirteen (13) car parking spaces in total (including eight (8) residential car parking spaces and five (5) retail car parking space, one of which is an EV charging space. ▪ Sixty-seven (67) bicycle parking spaces including 58 staggered bicycle parking spaces and 9 Ned Kelly style. ▪ Three (3) motorcycle parking spaces. <p>Other details:</p> <ul style="list-style-type: none"> ▪ Commercial waste room. ▪ Residential waste room. ▪ Sixteen (16) residential storage cages, each 5m³ in volume. ▪ Lift and stair core to upper levels including a residential and retail lift. ▪ Vehicular access ramps. |

| | |
|---|---|
| Ground Floor Plan TP-100 Rev C | <ul style="list-style-type: none"> ▪ Two shop units – “Shop 1” with a NLA of 205m² and “Shop 2” with NLA of 294m², both with pedestrian access from Central Avenue. ▪ Residential entry recessed 2.68 metres from Central Avenue. ▪ Central residential lobby area with mailbox and services. ▪ Residential and retail lift and stair core. ▪ End-of-trip facilities. ▪ Bicycle store for 4x Ned Kelly racks. ▪ Commercial entry recessed 2 metres from Redholme Street. ▪ Service cupboard adjacent to commercial entry. ▪ Vehicular access ramp from Redholme Street ▪ A central foyer and lift lobby area. Mailbox facilities are provided at the entry of the building. ▪ Sewer access maintained to southwest corner of the site. |
| First & Second Floor (Typical plan) TP-101 Rev C | <ul style="list-style-type: none"> ▪ Open plan office measuring 930m² NLA. ▪ Communal kitchen and amenities. ▪ Residential/ commercial lift and stair core to upper and lower levels. ▪ Lift lobbies x2. |
| Third Floor Plan TP-102 Rev C | <ul style="list-style-type: none"> ▪ Seven (7) apartments comprising 5 x 1 bedroom, 2 x 2 bedroom. ▪ Lift and stair core to upper and lower levels. ▪ Services cupboard. ▪ Common corridor. |
| Fourth to Eighth Floor (Typical plan) TP-103 Rev C | <ul style="list-style-type: none"> ▪ Seven (7) apartments comprising 5 x 1 bedroom, 2 x 2 bedroom. ▪ Lift and stair core to upper and lower levels. ▪ Services cupboard. ▪ Common corridor. |
| Roof Terrace TP-104 Rev C | <ul style="list-style-type: none"> ▪ Lift and stair core to lower levels. ▪ Lobby ▪ Plant and services. ▪ Metal pergola. ▪ Vegetable planters for communal food production ▪ 5.2Kw Solar PV system. ▪ Planters. |

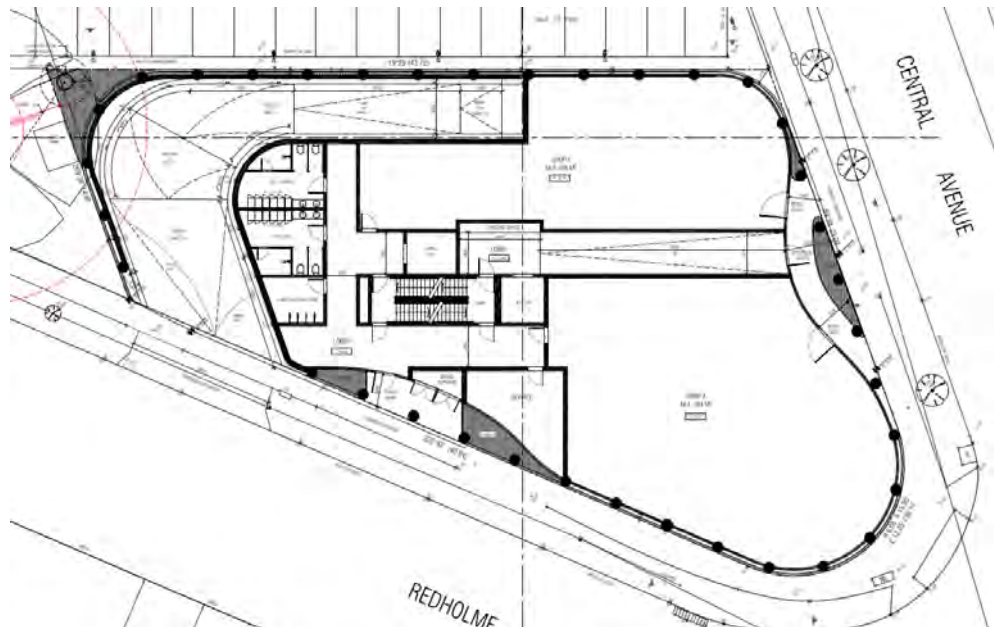
5. AMENDMENTS UNDER SECTION 50 / 50a / 57a OF THE ACT

- 5.1 No formal amendments have been made to the development plans.
- 5.2 However, the applicant has provided “without prejudice” plans prepared by Ewert Leaf Pty Ltd dated 30 January 2024, massing diagrams/ renders ‘Images 01 to 06’ inclusive dated 14 February 2024 and amended shadow analysis Drawing nos. TP-900 to TP-903 inclusive, Rev C, and ‘Section Shadow Diagrams’, dated 13 February 2024, to seek to address concerns raised by Council Planning Officers, Urban Designer and Activity Centres Team. (Please see extracts below of “without prejudice” plans vs advertised plans by way of comparison).
- 5.3 The amended plans have been provided to illustrate changes that could be accommodated within the development should Council be of a mind to support the application. The plans included amendments to the Ground Floor Plan to show the following:
 - The residential entry relocated to Redholme Street.
 - Commercial entry on Redholme Street relocated further south.

- A reconfigured residential/ commercial lift core and lobbies.
- An increase in the NLA of each shop unit – Shop 1 from 205m² to 214m² and Shop 2 from 294m² to 297m².
- Increased street setback of Shop entries from Central Avenue, from 2.68 metres to 5.5 metres.



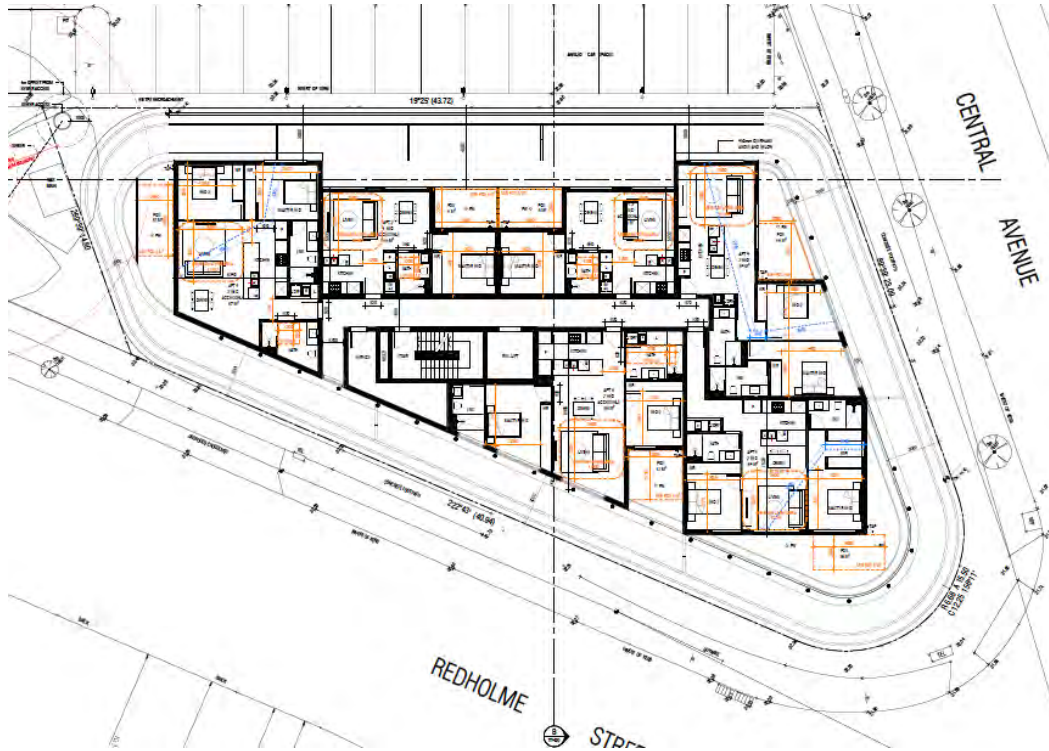
Extract of "Without Prejudice" Ground Floor Plan



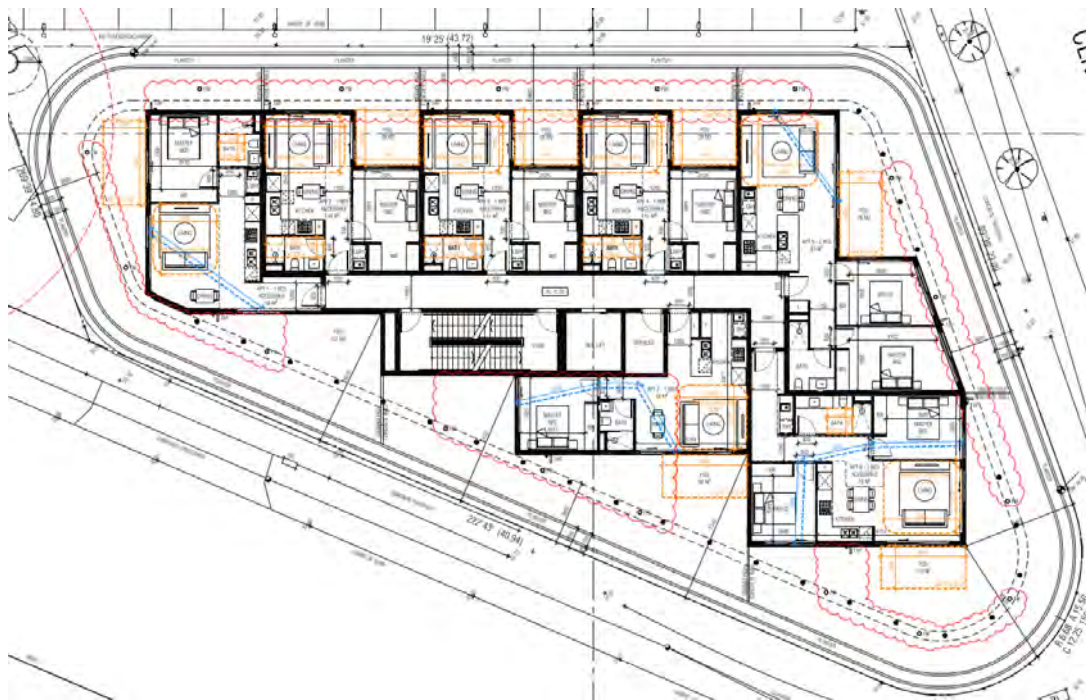
Extract of advertised Ground Floor Plan

- 5.4 The plans also included amendments to the typical upper level floor plan including:
- A reduction in apartment numbers from seven to six per floor.
 - A change in apartment typologies as a result of a reconfigured floor plate and mix of apartments to include 2 x 1 bedroom and 4 x 2 bedroom (as opposed to 5 x 1 bedroom and 2 x 2 bedroom).
 - An increase in the side (west) setback from the primary outlook of apartments from 3 metres to 4.5 metres.
 - Relocated services and repositioned lift and stair core.

- Window added to common corridor to allow for natural ventilation.



Extract of "Without Prejudice" Typical Fourth to Seventh Floor Plan



Extract of Advertised Typical Fourth to Eighth Floor Plan

- 5.5 The massing diagrams demonstrate a reduced built form and therefore a building of eight (8) storeys with roof top (equivalent 9 storeys). A reduction of one (1) storey from that shown on the advertised plans.
- 5.6 Revised shadow analysis is also provided to reflect the reduced built form and its consequential impact on the surrounding interfaces. This is shown to diminish overall as a result on the decrease in height.
- 5.7 On the basis of the amendments now contemplated on the "without prejudice" plans the apartment numbers will reduce to a total of thirty (30). With this, the car parking rates

anticipated to be generated also reduce. The applicant has therefore confirmed that the applicable car parking rates are as follows:

- One car parking space per one and two bedroom dwelling (30 resident spaces overall).
- Thirty-six (36) commercial spaces at rate of 2 spaces per 100sqm.
- Six (6) retail spaces as a rate of 1 staff space per 100sqm which equates to 5 spaces + 1 DDA allocated space.

5.8 It is the “without prejudice” plans that, along with the advertised application material, form the basis of the officer assessment and recommendations contained at sections 10 and 13 of this report.

6. PLANNING CONTROLS

| Zone / Overlay / Particular Provisions | Rationale |
|--|--|
| Clause 37.08 – ACZ3 | <p>The proposal accords with the purpose of the Zone by providing a multi-level mixed use development that will provide residential uses at a density that is complementary to the role and scale of the Moorabbin Activity Centre. However, the built form response, as advertised, is not considered sympathetic to preferred character or impacts on the amenity of neighbouring residential land uses and will not provide an equitable development outcome to facilitate the future growth of the centre.</p> <p>This aspect, and how it can be addressed, is further discussed throughout this report.</p> |
| Overlays | N/A |
| Clause 52.02 – Easements, Restrictions and Reserves | <p>The purpose of the provision is to enable the removal and variation of an easement or restrictions to enable a use or development that complies with the planning scheme after the interests of affected people are considered.</p> <p>Assessment provided below at Section 10.</p> <p>Before deciding on an application under this provision, in addition to the decision guidelines in clause 65, the responsible authority must consider the interests of affected people.</p> <p>The only affected person is the owner of each of the dwellings on the subject site. That owner being the same for all lots and who is represented by the Permit Applicant in this application.</p> <p>Notwithstanding, in accordance with s52 of the Act, the application was advertised in a publication circulating in the area for a period of 14 days and no objection was received from any party to the removal of the covenant.</p> |
| Clause 52.06 Car parking | <p>The following car parking rates apply:</p> <ul style="list-style-type: none"> ▪ 1 space to each 1 or 2 bedroom dwelling ▪ 3.5 spaces to each 100m² of leasable floor area for office ▪ 3.5 spaces to each 100 m² of leasable floor area for a shop (forming retail basis and amended by VC148 on 31 Jul 18) ▪ 0 residential visitor spaces (amended by VC148 on 31 Jul 18) |

| Zone / Overlay / Particular Provisions | Rationale |
|--|---|
| | <p>This equates to a parking requirement of 111 spaces comprising:</p> <ul style="list-style-type: none"> ▪ 42 spaces for the dwellings; ▪ 55 spaces for the office; ▪ 14 spaces for the retail tenancies, applying the “shop” rate. <p>The application, as advertised, indicates an on-site provision of seventy-two (72) car parking spaces and therefore a reduction of the standard car parking requirements associated with the residential (dwelling) and office land use.</p> <p>The “without prejudice” plans show an amended apartment layout and reduced built form and with this a reduction in apartment numbers to a total of 30. This has a flow on effect for the car parking allocation within basement and accordingly, car parking associated with the dwelling component is capable of meeting the required rate at Clause 52.06-5.</p> <p>The reduction in the car parking rate is therefore only to be applied to the office use and it is this that requires a planning permit pursuant to Clause 52.06-3 to reduce the car parking rates.</p> <p>Car parking associated with the retail (shop) component is to the satisfaction of the Responsible Authority.</p> <p>Amendment VC148 came into force by the State Government on 31 July 2018. This amendment, <i>inter alia</i>, revised certain public parking rates for sites within 400 metres of the Principle Public Transport Network, such as the Moorabbin railway station. Of relevance to this application, the parking rates for residential visitors and a shop are reduced.</p> <p>In support of the application the applicant has submitted a Transport Impact Assessment prepared by MGA Traffic Pty Ltd (MGA) dated 11 August 2023, which includes a car parking demand assessment which considers the anticipated car parking needs associated with each land use.</p> <p>With respect to the likely demand generated by the residential use of the site, MGA have sought to rely on census data from 2021 produced by the Australian Bureau of Statistics, with this being based on car ownership associated with privately occupied one and two bedroom dwellings within Moorabbin.</p> <p>The ABS data reports that the occupants of 35% of one bedroom dwellings do not have a car and that 12% in two bedroom dwellings do not have a car.</p> <p>MGA therefore hold the view that applying this ownership rate to the proposed development would see a demand for 29 car parking spaces overall.</p> <p>One bedroom – 0.65 x 30 dwellings = 19 vehicles Two bedrooms – 0.88 x 12 dwellings = 10 vehicles</p> <p>This results in a distribution across the three levels of basement as follows:</p> |

Zone / Overlay / Particular Provisions Rationale

| | |
|--------------------------|---|
| <u>Basement Level 1:</u> | |
| • Retail staff: | 5 spaces |
| • Resident: | 8 spaces |
| • Total: | 13 spaces |
| <u>Basement Level 2:</u> | |
| • Resident: | 19 spaces 1x DDA compliant space unallocated |
| • Total: | 20 spaces |
| <u>Basement Level 3:</u> | |
| • Office: | 6 spaces, including tandem pair 31 spaces (within independent stacker system) 2 spaces (resident) |
| • Total: | 39 spaces |

Council’s Traffic Engineer does not prefer the census data in seeking to justify a reduction in the rate applied to dwellings and instead insists on compliance with Clause 52.06-6. With the “without prejudice” changes on foot the assessment relating to a reduction in the residential rate falls away.

The reduction of the office car parking requirement and the provision of retail parking space was supported by Council’s Traffic Department based on convenient access to a range of public transport options and on-site bicycle and end-of trip facilities.

Clause 52.06 – 8 Design standards including swept paths, splays, parking and access dimensions, headroom and ramp grades, are considered acceptable, subject to conditions.

**52.34
Bicycle
Facilities**

The Transport Impact Assessment prepared by MGA advised a statutory requirement to provide twenty (20) bicycle parking spaces calculated in accordance with Clause 52.34 as follows:

| Use | Size / Qty | Statutory Bicycle Parking Rates | | Statutory Bicycle Parking Requirement | |
|---------------|--------------|---|---|---------------------------------------|--------------------|
| | | Staff | Customer / Visitor | Resident / Staff | Customer / Visitor |
| Residential | 42 dwellings | 1 space per 5 dwellings | 1 space per 10 dwellings | 8 spaces | 4 spaces |
| Office | 1860 sqm | 1 space per 300sqm (if greater than 1,000sqm) | 1 space per 1,000sqm (if greater than 1,000sqm) | 6 spaces | 2 spaces |
| Retail (Shop) | 499 sqm | Not Applicable | Not Applicable | | |
| Total | | | | 14 spaces | 6 spaces |

Source: TIA prepared by MGA dated August 2023

The development plans show however a total provision of seventy-one (71) spaces for resident, staff and visitor use, with these provided at Ground floor and at Basement Level 01. This provision exceeds the requirements of Clause 52.34.

| Zone / Overlay / Particular Provisions | Rationale |
|--|--|
| Clause 58 – Apartment Developments | <p>The recommendations of the TIA are that the four spaces provided at ground floor be horizontal spaces to meet the requirements of the DDA Compliance (1992) Act. However the proposed ground floor plan shows four Ned Kelly style bicycle racks and therefore wall mounted bicycle parking. It will therefore be a recommended condition of any future permit that may issue, that these spaces be horizontal. This approach would also ensure compliance A52890.3-2015 that a total of 20% of the statutory rate be horizontal.</p> <p>Assessment provided below.</p> |

7. POLICY CONSIDERATIONS

General Provisions

7.1 **Clause 65.01** of the Kingston Planning Scheme are relevant to this application and require consideration to be given to a variety of matters including planning scheme policies, the purpose of the zone, orderly planning and the impact on amenity.

Municipal Planning Strategy

7.2 The strategic vision for the city at **Clause 02.02** is for a diverse, dynamic community where we all share a sustainable safe, attractive environment and a thriving economy. Land use principles specific to the Kingston Vision and of relevance include the following:

- *An urban settlement pattern that accommodates sustainable growth commensurate with constraints of established areas.*
- *Providing a settlement pattern that positively influences health and wellbeing.*
- *The network of activity centres reinforced to provide for a diverse range of retail/commercial experiences and access to services and facilities is optimised through integrated and land use planning.*
- *Identified risks, including climate change impacts are effectively managed.*
- *High standards of urban design to enhance community safety, create vibrant places and preserve character areas.*
- *Environmentally sustainable development principles are embraced in new development.*
- *Local employment provision matches the needs of the changing workforce and economy.*
- *A balanced transport network is established to provide for a range of options to meet transport and freight needs for Kingston’s residents, businesses and through traffic.*
- *Activity centres are a focus of integration of public transport, pedestrian and cycle systems with community and social infrastructure.*

7.3 **Clause 02.03** (Strategic Directions) includes strategic directions for (as relevant to the application) urban areas, activity centres, built environment, housing, economic development, transport and infrastructure within Kingston.

7.4 The relevant strategic directions for **urban areas** are to:

- *Accommodate increased urban growth in established areas across the municipality according to environmental constraints and access to services.*
- *Diversify uses in Kingston’s activity centres to respond to the impacts of structural change in the retail industry.*
- *Facilitate ongoing renewal across Kingston’s activity centres to integrate transport and land use, and promoting health and wellbeing through sustainable communities.*

- 7.1. The strategic directions for **activity centres** are to:
- *Diversify the role and function of existing activity centres through a broader range of complementary non-retail uses to enhance economic vitality.*
 - *Incorporate residential/ mixed use activity into centres and create niche markets strengths for each centre.*
 - *Promote development and expansion of retail and related facilities appropriate to the role and position of centres within the overall hierarchy as identified in Kingston's activity centre hierarchy.*
- 7.2. The Kingston activity centre hierarchy at **Table 1 of Clause 02.03** advises the primary role of Moorabbin Activity Centre is to provide community retail supported by significant commercial floor space. Strategic Directions to assist the delivery of this are to consolidate food related retailing around the existing supermarket and encourage residential development within the centre.
- 7.5 The relevant strategic directions for **built environment and heritage** as set out at Clause 02.03-5 are to:
- *Ensure a high standard of design forms the cornerstone of future development.*
 - *Site and design new residential development to take account of interfaces with sensitive and strategic land uses.*
- 7.6 Strategic directions for **housing** are to:
- *Respond to demand for new and diverse housing to meet needs of Kingston's growing population.*
 - *Encourage high levels of amenity in new residential development.*
 - *Support residential change consistent with the preferred housing outcomes identified in Table 1 and in the plan at Clause 02.04.*
 - *Facilitate access to housing for low-income households.*
- 7.7 **Preferred residential outcomes within Activity Centres**, cited at **Table 1 of Clause 02.03-6** - Housing, are to provide housing at higher densities, particularly in the form of shop top housing, apartments and mixed use developments.
- 7.8 Strategic directions for **economic development**, as relevant, are to:
- *Support development comprising retail uses to reinforce the viability of established strip shopping centres.*
 - *Provide for the long term sustainability of Kingston's restricted retail (bulky goods) precincts and limit activity within this sector to consolidate existing precincts and support restricted retail premises in designated activity centres.*
- 7.9 Strategic directions for **transport planning**, as relevant, are to:
- *Integrate land use and transport planning to create a more sustainable community.*
 - *Support increased transport choices available to Kingston's residents and to ensure accessibility to services and open space areas.*
 - *Promote the development of bicycle and pedestrian linkages between residential, commercial, industrial and open space areas.*

Planning Policy Framework

- 7.10 The Planning Policy Framework sets out the relevant state-wide policies for mixed-use development at **Clause 11** (Settlement), **Clause 15** (Built Environment and Heritage), **Clause 16** (Housing) and **Clause 17** (Economic Development), **Clause 18** (Transport) and **Clause 19** (Infrastructure). Essentially, the provisions within these **clauses** seek to achieve the fundamental objectives and policy outcomes sought by 'Plan Melbourne 2017-2050:

- Metropolitan Planning Strategy' (Department of Environment, Land, Water and Planning, 2017).
- 7.11 Local planning policy is nested within the PPF and builds on the overarching state policy objectives and the strategic directions of the Municipal Planning Statement and applies these at the local level.
- 7.12 **Clause 11** seeks to ensure planning anticipates and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.
- 7.13 Planning is to prevent environmental and amenity problems created by siting incompatible land uses close together.
- 7.14 Planning is to facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services.
- 7.15 Clause **11.03-1S** (Activity Centres), seeks to encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community. **Clause 11.03-1L** (Activity Centres-Kingston), contains strategies to consolidate new retail land use within the boundaries of existing activity centres and creating a broader range of cultural, social, commercial and higher density housing opportunities around the ore of major activity centres. Furthermore, it supports development that reinforces the character and function of activity centres consistent with their position in the activity centre hierarchy for activity centres contained with the Kingston municipality. It is considered that the proposal meets the expectations of its zoning by providing a mix of complementary uses on the site i.e. residential, retail and office.
- 7.16 It is considered that the proposal responds to the relevant key objectives and strategies of this Clause by ensuring that opportunities for core retail type uses continue to be made available within the heart of the Moorabbin Activity Centre.
- 7.17 **Clause 15** (Built Environment and Heritage) aims to ensure the role of urban design, building design, heritage and energy and resource efficiency in delivering liveable and sustainable cities, towns and neighbourhoods. Furthermore, it aims that all new land use and development appropriately responds to its landscape and character, valued built form and cultural context, and protect places and sites with significant heritage, architectural, aesthetic, natural, scientific and cultural value.
- 7.18 Clause **15.01-1S** (Urban Design) aims to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.
- 7.19 Clause **15.01-2S** (Building Design) provides design guidance on how building design outcomes should achieve architectural and urban design outcomes that positively respond to neighbourhood character within a local context and enhance the public realm. The provisions of **Clause 15.01-2S** encourage land use and development that is energy and resource efficient through improved building design, urban consolidation and promotion of sustainable transport.
- 7.20 **Clause 15.01-5S** (Neighbourhood Character) sets out the State direction to recognise, support and protect neighbourhood character, cultural identity, and a sense of place. The strategies provided seek to ensure that development respects the existing neighbourhood character or contributes to a preferred neighbourhood character. It seeks to ensure that the preferred neighbourhood character is consistent with medium and high-density housing outcomes in areas identified for increased housing.
- 7.21 This is further reinforced at a local level in Clause **15.01-5L** (Neighbourhood Character-Kingston) which set outs strategies to support an overall positive contribution of neighbourhood character from developments. This Clause includes policy guidelines to further support the strategies.
- 7.22 **Clause 15.01-2L** (Environmentally Sustainable Development) applies to the consideration of residential development of three or more dwellings and non-residential development with a gross floor area of 1,000 square metres or more. As required, the application was accompanied by a Sustainability Management Plan (SMP) and Green Travel Plan. The SMP

prepared by *GIW Environmental Solutions Pty Ltd*, Rev B, dated 11 August 2023 outlines the following ESD initiatives:

1. *The project achieves a total BESS score of 70% with no mandatory category (IEQ, Energy, Water, Stormwater) below 50%.*
 2. *50% of the development's apartments are naturally cross-ventilated.*
 3. *The non-residential areas are targeting a 2% DF to 60% of the nominated area.*
 4. *The ventilation system for the commercial office areas will be designed to achieve, monitor and maintain CO2 concentrations below 800ppm.*
 5. *The BESS Built-in Calculator has been used to demonstrate daylight compliance.*
 6. *The development is provided with a comprehensive shading strategy.*
 7. *The development is to achieve a 7.5 Star average NatHERS Energy Rating result.*
 8. *The non-residential areas aim to reduce heating and cooling energy consumption below the reference case (BCA Section J 2019).*
 9. *The development is to utilise a centralised electric heat pump hot water system.*
 10. *Individual cold water and electricity meters will be provided to the commercial tenancies, apartments, and communal areas.*
 11. *A 5.2kW Solar PV system is to be located on the roof of the proposed development.*
 12. *Water efficient fittings and fixtures are applied throughout.*
 13. *A 9,500-litre rainwater tank will harvest rainwater from the roof, roof terrace and L3 terrace areas. This tank will be connected to all GF-L2 toilets.*
 14. *A Melbourne Water STORM rating of 101% is achieved.*
 15. *Majority of landscaping is required to be native vegetation with low water demand i.e. no irrigation system and no watering after an initial period when plants are getting established. Alternatively, landscape irrigation demand will be connected to the rainwater tank.*
 16. *The proposed development will incorporate green walls.*
 17. *In total 42 bicycle spaces are to be provided for residents.*
 18. *In total 9 bicycle spaces are to be provided for residential visitors.*
 19. *In total 12 bicycle spaces are to be provided for employees & 5 bicycle spaces are to be provided for non-residential visitors.*
 20. *The development is provided with an end of trip facility including 2 showers, 12 lockers and changing facilities.*
 21. *Communal space will be provided at roof top comprising 386m².*
 22. *Communal space at roof top including a communal food production area.*
 23. *Use of green concrete such as Boral Envisia or geopolymers concrete for 90% of all concrete.*
 24. *Air tightness testing for a sample of the tenancies and apartments is to be undertaken mid-construction and post-construction.*
 25. *10-year carbon neutral power agreement between developer, owner's corporation, and electrical retailer to provide Green Power to both communal areas and options to the future tenants.*
- 7.23 The SMP was referred to Council's Sustainable Design Advisor who confirms the proposal meets Council's ESD expectations for a development of this scale, subject to conditions to ensure the initiatives outlined in the SMP are translated to the development plans and updates are made to the report to ensure the benchmarks in BESS are satisfied. Such updates will be relative to the reimagined built form that is the subject of the "without prejudice" plans.
- 7.24 It is considered that the commitments expressed in the SMP and to be included within the development will exceed the best practice ESD standard in achieving an overall BESS score of 70% and thus meet the objectives of this policy.
- 7.25 **Clause 15.03-2S** (Aboriginal Cultural Heritage) seeks to ensure the protection and conservation of places of Aboriginal cultural heritage significance.
- 7.26 The Subject Land **is** identified in an area of Aboriginal Cultural Heritage Sensitivity, however the proposed activity is exempt from requiring a Cultural Heritage Management Plan, as the

development of three or more dwellings on a lot is (reg.10 of the *Aboriginal Heritage Regulations 2018*):

- less than 0.11 hectares in size; and
- not within 200 metres of the coastal waters of Victoria, any sea within the limits of Victoria or the Murray River.

- 7.27 Housing objectives are further advanced at **Clause 16** (Housing) which seek to encourage housing diversity, ensuring the long-term sustainability of new housing, including access to services, walkability to activity centres public transport, schools and open space and including the provision of land for affordable housing.
- 7.28 **Clause 16.01-1S** (Housing Supply) seeks to facilitates a well located, integrated and diverse housing that meets community needs. Higher density housing development is encouraged on sites that are well located in relation to jobs, services and transport. The consideration of ensuring that an appropriate quantity, quality and type of housing is provided to support everyone in the community. Housing should offer diverse choices to meet changing household needs by widening housing diversity though a mix of housing types while encouraging that development is well designed to provide a high level of internal and external amenity.
- 7.29 **Clause 16.01-1L-01** seeks to provide guidance to development in residential zoned land, mixed use zoned land and land within activity centres as identified on the Residential Land Use Framework Plan. It illustrates the range of housing outcomes sought across the City of Kingston and identifies the site as one where increased housing density be promoted.
- 7.30 **Clause 16.01-2R** (Housing Supply- Metropolitan Melbourne) specifically requires consideration of population growth in locations that are considered major and neighbourhood activity centres, especially those with good public transport connections.
- 7.31 **Clause 17** (Economic Development) strives to provide a strong and innovative economy with policy objectives focused on diversification, improving accessibility to employment opportunities, providing development that meets the community's needs for retail, entertainment, office and other commercial services.
- 7.3. **Clause 17.02-1S** Business encourages development that meets the community's need for retail, entertainment, office and other commercial services. Strategies include planning for an adequate supply of commercial land in appropriate locations and provide a net community benefit in relation to their viability, accessibility and efficient use of infrastructure.
- 7.32 **Clause 17.02-1L** Retail and Commercial Land Use- Kingston applies to land as identified on the Retail and Commercial Land Use Framework Plan, it sets out strategies to facilitate office development in larger activity centres which do not conflict with active retail streets. It discourages subdivision of larger restricted retail and trade supplies facilities into smaller modules to maintain common ownership and enhance redevelopment potential.
- 7.33 **Clause 14.02-2S** (Water Quality) seeks to protect water quality. **Clause 19** (Infrastructure) seeks to sustainably manage water supply and demand, water resources, wastewater, drainage and stormwater through an integrated water management approach. Strategies to achieve this at **Clause 19.03-3L-01** promote the use of water sensitive urban design including stormwater re-use and identifies measures to maximise on-site filtration and the management and design of drainage systems to control, divert and minimise the transportation of silt and debris.
- 7.34 **Clause 19.03-3L-02** is applicable to the consideration of **stormwater management** for medium and large scale developments. This clause seeks to improve the quality and reduce the impact of stormwater run-off, incorporate the use of water sensitive urban design principles in development and to ensure that developments are designed to meet best practice performance objectives.
- 7.35 Conditions on any planning permit that may issue have been recommended by Council's Drainage Engineer to meet the specified requirements.
- 7.36 In summary, the proposal responds suitably to policy relating to strategic directions of the Kingston Planning Scheme including land use compatibility, dwelling diversity and increased density, environmentally sustainable development, economic development and the

connectivity of the development and promotion of sustainable transport. However, the advertised development proposal falls short in addressing urban design objectives and achieving a built form response that supports the delivery of the land uses proposed. Please refer to Section 13 of this report for further assessment.

8. INTERNAL REFERRALS

| Department / Area | Comments / Rationale / Recommended Conditions |
|-------------------------------|--|
| Vegetation Management Officer | <p>No objection raised to the removal of vegetation from the site including a Community Local Law protected <i>Photinia serrulata</i> (<i>Chinese Hawthorn, Photinia</i>) due to the inherent weakness of codominant stems and previous lopping both likely to cause future limb failure, and other unprotected vegetation from the site due too its small size and low amenity value.</p> <p>They do not support the landscape strategy for the development in its current form.</p> <p>Recommendations have been made to improve canopy cover at roof top, plantings on balcony and street interfaces and to integrate green infrastructure in the form of climbers or other similar treatments into the façade to reduce urban heat and to ensure landscaping and ESD objectives are met for a development of this scale. These matters can reasonably be controlled by conditions of any planning permit that may issued and are included in the recommendation at section 13 of this report.</p> <p>Matters relating to the management and protection of trees to be retained on adjacent land and road reserves are also controlled through recommended conditions included in the recommendation.</p> |
| Development Engineer | No objection raised, subject to conditions included on any permit issued relating to the delivery of an integrated stormwater strategy. |
| Roads and Drains | No objection raised, subject to conditions included on any permit issued relating to the formation of crossovers, reconstruction of adjacent footpaths and preparatory details required in advance of works commencing. |
| Traffic Engineer | <p>Does not support the reduction in the standard car parking rate associated with “dwellings” and recommends that car parking for this land use be provided in satisfaction of clause 52.06-5 of the KPS.</p> <p>Support is however given to further reduce the car parking rate associated with the office and retail uses.</p> <p>Conditions form part of the officer recommendation at section 13 of this report to control car parking provision and its management.</p> <p>Further conditions are included in the officer recommendation to control the vehicular access alignment in the exit lane to Redholme Sreet and the maximum size of vehicle that could reasonably access the basement.</p> |
| Waste Management | No objection raised, being satisfied the Waste Management Plan prepared by MGA dated 11 August 2023 specifies a private waste collection and is therefore acceptable in suitable for endorsement. |

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| Construction Management | No objection, subject to the inclusion of a condition on any permit that a Construction Management Plan be provided prior to the commencement of development. |
| Activity Centres | <p>No objection was raised to the principle of the proposed development however the following recommendations were made with respect to achieving a development that responds to the public realm, its contribution to the vibrancy, economy and urban quality of the Activity Centre.</p> <p>General</p> <ul style="list-style-type: none">• Demonstrate the public experience of the proposed ground floor interface on all sides of the development.• Consider reconfiguring the ground floor layout to allow for increased shop floor area and further activate the Central Avenue frontage.• Please further define the type of occupant/tenant being proposed for the 'shops'.• City of Kingston Activity Streetscape suite to be specified for all street furniture. Refer to required furniture offsets from footpaths and back of kerb. https://www.kingston.vic.gov.au/council/council-documents/plans-policies-and-reports/activity-centre-streetscape-suite. <p>Central Avenue</p> <ul style="list-style-type: none">• Consider relocating residential entry from Central Avenue to Redholme Street.• Consider increasing the undercroft area to activate the street frontage. Potential for outdoor trading/dining in this area. Consider flexibility of this space depending on the shop tenant requirements. The proposed development must demonstrate fine grain interface with street and ground plane to provide articulation and create active edges. Consider opportunities such as integrated seating with openable windows (see image below) - further enhancing the interaction between internal and external – as well as greening at street level.• Consider on-street dining and trading opportunities.• Remove 1x proposed built in seat and consider location of other seats or other street furniture could respond to the proposed building.• Show any existing and proposed on-street parking and how that may affect proposed landscaping. <p>Redholme Street</p> <ul style="list-style-type: none">• Consider reconfiguring residential lobby, office entry and services to accommodate the relocation of the residential entry.• Remove 2x proposed built in seat and consider location of other street furniture such as bike hoops.• Consider reducing the width of basement parking entry to avoid dominating the residential interface of Redholme Street. <p>Conditions are included in the officer recommendation at section 13 of this report to secure the preparation and implementation of a public realm management plan to the satisfaction of the Responsible</p> |

| | |
|--------------|--|
| | <p>Authority. Reference is made to the “information” plans submitted by the applicant in the word smithing of this condition.</p> <p>Further conditional control ensures that all costs in the delivery of public realm works are borne by the applicant.</p> |
| Urban Design | <p>Urban Design advice was initially obtained from Council’s appointed independent consultant, Hansen Partnership and this was relative to the proposal for a 12-storey development on the site albeit displaying a similar architectural language and land use composition as the proposal now before Council. A summary of the commentary provided on this proposal was as follows:</p> <p>Equitable Development</p> <ul style="list-style-type: none">• <i>The Site forms part of a Key Development Site and its development should not be considered in isolation from the remainder of the island site that fronts Tuck Street, Central Avenue and Redholme Street.</i>• <i>The composition of the western elevation of the development within the podium and tower unreasonably restricts the future evolution of the adjacent site and the risk and equitable development opportunity and internal amenity.</i>• <i>The development should not compromise the future function and capacity of the remaining Key Development Site.</i> <p>Function</p> <ul style="list-style-type: none">• <i>Objectively, the proposed mixed-use development comprising retail uses at ground level, office functions within the podium and residential upper levels demonstrates a good response to the Activity Centre context.</i>• <i>While the proposed 0m setback to Central Avenue is an appropriate response within a commercial streetscape, Council may wish to recommend a ground level setback (ie. 1.5-2m) for an expanded public realm condition to help facilitate known strategic ambitions such as active transport movement along Central Avenue. The proposed extent of glazing that frame retail uses and the lobby entrance is however an apt response to maximising an active frontage along Central Avenue.</i>• <i>It is unclear how the proposed glazing within Retail 1 along the common boundary wall will function when neighbouring development occurs within the broader Key Development Site. This also applies to on-boundary glazing applied at the above office levels within the podium.</i>• <i>The 15m long lobby corridor between Central Avenue and the central core presents a long distance of blank wall for users. The applicant could consider providing partial glazing between the corridor and adjacent retail tenancies to ‘break up’ the wall and provide passive surveillance to users, albeit internally. The display of art and feature walls would also be warranted along this long corridor to maximise visual interest of users.</i> |

- *The layout of individual apartments is generally well resolved, open and spacious. Bedrooms typically have generous access to daylight, with snorkel-corridor arrangements avoided. Further, internal corridors are wide (minimum 1.8m) comprising access to natural light towards the north.*
- *The proposed location for a basement servicing this parcel is logical, avoiding conflict with the Central Avenue commercial streetscape and future active transport initiatives.*

Height

- *It is acknowledged that there is a clear pattern of contemporary development within the Activity Centre exceeding the preferred height limits set out in the ACZ3 schedule. Noted by the applicant, "The proposed 11 storey height on the Subject Site represents an increase of 63% on the height requirement for Precinct 2D, which is consistent with the approach taken across the MAC and in particular the Retail Core and Precinct 2D." The proposal is 12-storeys, meaning this increase is likely the largest increase benched against that of other approved and built developments. Regardless, this measure of 'relative height exceedance' of ACZ3 controls should not be influential in the assessment of the proposal, as each site is unique with regard to its position within the Activity Centre with individual contextual conditions and sensitivities.*
- *The relationship of the site to the Activity Centre core and Railway Station should also be considered, as well as its position adjacent to the residential neighbourhood. By locating 12-storeys, taller than most buildings within the Activity Centre, at the periphery of the Activity Centre core adjacent to residential land fails to demonstrate transition and risks compromising the overall urban morphology of the Activity Centre, where height is concentrated towards its core. Locating greatest height on the periphery is incommensurate with this morphology that does not consider transition towards lower-scaled neighbourhoods, lending itself to notable amenity impacts to public and private realms.*
- *While there is indeed precedent in approved and built development exceeding significantly exceeding the height of ACZ provisions, height that exceeds these provisions should demonstrate that off-site amenity impacts are minimised.*
- *Proposed impacts include overshadowing to the public realm, specifically the footpath opposite along Redholme Street. A broad portion of the footpath is likely to be overshadowed before and after midday at Spring Equinox. This is considered to be an undesirable outcome within the Activity Centre and within the context of State and Local strategic directions regarding the facilitation of 20-minute neighbourhoods, where amenity should be maximised along pedestrian connections. It also risks compromising solar access to established and future street tree plantings.*
- *No support given for a 12-storey development at this portion of the Key Development Site. As the scale of 12-storeys present the*

tallest form within the Activity Centre, located towards its core, railway station and/or along robust interfaces including the Nepean Highway at key corner sites, we believe that a maximum scale of 6-8 storeys towards the site's western residential environs (set behind a lower scaled street wall) in order to achieve a transition in urban form.

Form

- *In addition to the lack of transition in 'height,' the proposed form of the building, consistently comprising a 3-storey podium set back 0m to boundaries, with 9 upper levels recessed 3m to each boundary, lacks transition in 'form' that is tailored to the mixed conditions and roles of interfacing streetscapes and boundaries.*
- *While a 0m setback at ground level may be appropriate to the commercial streetscapes and common boundaries (subject to consideration of public realm and active transport considerations along Central Avenue and consideration to the broader redevelopment potential of the neighbouring site), a ground level setback (ie. nominally 3m) along Redholme Avenue would be beneficial in providing: – Transition to the domestic character of the residential streetscapes including a response to garden setbacks typical in the neighbourhood.*
- *Landscaping opportunities that soften the presentation of urban form in the streetscape experience and from residences opposite.*
- *Partially screen back-of-house functions including the proposed service room sited along Redholme Avenue.*
- *3m upper-level setback along Redholme Street – resulting in the same building profile presented to Central Avenue and common boundaries, does not represent transition towards the residential environs. This should be increased to a minimum 5m (as expected in ACZ3 requirements), to demonstrate a stepping down to the lower-scaled residential neighbourhood in addition adjustments to overall building height.*
- *To ensure an equitable separation of upper-level mass, it would be beneficial to deepen the 3m setback above common boundaries to a minimum of 4.5m, to future proof an appropriate separation and amenity considerations in future development scenarios of the neighbouring land.*

Architectural Language

- *Variation to eastern elevation likely required as demonstrated in northern elevation where more vertical articulation is achieved via varied façade modulation, coordinated to extend from the bottom to top of the upper-level component.*
- *The architectural design of the podium would also benefit from greater, particularly along the eastern elevation which appears visually bulky in the absence of variation due to its breadth. The architectural response to the podium is consistent across each*

elevation. Given the conditions and sensitivities of adjoining streetscapes and boundaries widely vary, a more considered response to them individually, while maintaining unity in the overall building presentation, is warranted for a more contextually responsive outcome. For example, adopting the same architectural language and massing to the residential streetscape as applied to the adjoining commercial interface and commercial streetscapes, arguably lacks consideration of the mixed urban characteristics in the setting.

- *There is a lack in transition both in terms of scale, and building presentation from the commercial to residential environs. Refinements to the Redholme Street architectural language should consider ACZ3 guideline “Future building form adjacent to Redholme Street should be sympathetic to the scale of the existing residential neighbourhood by stepping back upper storeys, and minimising building bulk through materials and colours that appear lightweight and to read differently to the street wall façade,” relative to its presentation to the commercial interfaces.*
- *The material palette comprises light grey concrete planters, grey sage glass, dark grey concrete columns, light grey slab edge at each level, grey metal shade fins, grey metal fascia cladding and grey metal grid balustrading. While there are components of the elevations that are highly detailed and textured, the overarching brutalist design language lacks reference to the urban character of the area, particularly the domestic nature of the adjoining residential streetscapes.*
- *Design refinement could consider applying semi-transparent finishes to the stairwell which present blank walls towards Redholme Street. A finish such as a mesh treatment may further maximise passive surveillance opportunities while introducing more variation in the architectural language of the elevation’s breadth.*

In seeking to respond to the Hansen comments and concerns raised by Council officers following their initial assessment of the proposal, the applicant amended the proposal to reduce the overall building height from twelve (12) storeys to nine (9) storeys with roof top terrace (10 storeys overall by virtue of the form of the access structure at roof top), including a lowering of the podium. A level of basement was removed and floor plates reconfigured. Apartment numbers were also reduced as a consequence.

Re-referral with Council’s Urban Design Officer and further dialogue with Council officers, has seen a further evolution of the proposal, with this being presented in draft on “without prejudice” plans referred to at section 5 of this report. These warrant assessment and have been used to inform conditional requirements in the officer recommendation to ensure satisfaction of urban design objectives for the site and achieve a scale and form of development that is responsive to its particular activity centre context, public realm and respective interfaces.

The “information” plans in addition to responding to the comments of Council’s Urban Designer also seek to address the recommendation of Council’s Activity Centres, Place Manager.

Accordingly, the ground floor plan has been revised to relocate the residential entry to Redholme Street and have it exist alongside the commercial office entry, services and landscaping are introduced at this entry and internal circulation is improved.

Greater setback of the retail entries/ frontages from Central Avenue is achieved allowing space to be utilised for outdoor dining and landscaping and increasing interaction of the street interface.

At the upper levels, the floor plan has been re-cut to increase setbacks from the mutual west boundary from the primary outlook of dwellings within the tower component. With this, apartment numbers have been reduced and reconfigured which, in turn alters the way in which the tower is articulated to Central Avenue and Redholme Street.

Illustrative massing diagrams/ renders submitted in accompaniment to “information” plans show an overall building height of eight (8) storeys and therefore a further reduction in form, by one (1) storey.

Conditions included in the officer recommendation at section 13 of this report, ensure amended plans are submitted to reflect the revised ground floor, typical floor plan layouts/ setbacks and overall building height illustrated on the “information” plans.

Further comments received from Council’s Urban Designer relative to the “information” plans and massing diagrams/ renders informs a position of support for the draft proposal.

However, attention is sought to the following matters:

- Provide coloured elevations, 3D views, sections Material & Finishes Schedule.
- The revised design presents blank external walls fronting Redholme Street from 4th to 7th floor – Apt 1, and Services room. This large extent of blank surfaces facing the sensitive Redholme St interface is not acceptable. Explore opportunities to provide openings in the corner Apartment 1; and provide articulation, surface treatment, or vertical green wall to the Services wall to create texture and visual interest.
- Provide shadow diagrams to indicate impact on public realm and adjoining properties.
- Previous advice regarding the architectural expression of the podium on all street interfaces, in spite of their different conditions, has not been addressed.

Recommendation: The following previous advice should be considered to provide further articulation to the podium:

“The architectural response to the podium is consistent across each elevation. Given the conditions and sensitivities of adjoining streetscapes and boundaries widely vary, a more considered response

to them individually, while maintaining unity in the overall building presentation, is warranted for a more contextually responsive outcome. For example, adopting the same architectural language and massing to the residential streetscape as applied to the adjoining commercial interface and commercial streetscapes, arguably lacks consideration of the mixed urban characteristics in the setting.”

These matters can reasonably be controlled by conditions of any permit issued and are included in the officer recommendation at section 13 of this report. Specifically, it is a conditional requirement that a façade strategy be provided to ensure a quality architectural expression and finish.

9. OBJECTIONS

9.1 Following the commencement of advertising, nine (9) objection(s) to the proposal were received.



9.2 The valid grounds of objection raised are summarised as follows:

- Scale / Bulk / Neighbourhood character
- Loss of privacy
- Overshadowing
- Traffic congestion / Car parking concerns

9.3 A planning consultation meeting was held on 23 January 2024 with the relevant Planning Officer, Ward Councillors, the Permit Applicant and three (3) objector(s) in attendance. The above-mentioned issues were discussed at length.

9.4 The above concerns were unable to be resolved at the meeting, and the objections still stand.

10. FURTHER CONSIDERATION / ANALYSIS

Zoning Provisions

Use

10.1 The subject site is located within the Activity Centre Zone. The purpose of the Activity Centre Zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage a mixture of uses and the intensive development of the activity centre:*
 - *As a focus for business, shopping, working, housing, leisure, transport and community facilities.*
 - *To support sustainable urban outcomes that maximise the use of infrastructure and public transport.*
- *To deliver a diversity of housing at higher densities to make optimum use of the facilities and services.*
- *To create through good urban design an attractive, pleasant, walkable, safe and stimulating environment.*
- *To facilitate use and development of land in accordance with the Development Framework for the activity centre.*

- 10.2 Clause 37.08 seeks to encourage a mix of uses and deliver intensive development of the Moorabbin Activity Centre, in a manner that makes the optimum use of the existing facilities and services and supports the on-going sustainability of the centre.
- 10.3 Pursuant to Schedule 3 of the Activity Centre Zone, Precinct 2 applies to the site. The site is identified as being within the Retail Core of the Moorabbin Activity Centre Framework Plan as shown in the plan below and outlined in red.



Source: Clause 37.08 - KPS

10.4 Precinct 2 has the following relevant objectives:

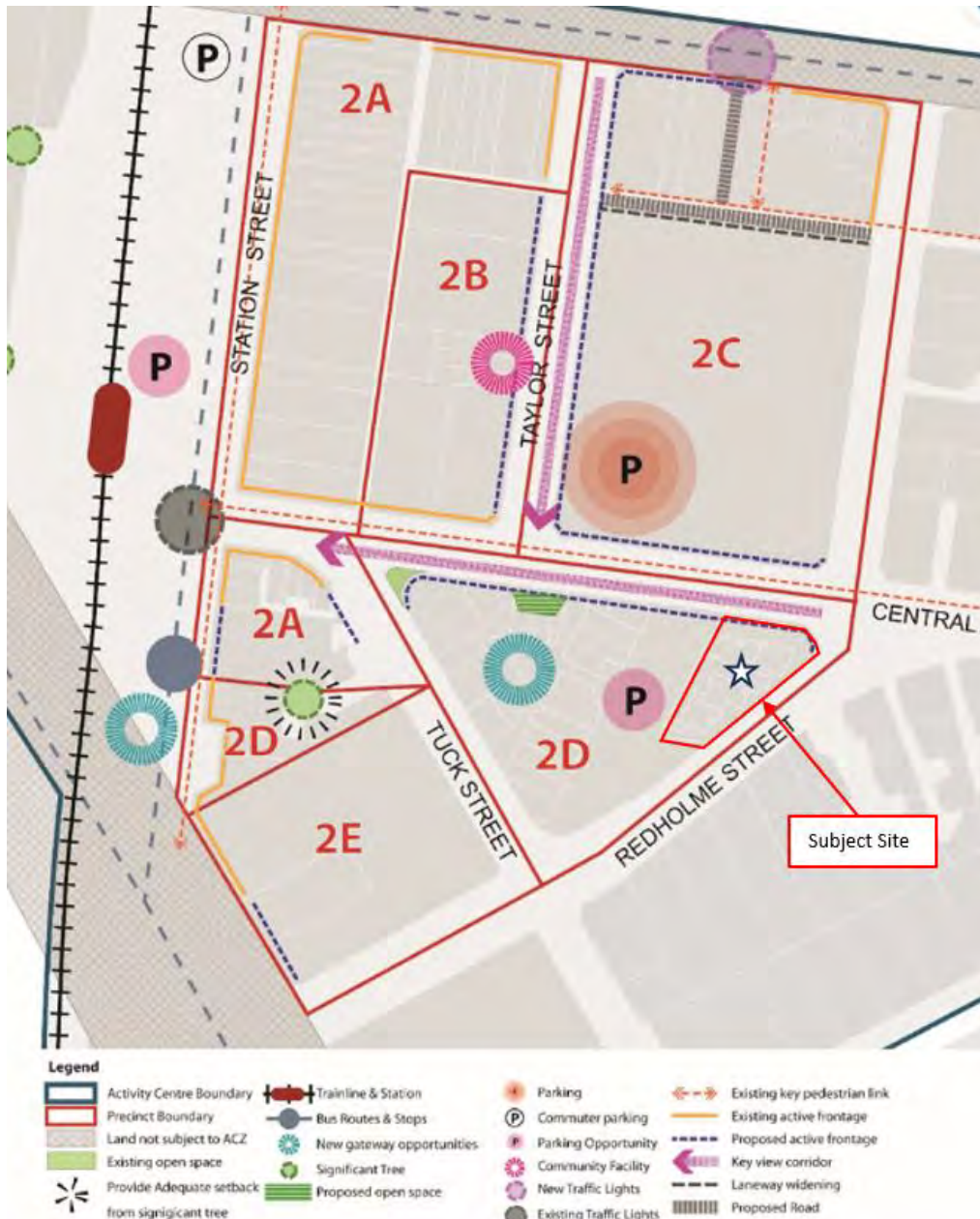
- *To provide for a mix of uses within the precinct with street level retail activity and commercial and residential uses located within the upper floors of development.*
- *To undertake significant changes to the manner in which the road network operates to provide for better transport connectivity and improved centre amenity for pedestrians and cyclists.*
- *To provide for significant redevelopment opportunities in the key development areas.*
- *To expand the retailing role of the precinct to create a vibrant precinct.*
- *To ensure development fronting Central Avenue provides a clear sense of address and active street frontage to reinforce the role of this key east-west linkage.*
- *To strengthen the role Central Avenue plays as a key spine in the centre connecting the Cultural and Transit Precinct and the Moorabbin Reserve.*

10.5 The proposed retail (shop) use is as of right in this precinct. As per the stated objective, this precinct is designated for a mix of uses and given its location within the retail core allows an expansion of the retail function. The immediate context has an existing character of varying commercial retail and residential land uses and can reasonably support the land uses proposed. The “without prejudice” plans provide adequate provision of retail with two ground floor shop tenancies totalling 513m², and first and second floor commercial office tenancies totalling 1,860m². As such it is considered that this meets the intention of the precinct with adequate employment opportunities to achieve the preferred economic outcome.

10.6 The provision of retail and commercial office space likewise provides additional employment opportunities and tenancies of adequate size to support the function and vitality of the centre, in line with the overarching state policies and objectives for successful activity centre design outlined in Clause 11.03-1S, 11.03-1R and 11.03-1L-01. Given the location of the retail use within a major activity centre, it would not be necessary to restrict trading hours or maximum staff numbers.

10.7 A permit is required for dwellings and offices if their frontage located at ground floor has a width greater than 2 metres. The frontage to the residential and commercial lobby is 3 metres wide. This width accords with the Clause 58 standards which encourage legible residential lobbies with a high level of amenity and is appropriate under the zone for the purpose of allowing legibility of a commercial entry.

10.8 The site is identified as being a Key Development Site within sub-precinct 2D of the primary Precinct. Refer to the below extract from the Moorabbin Activity Centre Zone – Precinct 2 – Retail Core Plan.



Source: Schedule 3 to Clause 37.08 – KPS

10.9 Schedule 3 to the Activity Centre Zone outlines specific requirements and guidelines, against which the following assessment is provided:

| Precinct 2D Requirement | Assessment |
|---|--|
| Building Height (excluding basement): 17 metres (5 storeys) subject to appropriate site consolidation) | <p>The proposed building would comprise a total of eight (8) storeys with roof top terrace (a 9 storey equivalent owing to the roof top access structure) with an approximate maximum building height of 30.70 metres measured from natural ground level to the top of the flat roof of the access structure at roof top.</p> <p>At this height, the proposed building does not comply with the preferred building height requirement for the Precinct.</p> <p>Clause 37.08-6 of the Kingston Planning Scheme specifies that a permit may be granted to construct a building or construct or carry out works which are not</p> |

Building setbacks:
A 3 storey street edge to Central Avenue is to be provided.
Any 4th and 5th storey should be setback a minimum of 5 metres from the frontage to enable a robust three storey building from Redholme Street.

in accordance with any design and development requirement in the schedule to this zone unless the schedule to this zone specifies otherwise.

The schedule to the zone does not specify that a development that is contrary to the design and development requirements cannot be permitted. With this, discretion can be exercised and it falls on Council to consider whether the form of development proposed is acceptable by assessing this relative to the purpose of the zone, precinct guidelines, particular provisions and decision guidelines of the Kingston Planning Scheme and any other material considerations.

This site is identified on the Moorabin Activity Centre Map as being in a Key Development Area. Its redevelopment is contemplated as part of a consolidation of the greater “triangle” island site between Tuck Street, Central Avenue and Redholme Street and the design guidelines are generally reflective of this.

Notwithstanding the Site is to be redeveloped separate from the “triangle” of which its forms a part, it is relevant to consider how the form of development at 8 storeys with roof top terrace, will sit contextually with development that could reasonably occur adjacent and also whether at that scale, there is an appropriate transition to the lower scale residential dwellings that populate the southeast side of Redholme Street.

As discussed at section 5 above, there has been an evolution in the form of the development from what was originally conceived as a 12 storey building with roof top terrace (13 storeys overall) to what has, through further engagement with the applicant, been tempered to an 8 storey building with roof top terrace (9 storeys overall) as shown on the “without prejudice” massing images.



The podium form presents a robust three storey form to its respective street interfaces and there is solidity in its architecture to anchor the building at this key corner site. Whilst the precinct design requirements contemplate a setback of 5 metres above podium from Redholme Street, a variation to this is reasonable in the context of achieving a consistency in form with the setback considered acceptable from Central Avenue (as per independent and internal Urban Design advice). Further, in a context where the whole “triangle” site is not being developed, the imposition of a 5 metres setback from Redholme Street would result in a “skinny” tower form, disproportionate to the form below and would unreasonably compromise the ability to achieve a development that maximises the efficiency of this key development site.

Given the overall height of the building, as now reimagined is considered acceptable, it is a condition of the officer recommendation that the advertised

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| | plans be amended to limit the height of the building to 8 storeys with roof top terrace. |
| Precinct Guidelines, where relevant: | Assessment |
| <i>Developments should contain a level of façade articulation and material detailing that distinguishes the lower floors from the upper floors to maintain and robust and traditional 2-3 storey street edge.</i> | <p>There is a distinct transition in materiality and proportionality of the floor to floors of the commercial and residential levels which assist in tempering the overall scale of the building and emphasising each building component.</p> <p>The interfaces of Central Avenue and Redholme Street are however distinct from one another in the respect that the former has a commercialised character and the latter, residential. This therefore calls for a different design approach to how the development and in particular, the podium form presents itself to each of these interfaces.</p> <p>Given the scale of built form on the southeast side of Redholme Street, and the prospect of confining both the residential and commercial entries to Redholme Street as per the “without prejudice” plans, a finer grain approach to the podium design is preferred. This is consistent with the approach sought by the precinct guidelines and with Urban Design advice received.</p> <p>It is therefore a recommended condition of any permit issued that a façade strategy be developed to provide a distinct but harmonious design response that respects the finer grain detail and scale of its residential interface.</p> <p>The composition of the podium form to Central Avenue is an appropriate response to the form and function of this boulevard and therefore its commercialised character. Further, the recession of its ground floor from Central Avenue creates space and appropriate transition from the public thoroughfare whilst providing improved activation of the ground plane.</p> <p>The upper form follows a similar architectural language to the podium, however it is articulated with a varied but complementary materials palette and fenestration that defines it from the base of the building.</p> <p>The reimaged built form and redistribution of apartments throughout the tower form and relocation of internal services, has however resulted in an alternative aesthetic to Redholme Street. With this, the southeast elevation includes an expanse of blank wall across levels 3 to 7 to screen services and to provide a solid wall to Apartment 1 on each level.</p> <p>This is an undesirable design response in this location. Accordingly, and in response to Urban Design advice, it is a recommended condition of any permit issued that additional window openings be introduced to Apartment 1 and to the common corridor at each level and further that material finishes be varied to articulate this façade. These requirements will also be translated to the recommended Façade Strategy.</p> |
| <i>Future building form adjacent to Redholme Street should be sympathetic to</i> | <p>The building is anchored by a three (3) storey podium base, which is consistent with the scale of built form contemplated within this part of the Precinct.</p> <p>As discussed above, the upper levels are consistently setback 3 metres above the podium. This provides a uniformity to the upper form which is a rational</p> |

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| <p><i>the scale of the existing residential neighbourhood by stepping back upper storeys, and minimising building bulk through materials and colours that appear lightweight and to read differently to the street wall façade.</i></p> | <p>response to the scale of development. It avoids a contrived “wedding cake” form.</p> <p>There is relief provided at the corners of the building with a further setting back of the façade, where balconies and landscaping are and can be integrated.</p> <p>There is greater resolution required to limit the blank wall presentation of services at the upper levels. As discussed above, it is a recommended condition of any planning permit that a Façade Strategy be prepared which details further the materiality of the podium and upper form and the level of articulation provided.</p> |
| <p><i>Any new development should provide a suitable transition in height to surrounding residential areas.</i></p> | <p>It is considered, at its reduced height of 8 storeys (with roof top terrace), the proposed development is of an acceptable scale and mass in transition to the residential properties southeast of Redholme Street. This is further discussed at section 11 of this report.</p> |

Affordable Housing

10.10 Clause 16.01-2S (Housing Affordability) has the objective:

- *To deliver more affordable housing closer to jobs, transport and services.*

10.11 With the following strategies to:

- *Improve housing affordability by:*
 - *Ensuring land supply continues to be sufficient to meet demand.*
 - *Increasing choice in housing type, tenure and cost to meet the needs of households as they move through life cycle changes and to support diverse communities.*
 - *Promoting good housing and urban design to minimise negative environmental impacts and keep costs down for residents and the wider community.*
 - *Encouraging a significant proportion of new development to be affordable for households on very low to moderate incomes.*
- *Increase the supply of well-located affordable housing by:*
 - *Facilitating a mix of private, affordable and social housing in suburbs, activity centres and urban renewal precincts.*
 - *Ensuring the redevelopment and renewal of public housing stock better meets community needs.*
- *Facilitate the delivery of social housing by identifying surplus government land suitable for housing.*

10.12 In discussion with Council officers, the applicant has voluntarily offered a percentage of the dwelling component to become what could be considered affordable housing. The applicant proposes that 5% of dwellings be offered for sale to low and moderate income households

as defined by Section 3AA of the *Planning and Environment Act 1987* and therefore at a discounted rate.

- 10.13 It is a recommended condition of any planning permit that may issue in respect of the proposal that the permit applicant enter into an agreement pursuant to Section 173 of the Act to deliver an affordable housing or residential service contribution that will provide 20% discount to 5% of apartments (rounded up to the nearest whole number) resulting in two (2) discounted apartments.
- 10.14 As such it is considered that the agreement aligns with Clause 16.01-2S and sufficiently with Council's goal to deliver social and affordable housing.

Covenant Removal – Consideration of Affected People

- 10.15 Under the Kingston Planning Scheme, a permit is required pursuant to Clause 52.02 to vary or remove a restriction from title. A restriction has the same meaning as in the *Subdivision Act 1988* and means a restrictive covenant which can be registered or recorded in the Register under the Transfer of Land Act 1958.
- 10.16 Before deciding on an application, Council must consider the following under Clause 52.02:
- The interests of **affected people**; and
 - The decision guidelines in **Clause 65** of the Scheme.
- 10.17 In this case, affected people are considered to be primarily the owners of land benefiting from the covenants. In a recent decision relating to the variation of a restrictive covenant in *Potter v Macedon Ranges SC & Ors* the Tribunal adopted the findings of DP Gibson in *Hill v Campaspe SC* in relation to persons who were not beneficiaries to the covenant but were affected:

In Hill v Campaspe SC DP Gibson concluded that it was 'not only objectors who have a right to enforce a covenant or who are owners of land benefited by the covenant [that] can be parties to a proceeding to review a permit application to vary or remove a restriction under clause 52.02'. DP Gibson concluded there is nothing in the planning scheme that limits the right of third parties to object to such a permit application, there is no limitation on third party rights of notice and review in respect of applications under clause 52.02 and therefore there is no reason why persons who do not have the benefit of a covenant may object to its removal or variation. In reaching this conclusion DP Gibson considered removal or variation of a covenant under the legislation is not limited to only the effect on property law rights and where a proposal, is not barred by section 60(5) a question arises under clause 52.02 as to whether, as a matter of discretion, and on the basis of the planning merits in relation to clause 52.02 a permit should be granted.

- 10.18 In *Carson Simpson Pty Ltd v Maroondah CC (1998)*, the Tribunal held that 'consideration should be given to all owners of land benefited by the covenant, whether those owners have objected or not, unless there has been written consent'.
- 10.19 No objections to the application have been received from the owner of the benefiting lots or otherwise. (The owner of the benefitting lots is represented by the permit applicant in this application).

Section 60 of the Planning and Environment Act 1987 (the Act)

- 10.20 The Act prescribes specific criteria for assessing an application to vary or remove a covenant. The criteria to be used, depends on how and when the covenant was created.
- 10.21 Section 60(2) of the Act requires that in respect to restrictive covenants:

"The Responsible Authority must not grant a permit, which allows the removal or variation of a restriction (within the meaning of the Subdivision Act 1988) unless it is satisfied that the owner of any land benefited by the restriction (other than an owner who, before or after the making of the application for the permit but not more than three months before its making, has consented in writing to the grant of the permit) will be unlikely to suffer –

- a) *Financial loss; or*
- b) *Loss of amenity; or*

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- c) *Loss arising from change to the character of the neighbourhood; or*
 - d) *Any other material detriment*
- as a consequence of the removal or variation of the restriction”.*
- 10.22 Section 60(4) of the Act requires that in respect of restrictive covenants that:
“Subsection (2) does not apply to any restriction which was –
 - a) *Registered under the Subdivision Act 1988; or*
 - b) *Lodged for registration or recording under the Transfer of Land Act 1958; or*
 - c) *created before 25 June 1991.”*
- 10.23 Covenant 1356311 was registered on 1 March 1928, covenant B856386 on 5 February 1964, covenant B60098 on 22 January 1964 and C048335 on 9 July 1964 under the *Subdivision Act enacted at the time*. Based on the criteria contained in Section 60(4) of the Act, the relevant decision-making criteria in this instance are the provisions of Section 60(5) and not Section 60(2).
- 10.24 Section 60(5) of the Act requires that in respect to restrictive covenants that:
“The Responsible Authority must not grant a permit which allows the removal or variation of a restriction referred to in subsection (4) unless it is satisfied that –
 - a) *the owner of any land benefited by the restriction (other than an owner who, before or after the making or the application for the permit but not more than three months before its making, has consented in writing to the grant of permit) will be unlikely to suffer any detriment of any kind (including any perceived detriment) as a consequence of the removal or variation of the restriction; and if that owner has objected to the grant of the permit, the objection is vexatious or not made in good faith.”*

Beneficiaries of the Covenant

- 10.25 The beneficiaries are identified as ‘the transferors and their executors and the registered proprietor or proprietors from time to time of each and every lot on the said plan of subdivision save and except for the lot hereby transferred’.
- 10.26 Covenant 1356311 - Affects all titles. Covenant C048335 – Affects Volume 08559 Folio 147, Lot 2 on Plan of Subdivision 062572 and Volume 08559 Folio 148, Lot 5 on Plan of Subdivision 062572. Covenant B856386 – Affects Volume 08493 Folio 865, Lot 5 on Plan of Subdivision 062572, and Volume 08493 Folio 864, Lot 4 on Plan of Subdivision 062572. Covenant B860098 – Affects Volume 08559 Folio 145, Lot 3 on Plan of Subdivision 062572 and Volume 08559 Folio 146, Lot 5 on Plan of Subdivision 062572.
- 10.27 The requirements of Section 60(5)(a) set a high bar to be met in that the owner of any land benefited by the restriction must be unlikely to suffer any detriment of any kind (including perceived detriment).
- 10.28 Notwithstanding the owner of all affected lots is one in the same person and is represented by the permit applicant, there is no discretion within the Act not to advertise the covenant removals in a publication circulating in the area. Following the notice period, no objection was received to the removal of the covenants, thus the test under Section 60(5)(a) is met.
- 10.29 The application considerations have been responded to within the assessment above.

11 CLAUSE 58 – APARTMENT DEVELOPMENTS

- 11.1 Construct or extend an apartment development of five (5) or more storeys (excluding a basement) in a GRZ, RGZ, MUZ or TZ OR the apartment development is in the C1Z, C3Z, SUZ, CDZ, or ACZ. *****MUST meet the objective, SHOULD meet the standard*****

| OBJECTIVE | STANDARD | LEVEL OF COMPLIANCE AGAINST STANDARD |
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| Clause 58 – URBAN CONTEXT | | |
| Clause 58.02-1 Urban context objectives | Standard D1 | Will comply with Standard & |

| OBJECTIVE | STANDARD | LEVEL OF COMPLIANCE AGAINST STANDARD |
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| <ul style="list-style-type: none"> • To ensure that the design responds to the existing urban context or contributes to the preferred future development of the area. • To ensure that development responds to the features of the site and the surrounding area. | <ul style="list-style-type: none"> • The design response must be appropriate to the urban context and the site. • The proposed design must respect the existing or preferred urban context and respond to the features of the site. | Objective subject to imposed condition(s) |

Assessment:

The proposal is considered to satisfy the objectives in terms of scale, context and street level massing and detailing as demonstrated in the Activity Centre Zone assessment earlier in this report. The proposed design is considered appropriate within this context, and notably responds to Council’s preferred character which seeks more intensive significant redevelopment opportunity and a mixed-use development that comprises retail base with commercial and residential above.

Based on the “without prejudice” plans, the development has adequately responded to its direct abutments, avoiding unreasonable off-site amenity impacts, providing setbacks above podium that will provide an equitable outcome for future development on the abutting site to the west. The building presents a robust street edge and taller built form responsive to its corner location and will provide an appropriate transition from residentially zoned land to the activity centre and thus the retail core.

Given the strategic significance of land to the northwest of the site as a Key Development Site, it is anticipated that the scale of development on that adjacent land will realise a higher order built form. It is considered that the proposed development will not compromise precinct objectives or prejudice the future development potential of that land.

Setbacks employed at podium are further punctuated by the terrace and landscaping at this level and combined with the transition in material palette from podium to tower, create a robust built form that holds the corner of Central Avenue and Redholme Street.

While the setbacks above the podium level are a minimum of 3 metres, they are counterbalanced by greater setbacks at each of the three corners of the building and with a setback of 4.5 metres from the mutual northwest boundary. Further there is a distinction in proportionality of the podium and thus the commercial base of the building and the upper-level residential components above. The podium is robust in its architectural language and anchors the building at its corner to Central Avenue and Redholme Street.

The floor to ceiling heights of the upper tower levels, are domestic in scale and otherwise articulated by a differing fenestration and materiality. It is otherwise punctuated on each of its elevations by balconies providing landscaping opportunities for a greening of the facades.

The uppermost level, being the access structure to the roof top communal area, is generally located east of centre to the roof of the building. It is setback 10.32 metres from the northwest boundary, 16.11 metres from the northern boundary, 4.238 metres from the southeast boundary and 13.8 metres from the southern boundary of the site. It would largely be viewed in oblique views of the building, with its visual impact being diminished by planters on the periphery of the terrace.

In the round, the development is considered an appropriate architectural response in its retail core and wider activity centre setting.

| OBJECTIVE | STANDARD | LEVEL OF COMPLIANCE AGAINST STANDARD |
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| <p>The height of the building and the presence of terrace/ balconies at podium and at levels above including at roof top has the potential to cause and experience adverse wind conditions where applicable. To ensure that the adverse wind conditions are reduced in areas used by pedestrians it is prudent to include a condition on any planning permit issued that a Wind Tunnel Assessment be undertaken as per the recommendations of the Environmental Wind Assessment prepared by MEL Consultants and submitted in support of the application. Further that any recommendations of the Wind Tunnel Assessment be implemented to the satisfaction of the Responsible Authority.</p> <p>The recommended Façade Strategy will ensure a high level of detailed design and quality of materiality, as is anticipated for a development of this nature and will also satisfy Council's Urban Design comments with respect to providing fine grain detail to the podium in presentation to Redholme Street and further articulating the southeast elevation of the upper-form of the building.</p> | | |
| <p>Clause 58.02-2 Residential Policy objectives</p> <ul style="list-style-type: none"> • To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework. • To support higher density residential development where development can take advantage of public and community infrastructure and services. | <p>Standard D2</p> <ul style="list-style-type: none"> • An application must be accompanied by a written statement to the satisfaction of the RA that describes how the development is consistent with any relevant policy for housing in the Municipal Planning Strategy and the Planning Policy Framework. | <p>Complies with Standard & Objective</p> |
| <p>Assessment:</p> <p>The proposal enjoys a high level of policy support within the relevant planning policy framework including Clauses 11.03-1S, 11.08-1L, 16.01-1L, 17.02-1L and 37.08, all of which support more intensive forms of development on this site.</p> <p>The mixed use offering and intensity of development is consistent with Clause 11.03-1S (Activity Centres) and the policy intent to encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres which provide a variety of land uses and are highly accessible to the community.</p> <p>The proposal accords with Clause 11.03-1L-01 (Activity Centres – Kingston) which builds on the above state policy. This policy encourages active commercial premises at ground level and inactive uses such as offices and residential at upper levels and mixed use development within the activity centre which also reinforces the role of the Retail Core Precinct.</p> <p>The proposal appropriately provides a mix of commercial uses within the podium and complementary retail (shop) offering at ground that supports the strategic vision of the Moorabbin Activity Centre whilst accommodating increased residential density in complement to retail function of this part of the centre, consistent with the purpose and objectives of the zone.</p> | | |

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| <p>Clause 58.02-3 Dwelling diversity objective</p> <ul style="list-style-type: none"> To encourage a range of dwelling sizes and types in developments of ten or more dwellings. | <p>Standard D3</p> <ul style="list-style-type: none"> Developments of ten or more dwellings should provide a range of dwelling sizes and types, including dwellings with a different number of bedrooms. | Complies with standard and objective. |
| <p>Assessment: The proposal and respective floor plans accommodate for a variety of dwelling sizes and types. It is noted that within the Moorabbin Activity Centre there have been several larger developments approved, some of which are either complete or are under construction, which achieve a similar mix in dwelling size and type.</p> | | |
| <p>Clause 58.02-4 Infrastructure objectives</p> <ul style="list-style-type: none"> To ensure development is provided with appropriate utility services and infrastructure. To ensure development does not unreasonably overload the capacity of utility services and infrastructure. | <p>Standard D4</p> <ul style="list-style-type: none"> Connection to reticulated services/sewerage, electricity, gas and drainage services Capacity of infrastructure and utility services should not be exceeded unreasonably Provision should be made for upgrading and mitigation of the impact of services or infrastructure where little or no spare capacity exists | Complies with Standard & Objective |
| <p>Assessment: The site is in an established area that is well serviced by existing infrastructure. Additionally, it is recommended that suitable condition(s) be included in any permit issued to address infrastructure considerations.</p> | | |
| <p>Clause 58.02-5 Integration with the street objective</p> <ul style="list-style-type: none"> To integrate the layout of development with the street. | <p>Standard D5</p> <ul style="list-style-type: none"> Provides adequate vehicle and pedestrian links that maintain or enhance local accessibility. | N/A |
| | <ul style="list-style-type: none"> Development oriented to front existing/proposed streets | Complies with the standard and objective |
| | <ul style="list-style-type: none"> High fencing in front of dwellings should be avoided if practicable. | N/A |
| | <ul style="list-style-type: none"> Development next to existing public open space should be laid out to complement the open space. | N/A |
| <p>Assessment: The proposal presents an active frontage with the development making provision for safe and functional connectivity. Upper levels have been designed with balconies presenting to the street, providing excellent passive surveillance opportunities to the public realm. The communal entry is open and inviting, again demonstrating an engaging frontage that positively contributes to the street integration. Connection for tenants and residents is also provided from Redholme Street allowing access to communal bike storage and end of trip facilities and the shared commercial and residential lobby.</p> | | |
| <p>Clause 58.03 – SITE LAYOUT</p> | | |
| <p>Clause 58.03-1 Energy efficiency objectives</p> | <p>Standard D6 Buildings should be:</p> | Will comply with Standard & Objective subject |

| OBJECTIVE | STANDARD | LEVEL OF COMPLIANCE AGAINST STANDARD |
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| <ul style="list-style-type: none"> To achieve and protect energy efficient dwellings and buildings. To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy. To ensure dwellings achieve adequate thermal efficiency. | <ul style="list-style-type: none"> Oriented to make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. Living areas and POS should be located on the north side of the development, if practicable. Developments should be designed so that solar access to north-facing windows is optimised. Dwellings located in a climate zone identified in Table D1 should not exceed the maximum NatHERS annual cooling load specified in the following table. | to imposed condition(s) |
| <p>Assessment: Council's Sustainable Design Advisor has no objection to the proposal, being satisfied the development can achieve an overall BESS score of 70%, subject to minor changes to the Sustainable Management Plan prepared by GIW and the relevant ESD commitments being expressed on the development plans. The following is required to satisfy BESS:</p> <p><u>Energy Heating & Cooling Systems</u> 3-stars has been entered in the BESS assessment when the commitment in the report only indicates within a star of the best available. Please amend the report to indicate a reverse cycle heating and cooling system to meet a 3-star minimum heating and 3-star minimum cooling (not within 1 or 2 stars of the best available) to each unit to reflect what has been entered into BESS assessment.</p> <p><u>IEQ 1.4 Daylight access – Non-residential</u> Calculations (modelling or hand calculations) must be included in the report to demonstrate how the spaces are predicted to perform in relation to daylight benchmarks outlined in BESS (https://bess.net.au/tool-notes/) that reflects what has been entered in the IEQ 1.4 Daylight access – Non-residential BESS credit.</p> <p><u>Bicycle Parking</u> Please ensure spaces shown on plans correspond to what has been entered in the BESS assessment and GTP.</p> <p><u>Transport 1.6 End of trip facilities – non –residential</u> Provide further information on drawings to demonstrate that the provision of end-of-trip facilities for staff meets the Transport 1.6 End of trip facilities – non –residential BESS credit requirements.</p> <p><u>Transport 2.1 Electric Vehicle Infrastructure</u> Provision of electrical infrastructure to give residents the option of installing their own Electric Vehicle charge points to their car spaces.</p> <p><u>Waste Management</u> Provision of convenient waste separation for general waste, co-mingled recycling, food/ garden waste bin (FOGO) and glass.</p> <p><u>Urban Ecology 2.1 Vegetation</u> The Urban Ecology 2.1 Vegetation BESS credit must include only turfed or planting areas and cannot include other landscaping elements such as hard paving/pavers (including permeable paving), loose pavers/stepping stones aggregate/pebbles, synthetic grass, decks, pool, RW tanks, storage sheds etc. This area must be demarcated on landscape plan accurately and entry in BESS must be updated accordingly.</p> | | |

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| <p><u>Urban Ecology 2.3 Green Walls and Facades</u> To claim the Urban Ecology 2.3 Green Walls and Facades BESS credit, provide further information on the landscape drawings of the green façade or wall proposed.</p> <p><u>Urban Cooling</u> Unless there are conflicting urban design requirements, all roofs, walls and exposed concrete driveway to be specified with light coloured or reflective finishes / materials (Solar Reflective Index >50 or Solar Absorptance<0.6) to help mitigate the urban heat island effect. This must be reflected on plans.</p> <p><u>Innovation</u> All innovation commitments to be included as notes on plans.</p> <p>The proposal is generally energy efficient with acceptable dwelling orientation and access to daylight in particular is assisted by the redesign of the residential floor plates as demonstrated on the “without prejudice” plans. Daylight to common areas i.e. corridors on each residential level now benefit from a window opening facing Redholme Street and allow for natural ventilation also and therefore a lesser reliance on mechanic ventilation systems.</p> | | |
| <p>Clause 58.03-2 Communal open space objective</p> <ul style="list-style-type: none"> • To ensure that communal open space is accessible, practical, attractive, easily maintained and integrated with the layout of the development. | <p>Standard D7 Developments with 40 or more dwellings should provide a minimum area of communal open space of 2.5 square metres per dwelling or 250 square metres, whichever is lesser. Communal open space should:</p> <ul style="list-style-type: none"> • Be located to: <ul style="list-style-type: none"> - Provide passive surveillance opportunities - Provide outlook for as many dwellings as practicable - Avoid overlooking into habitable rooms and POS of new dwellings. - Minimise noise impacts to new & existing dwellings. - Be designed to protect any natural features on the site. • Maximise landscaping opportunities. <ul style="list-style-type: none"> - Be accessible, useable and capable of efficient management. | <p>N/A as the development as proposed to be amended includes less than 40 dwellings</p> |
| <p>Assessment: Whilst the proposal as envisaged on the ‘without prejudice’ plans does not require communal open space provision given the dwelling numbers that would result, a communal roof top area of 386m² is nevertheless provided including communal food production area for residents as well as outdoor amenity space with shading structures. It is designed and located so that it provides acceptable passive surveillance opportunities and outlook. This space also provides reasonable opportunities for landscaping that is accessible and allows for efficient management.</p> <p>It is recommended that a condition of any permit that may issue include a requirement to provide a landscape plan detailing all planting at roof top by count and species to the satisfaction of the Responsible Authority.</p> | | |
| <p>Clause 58.03-3 Solar access to communal outdoor open space objective</p> | <p>Standard D8 The communal outdoor open space should be located on the north side of a building, if appropriate. At least 50% or 125m², whichever is the lesser, of the primary communal outdoor open space should receive</p> | <p>N/A as the development includes less than 40 dwellings</p> |

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| OBJECTIVE | STANDARD | LEVEL OF COMPLIANCE AGAINST STANDARD |
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| <ul style="list-style-type: none"> To allow solar access into communal outdoor open space. | a minimum of 2 hrs of sunlight between 9am-3pm on 21 June. | |
| <p>Assessment: The communal open space being located at roof top has excellent access to northerly sun.</p> | | |
| <p>Clause 58.03-4 Safety objective</p> <ul style="list-style-type: none"> To ensure the layout of development provides for the safety and security of residents and property. | <p>Standard D9 Entrances to dwellings should not be obscured or isolated from the street and internal accessways. Planting which creates unsafe spaces along streets and accessways should be avoided. Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways. Private spaces within developments should be protected from inappropriate use as public thoroughfares.</p> | Complies with standard & objective |
| <p>Assessment: The relocation of the residential lobby to Redholme Street, as contemplated on the “without prejudice” plans will allow its greater visibility from the public domain and otherwise legibility of resident access to upper levels and amenities internal to the building, given the reconfigured entry and lobby.</p> | | |
| <p>Clause 58.03-5 Landscaping objectives</p> <ul style="list-style-type: none"> To encourage development that respects the landscape character of the area. To encourage development that maintains and enhances habitat for plants & animals in locations of habitat importance. To provide appropriate landscaping. To encourage the retention of mature vegetation on the site. To promote climate responsive landscape design and water management in developments that support thermal comfort and reduces the urban heat island effect. | <p>Standard D10 The landscape layout and design should:</p> <ul style="list-style-type: none"> Be responsive to the site context. Protect any predominant landscape features of the area. Take into account the soil type and drainage patterns of the site and integrate planting & water management. Allow for intended vegetation growth & structural protection of buildings. In locations of habitat importance, maintain existing habitat & provide for new habitat for plants & animals. Provide a safe, attractive & functional environment for residents. Consider landscaping opportunities to reduce heat absorption such as green walls, green roofs & roof top gardens & improve on-site stormwater infiltration. Maximise deep soil areas for planting of canopy trees. <p>Development should provide for the retention or planting of trees, where these are part of the urban context. Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</p> | Will comply with Standard & Objective subject to imposed condition(s) |

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| | <p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p> <p>Development should provide the deep soil areas and canopy trees specified in Table D2. If the development cannot provide the deep soil areas and canopy trees specified in Table D2, an equivalent canopy cover should be achieved by providing either:</p> <ul style="list-style-type: none"> • Canopy trees or climbers (over a pergola) with planter pits sized appropriately for the mature tree soil volume requirements. • Vegetated planters, green roofs or green facades. | |
| <p>Assessment: Given the commercial nature of the site and its location within an activity centre, setting aside a large area for deep soil planting is neither feasible or an appropriate design response to the site's context, or strategic direction. The proposal provides alternatives to deep soil areas by vegetated planters in the podium level and at roof top. Further the application has been referred to Council's Vegetation Management Officer who has provided recommended conditions for an integrated landscape strategy to reduce urban heat, improve urban colling and as such integration of additional green infrastructure and planting into the design response.</p> | | |
| <p>Clause 58.03-6 Access objective</p> <ul style="list-style-type: none"> • To ensure the number and design of vehicle crossovers respects the urban context. | <p>Standard D11</p> <p>The width of accessways or car spaces should not exceed:</p> <ul style="list-style-type: none"> • 33 per cent of the street frontage, or • If the width of the street frontage is less than 20 metres, 40 per cent of the street frontage. <p>No more than one single-width crossover should be provided for each dwelling fronting a street.</p> <p>The location of crossovers should maximise the retention of on-street car parking spaces.</p> <p>The number of access points to a road in a Road Zone should be minimised.</p> <p>Developments must provide for access for service, emergency and delivery vehicles.</p> | Complies with Standard & Objective |
| <p>Assessment: The proposed development would rationalise vehicular access to the site with all existing access being reinstated to footpath, kern and channel and a new double width access being formed from Redholme Street. It would occupy 6.9 metres and thus 21% of the Redholme Street frontage which comfortably meets the standard.</p> <p>Council's Traffic Engineer has no objection to vehicular access to the site being taken from the Redholme Street, subject to conditions relating to the internal access ramp alignment and a limitation on the size of vehicle permitted to enter the basement ramp. These matters are included in conditions of the recommendation at Section 13 of this report.</p> | | |

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| <p>Clause 58.03-7 Parking location objectives</p> <ul style="list-style-type: none"> • To provide convenient parking for resident and visitor vehicles. • To protect residents from vehicular noise within developments. | <p>Standard D12 Car parking facilities should:</p> <ul style="list-style-type: none"> • Be reasonably close and convenient to dwellings. • Be secure. • Be well ventilated if enclosed. <p>Shared accessways or car parks of other dwellings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</p> | <p>Will comply with Standard & Objective subject to imposed condition(s)</p> |
| <p>Assessment: Car parking is located for residents within the basement. However, are not provided at a rate consistent with that sought by particular provisions at Clause 52.06. This matter will be resolved by securing the changes as identified on the “without prejudice” plans by a condition of any permit issued and this is included in the recommendation at Section 13 of this report.</p> <p>Car parking areas are mechanically ventilated, secure and convenient to the dwellings and otherwise for the retail/office land use associated with the development.</p> | | |
| <p>Clause 58.03-8 Integrated water & stormwater management objective</p> <ul style="list-style-type: none"> • To encourage the use of alternative water sources such as rainwater, stormwater & recycled water. • To facilitate stormwater collection, utilisation and infiltration within the development. • To encourage development that reduces the impact of stormwater run-off on the drainage system & filters sediment & waste from stormwater prior to discharge from the site. | <p>Standard D13 Buildings should be designed to collect rainwater for non-drinking purposes such as flushing toilets, laundry appliances and garden use. Buildings should be connected to a non-potable dual pipe reticulated water supply, where available from the water authority. The stormwater management system should be:</p> <ul style="list-style-type: none"> • Designed to meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999). <p>Designed to maximise infiltration of stormwater, water and drainage of residual flows into permeable surfaces, tree pits and treatment areas.</p> | <p>Will comply with Standard & Objective subject to imposed condition(s)</p> |
| <p>Assessment: The proposal includes water sensitive urban design considerations (i.e. rainwater tanks / site management plan) to ensure sufficient stormwater management measures are provided. The application was referred to Council’s development approvals engineer as detailed earlier in this report and no objection has been raised subject to standard conditions requiring detailed storm management plans and modelling.</p> | | |
| Clause 58.04 – AMENITY IMPACTS | | |

| OBJECTIVE | STANDARD | LEVEL OF COMPLIANCE AGAINST STANDARD |
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| <p>Clause 58.04-1 Building setback objectives</p> <ul style="list-style-type: none"> • To ensure the setback of a building from a boundary appropriately responds to the existing urban context or contributes to the preferred future development of the area. • To allow adequate daylight into new dwellings. • To limit views into habitable room windows and private open space of new and existing dwellings. • To provide a reasonable outlook from new dwellings. • To ensure the building setbacks provide appropriate internal amenity to meet the needs of residents. | <p>Standard D14</p> <p>The built form of the development must respect the existing or preferred urban context and respond to the features of the site.</p> <p>Buildings should be set back from side and rear boundaries, and other buildings within the site to:</p> <ul style="list-style-type: none"> • Ensure adequate daylight into new habitable room windows. • Avoid direct views into habitable room windows and private open space of new and existing dwellings. Developments should avoid relying on screening to reduce views. • Provide an outlook from dwellings that creates a reasonable visual connection to the external environment. • Ensure the dwellings are designed to meet the objectives of Clause 58. | <p>Variation sought & supported</p> |

Assessment:

The site, in occupying a key location within the retail core of the major activity centre, can reasonably accommodate a robust building form to hold the corner. The contextual setting of the site and the emerging higher density of built form that is anticipated to occur on the remainder of the “triangle” site and which has already occurred within the precinct, support this proposition.

Southeast Setbacks

The development holds a three storey street wall to Redholme Street. Above podium, the minimum setback measures 3 metres. This is consistently held at all levels above the podium. Greater setbacks occur where balcony components are included.

The *Moorabbin Structure Plan*, May 2011, a background document to the ACZ3, encourages a maximum height of 6 storeys on land forming the “triangle” site. It is this height that the applicant has sought to provide comparative shadow analysis relative to the now contemplated, 8 storey development.

Notwithstanding, comparative analysis should have been provided relative to the Precinct requirements for a 5 storey building, it is helpful nonetheless to consider the impact a higher built form has on the adjacent public realm and residential interface.

The shadow analysis demonstrates that overshadowing will occur of the southeast side of Redholme Street and a part of the POS associated with residential properties comprising 12 to 16 Redholme Street at 1pm. However, the extent of overshadowing to POS would be limited to within or just fractionally beyond the shadow line of existing fencing on the roadside boundary of those respective properties. See below extracted image:

| OBJECTIVE | STANDARD | LEVEL OF COMPLIANCE AGAINST STANDARD |
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From 1pm, overshadowing occurs to an increasing extent until 3pm.

Breaking this down, at 2pm the shadow extends beyond existing shadow, to areas of driveway and POS associated with 12, 14, 1/16 and 18 Redholme Street. See below extracted image:

| OBJECTIVE | STANDARD | LEVEL OF COMPLIANCE AGAINST STANDARD |
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At 3pm the extent of shadow extends further within the POS onto the driveways of 14 and 1/16 Redholme Street and to the SPOS of 18 Redholme Street. See below extracted image:

| OBJECTIVE | STANDARD | LEVEL OF COMPLIANCE AGAINST STANDARD |
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|  | | |
| <p>The shadow cast is limited for the most part to POS areas associated with those neighbouring dwellings and would not unreasonably compromise the amenity afforded to those spaces, when considering their composition i.e. their use for car parking or otherwise being highly vegetated. The encroachment of shadow does not extend to the SPOS areas of 12 to 16 Redholme Street.</p> <p>In the circumstance where shadow extends to the SPOS of 18 Redholme Street, it falls within the shadow line cast by the existing dwelling on site and as such does not create additional shadow beyond what can reasonably occur at present.</p> <p>Given the built form expectations for the precinct and policy support for increased residential density and mix of uses in activity centre settings and it is considered the impact to these neighbouring residential properties is not inappropriate and will not result in an unreasonable amenity impacts.</p> <p>Setbacks are otherwise generous to limit overlooking from opposing apartments.</p> <p><i>Northern Setbacks</i></p> <p>As with Redholme Street, the development holds a three storey podium to Central Avenue. The ground floor of the podium is however slightly recessed to improve activation of the frontage at the street interface.</p> <p>Above podium the upper form assumes a 3 metre setback which is generally consistent with setbacks between the podium and upper levels of other buildings within this commercial streetscape, which range from between 3 and 5 metres.</p> | | |

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| <p>It is considered that at an overall height of 8 storeys and with setbacks as proposed, any replication of this form on the north side of Central Avenue (on the supermarket site) would not unreasonably compromise the streetscape experience for pedestrians or users of the public realm.</p> <p>Nor by virtue of the orientation and setback will the development allow for overlooking or overshadowing impacts to land to the north.</p> <p><i>Western Setbacks</i></p> <p>As detailed at Section 5 of this report, the “without prejudice” typical floor plan demonstrates a setback of 4.5 metres from the mutual boundary of the car park to the west. This setback is given to the primary outlook of living areas associated with apartments 2 and 3 at each level. Setbacks of 3 metres are maintained from bedroom outlooks. These setbacks are however from the Fourth to Seventh Floors i.e. the 5th to 8th storeys). To ensure an equitable development outcome at the Third floor and therefore at podium, it is a recommended condition of any planning permit that may issue, that planter screening be added to western side of POS areas to achieve an increased setback and that in the alternative, primary outlook from living areas is setback no less than 4.5 metres from the western boundary.</p> <p>With these controls in place, the setbacks can reasonably be reciprocated should land to the west be developed in the future and as such the proposal does not prejudice the equitable development of that adjacent site.</p> <p>Give the existing interface, the development would not allow for unreasonable overshadowing or overlooking impacts and is compatible with the adjacent land configuration.</p> <p><i>Southern Setbacks</i></p> <p>To the south, the podium would be held to boundary at three storeys and have setbacks above podium of a minimum of 2 metres and maximum of 5.9 metres. Given the presence of a significant tree, which is to be retained and the interface of the site with this treed reserve, the setbacks proposed do not unreasonably encroach the canopy of the tree, its associated root infrastructure and would not otherwise compromise the development potential or the larger land mass of which it is a part. No amenity impacts are anticipated to arise as a result of the setbacks.</p> <p>Overall, the apartments will have reasonable outlook and afforded adequate daylight and solar access to pos areas.</p> | | |
| <p>Clause 58.04-2 Internal views objective</p> <ul style="list-style-type: none"> To limit views into the private open space and habitable room windows of dwellings within a development. | <p>Standard D15</p> <ul style="list-style-type: none"> Windows & balconies should be designed to prevent overlooking of more than 50% of the POS of a lower-level dwelling directly below & within the same development. | <p>Will comply with Standard & Objective subject to imposed condition(s)</p> |
| <p>Assessment:</p> <p>There is the potential for there to be intervisibility between the POS areas associated with Apartments 2 and 3 as shown on the “without prejudice” typical floor plan of Levels 4 to 7. To limit this, it is a recommended condition of any permit that issues, that screening be provided on the mutual internal boundary. Subject to this condition, the development meets the objective and standard, noting all other POS areas are appropriately oriented or screened to limit internal overlooking.</p> | | |
| <p>Clause 58.04-3 Noise impacts objectives</p> | <p>Standard D16</p> <p>Noise sources, such as mechanical plants should not be located near bedrooms of immediately adjacent existing dwellings.</p> | <p>Will comply with Standard & Objective subject to imposed condition(s)</p> |

| OBJECTIVE | STANDARD | LEVEL OF COMPLIANCE AGAINST STANDARD |
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| <ul style="list-style-type: none"> To contain noise sources in developments that may affect existing dwellings. To protect residents from external and internal noise sources. | <p>The layout of new dwellings & buildings should minimise noise transmission within the site.</p> <p>Noise sensitive rooms (such as living areas & bedrooms) should be located to avoid noise impacts from mechanical plants, lifts, building services, non-residential uses, car parking, communal areas and other dwellings.</p> <p>New dwellings should be designed & constructed to include acoustic attenuation measures to reduce noise levels from off-site noise sources.</p> <p>Buildings within a noise influence area specified in Table D3 should be designed and constructed to achieve the following noise levels:</p> <ul style="list-style-type: none"> Not greater than 35dB(A) for bedrooms, assessed as an LAeq,8h from 10pm to 6am. Not greater than 40dB(A) for living areas, assessed LAeq,16h from 6am to 10pm. <p>Buildings, or part of a building screened from a noise source by an existing solid structure, or the natural topography of the land, do not need to meet the specified noise level requirements.</p> <p>Noise levels should be assessed in unfurnished rooms with a finished floor and the windows closed.</p> | |
| <p>Assessment:</p> <p>The site is within 300 metres of the nearest trafficable lane of a principal road network that is Nepean Highway. A number of apartments also directly interface with the lift core and services and will have abutments with commercial premises that will have mechanical plant associated with either their ventilation and operation.</p> <p>The proposal is however capable of containing noise sources in the development as well as including design measures to protect future residents from external and internal noise sources.</p> <p>It is recommended that a condition be included on any permit that may issue to require an acoustic report to assess potential harmful noise sources within and adjacent to the development and to implement appropriate noise attenuation measures in accordance with the recommendations of the acoustic report.</p> | | |
| Clause 58.05 – ON-SITE AMENITY AND FACILITIES | | |
| <p>Clause 58.05 On-site amenity and facilities</p> <ul style="list-style-type: none"> To ensure the design of dwellings meets the needs of people with limited mobility. | <p>Standard D17</p> <p>At least 50 per cent of dwellings should have:</p> | <p>Complies with Standard & Objective</p> |

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| | <ul style="list-style-type: none"> A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom. A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom & the living area. A main bedroom with access to an adaptable bathroom. At least one adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table D4. | |
| <p>Assessment: The “without prejudice” typical floor plan of the Fourth to Seventh floors demonstrates that at least four (4) apartments on each level will be “accessible” and this is specific to Apartments 1, 2, 3 and 6. This equates to a total of twenty (20) out of the thirty (30) apartments on site and thus 67% of dwellings. It is a recommended condition of any permit issued that the apartment layouts as per the “without prejudice” plans demonstrate compliance with Clause 58.</p> | | |
| <p>Clause 58.05-2 Building entry and circulation objectives</p> <ul style="list-style-type: none"> To provide each dwelling and building with its own sense of identity. To ensure the internal layout of buildings provide for the safe, functional and efficient movement of residents. To ensure internal communal areas provide adequate access to daylight and natural ventilation. | <p>Standard D18 Entries to dwellings and buildings should:</p> <ul style="list-style-type: none"> Be visible and easily identifiable. Provide shelter, a sense of personal address and a transitional space around the entry. <p>The layout and design of buildings should:</p> <ul style="list-style-type: none"> Clearly distinguish entrances to residential and non-residential areas. Provide windows to building entrances and lift areas. Provide visible, safe and attractive stairs from the entry level to encourage use by residents. Provide common areas and corridors that: <ul style="list-style-type: none"> - Include at least one source of natural light and natural ventilation. - Avoid obstruction from building services. - Maintain clear sight lines. | Will comply with Standard & Objective subject to imposed condition(s) |
| <p>Assessment: The residential lobby is clearly visible from Redholme Street and presents a wide lobby that provides a good sense of identity. Lift and stair access are appropriately located to encourage their use. The “without prejudice” floor plans indicate the common corridor on the Fourth to Seventh floors will benefit from natural light from a window formed in the Redholme Street elevation. This has not however been articulated on the “without prejudice” massing images. This matter is to be controlled by a recommended condition of and planning permit that may issue.</p> | | |
| <p>Clause 58.05-3 Private open space objective</p> | <p>Standard D19 A dwelling should have private open space consisting of:</p> | Will comply with Standard & Objective subject to imposed condition |

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|---|---|--|------------------------------|--|--------|----------------|----------------|--|
| <ul style="list-style-type: none"> To provide adequate private open space for the reasonable recreation and service needs of residents. | <ul style="list-style-type: none"> An area of 25m², with a minimum dimension of 3m at natural ground floor level & convenient access from a living room, or An area of 15m², with a minimum dimension of 3m at a podium or other similar base & convenient access from a living room, or A balcony with an area and dimensions specified in Table D5 & convenient access from a living room, or A roof-top area of 10m² with a minimum dimension of 2m and convenient access from a living room. <p>If a cooling or heating unit is located on a balcony, the balcony should provide an additional area of 1.5m².</p> | | | | | | | |
| <p>Assessment: Each dwelling has been provided with adequate private open space that meets the area and dimension requirements specified above and will service the social, recreational and passive needs of future residents.</p> <p>However, the dimensions of the minimum POS of each balcony/ terrace as shown on the “without prejudice” typical floor plans do not accurately reflect the minimum areas dimensioned. This is specific to Apartments 2 to 6 inclusive. The minimum POS area of the corresponding balconies has been generally rounded up to the nearest whole number. This is more critical to Apartments 2 and 3 as the other apartments have balconies that, overall, are in excess of the minimum requirements both in dimension and area.</p> <p>The location of any air condenser units has been omitted from the typical floor plan. It is therefore prudent to include a condition on any permit that may issue that the minimum area of the balcony/ terrace associated with Apartment 2 and 3 meet the standard and that should a/c units be accommodated on balconies that a minimum area of 9.5m² of private open space be provided for that dwelling or alternatively the a/c units be relocated elsewhere within the development to the satisfaction of the Responsible Authority.</p> | | | | | | | | |
| <p>Clause 58.05-4 Storage objective</p> <ul style="list-style-type: none"> To provide adequate storage facilities for each dwelling. | <p>Standard D20 Each dwelling should have convenient access to usable and secure storage space.</p> <p>The total minimum storage space (including kitchen, bathroom and bedroom storage) should meet the requirements specified in Table D6.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr style="background-color: #1a3d4d; color: white;"> <th style="text-align: center;">Dwelling type</th> <th style="text-align: center;">Total minimum storage volume</th> <th style="text-align: center;">Minimum storage volume within the dwelling</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">Studio</td> <td style="text-align: center;">8 cubic metres</td> <td style="text-align: center;">5 cubic metres</td> </tr> </tbody> </table> | Dwelling type | Total minimum storage volume | Minimum storage volume within the dwelling | Studio | 8 cubic metres | 5 cubic metres | <p>Will comply with Standard & Objective subject to imposed condition(s)</p> |
| Dwelling type | Total minimum storage volume | Minimum storage volume within the dwelling | | | | | | |
| Studio | 8 cubic metres | 5 cubic metres | | | | | | |

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| | <i>1 bedroom dwelling</i> | <i>10 cubic metres</i> | <i>6 cubic metres</i> | |
| | <i>2 bedroom dwelling</i> | <i>14 cubic metres</i> | <i>9 cubic metres</i> | |
| | <i>3 or more bedroom dwelling</i> | <i>18 cubic metres</i> | <i>12 cubic metres</i> | |
| <p>Assessment: For one-bedroom dwellings, a total minimum storage volume of 10 cubic metres is required with a minimum of 6 cubic metres of this being provided within the dwelling.</p> <p>For two-bedroom dwellings a total minimum storage volume of 14 cubic metres is required with a minimum of 9 cubic metres of this being provided within the dwelling.</p> <p>The “without prejudice” typical floor plans do not articulate the internal storage volume for each dwelling. The advertised plans do however, show across three basement levels, a total of 42 storage cages with a capacity of 5 cubic metres.</p> <p>This number of storage cages no longer corresponds with the number of apartments now contemplated. It is therefore a recommended condition of any future permit that floor plans be provided per apartment typology to indicate the internal storage volume of dwellings and that total storage volume per apartment meet the standard.</p> <p>Further that the storage cages located adjacent to car parking spaces, should where possible, be associated with the same apartment to which the car parking space has been allocated, otherwise access to storage units must not be impeded by car parking bays.</p> | | | | |
| 58.06 DETAILED DESIGN | | | | |
| <p>Clause 58.06-1 Common property objective</p> <ul style="list-style-type: none"> • To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained. • To avoid future management difficulties in areas of common ownership. | <p>Standard D21 Developments should clearly delineate public, communal and private areas.</p> <p>Common property, where provided, should be functional and capable of efficient management.</p> <p>Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.</p> <p>Screens used to obscure a view should be:</p> <ul style="list-style-type: none"> • Perforated panels or trellis with a maximum of 25% openings or solid translucent panels. • Permanent, fixed and durable. • Designed and coloured to blend in with the development. | | | <p>Complies with Standard & Objective</p> |
| <p>Assessment: Where common property is proposed, it is functional, well-designed and capable of efficient management through an owner’s corporation arrangement.</p> | | | | |
| Clause 58.06-2 Site services objectives | Standard D22 | | | <p>Will comply with Standard &</p> |

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| <ul style="list-style-type: none"> • To ensure that site services can be installed and easily maintained. • To ensure that site facilities are accessible, adequate and attractive. | <p>The design and layout of dwellings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.</p> <p>Mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.</p> <p>Mailboxes should be provided and located for convenient access as required by Australia Post.</p> | <p>Objective subject to imposed condition(s)</p> |
| <p>Assessment: The communal lobby accommodates resident mailboxes. Services are shown to interface with Redholme Street at ground floor and at the upper levels.</p> <p>It is a recommended condition of permit that services be incorporated in the front and finished in a concealed way. Further, that blank facades be minimised at the upper levels and greater detail and articulation be provided to assist this.</p> <p>The recommended Façade Strategy will also ensure a cohesive design response that manages all façade detailing.</p> | | |
| <p>Clause 58.06-3 Waste and recycling objectives</p> <ul style="list-style-type: none"> • To ensure dwellings are designed to encourage waste recycling. • To ensure that waste and recycling facilities are accessible, adequate and attractive. • To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity, health and the public realm. | <p>Standard D23</p> <p>Developments should include dedicated areas for:</p> <ul style="list-style-type: none"> • Waste and recycling enclosures which are: <ul style="list-style-type: none"> – Adequate in size, durable, waterproof and blend in with the development. – Adequately ventilated. – Located and designed for convenient access by residents and made easily accessible to people with limited mobility. | <p>Will comply with Standard & Objective subject to imposed condition(s)</p> |

| OBJECTIVE | STANDARD | LEVEL OF COMPLIANCE AGAINST STANDARD | | | | | | |
|---|---|--------------------------------------|---------------|---------------|--|--|--|---|
| | <ul style="list-style-type: none"> • Adequate facilities for bin washing. These areas should be adequately ventilated. • Collection, separation and storage of waste and recyclables, including where appropriate opportunities for on-site management of food waste through composting or other waste recovery as appropriate. • Collection, storage and reuse of garden waste, including opportunities for on-site treatment, where appropriate, or off-site removal for reprocessing. • Adequate circulation to allow waste and recycling collection vehicles to enter and leave the site without reversing. • Adequate internal storage space within each dwelling to enable the separation of waste, recyclables and food waste where appropriate. • Waste and recycling management facilities should be designed and managed in accordance with a Waste Management Plan approved by the responsible authority and: <ul style="list-style-type: none"> ○ Be designed to meet the best practice waste and recycling management guidelines for residential development adopted by Sustainability Victoria. ○ Protect public health and amenity of residents and adjoining premises from the impacts of odour, noise and hazards associated with waste collection vehicle movements. | | | | | | | |
| <p>Assessment: Council's waste management officer is satisfied with the waste management plan provided and private collection proposed. However, Council's sustainable design advisor recommends an update to the waste management plan to include an area within the bin store for food and garden waste.</p> <p>This matter can be appropriately controlled by a condition on any planning permit issued and to include corresponding updates to the waste room layouts.</p> | | | | | | | | |
| Clause 58.07 – INTERNAL AMENITY | | | | | | | | |
| <p>Clause 58.07-01 Functional layout objective</p> <ul style="list-style-type: none"> • To ensure dwellings provide functional areas that meet the needs of residents. | <p>Standard D24 Bedrooms should:</p> <ul style="list-style-type: none"> • Meet the minimum internal room dimensions specified in Table D7. • Provide an area in addition to the minimum internal room dimensions to accommodate a wardrobe. <p>Table D7 Bedroom dimensions</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="background-color: #003366; color: white;">Bedroom type</th> <th style="background-color: #003366; color: white;">Minimum width</th> <th style="background-color: #003366; color: white;">Minimum depth</th> </tr> </thead> <tbody> <tr> <td style="height: 20px;"> </td> <td> </td> <td> </td> </tr> </tbody> </table> | Bedroom type | Minimum width | Minimum depth | | | | <p>Variation sought & supported</p> |
| Bedroom type | Minimum width | Minimum depth | | | | | | |
| | | | | | | | | |

| OBJECTIVE | STANDARD | LEVEL OF COMPLIANCE AGAINST STANDARD | | | | | | | | | | | | | | | |
|--|---|--|-----------------|-------------------|---------------------------|-----------------|-----------------|----------------------|----------------------|---------------------|--------------------------------------|-------------------|---------------|-----------------------------------|-------------------|---------------|--|
| | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 5px;"><i>Main bedroom</i></td> <td style="padding: 5px;"><i>3 metres</i></td> <td style="padding: 5px;"><i>3.4 metres</i></td> </tr> <tr> <td style="padding: 5px;"><i>All other bedrooms</i></td> <td style="padding: 5px;"><i>3 metres</i></td> <td style="padding: 5px;"><i>3 metres</i></td> </tr> </table> <ul style="list-style-type: none"> Living areas (excluding dining and kitchen areas) should meet the minimum internal room dimensions specified in Table D8. <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr style="background-color: #1a3d54; color: white;"> <th style="padding: 5px;"><i>Dwelling type</i></th> <th style="padding: 5px;"><i>Minimum width</i></th> <th style="padding: 5px;"><i>Minimum area</i></th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;"><i>Studio and 1 bedroom dwelling</i></td> <td style="padding: 5px;"><i>3.3 metres</i></td> <td style="padding: 5px;"><i>10 sqm</i></td> </tr> <tr> <td style="padding: 5px;"><i>2 or more bedroom dwelling</i></td> <td style="padding: 5px;"><i>3.6 metres</i></td> <td style="padding: 5px;"><i>12 sqm</i></td> </tr> </tbody> </table> | <i>Main bedroom</i> | <i>3 metres</i> | <i>3.4 metres</i> | <i>All other bedrooms</i> | <i>3 metres</i> | <i>3 metres</i> | <i>Dwelling type</i> | <i>Minimum width</i> | <i>Minimum area</i> | <i>Studio and 1 bedroom dwelling</i> | <i>3.3 metres</i> | <i>10 sqm</i> | <i>2 or more bedroom dwelling</i> | <i>3.6 metres</i> | <i>12 sqm</i> | |
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| <i>2 or more bedroom dwelling</i> | <i>3.6 metres</i> | <i>12 sqm</i> | | | | | | | | | | | | | | | |
| <p>Assessment: All proposed bedrooms meet the minimum dimension requirements. The minimum width of the living areas associated with each apartment has not been met in each direction. This is not considered fatal as the indicative layout of apartments demonstrates a usable and functional layout that will meet the minimum area requirements comfortably for each dwelling typology.</p> | | | | | | | | | | | | | | | | | |
| <p>Clause 58.07-2 Room depth objective</p> <ul style="list-style-type: none"> To allow adequate daylight into single aspect habitable rooms. | <p>Standard D25</p> <p>Single aspect habitable rooms should not exceed a room depth of 2.5 times the ceiling height.</p> <p>The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met:</p> <ul style="list-style-type: none"> The room combines the living area, dining area and kitchen. The kitchen is located furthest from the window. The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level. This excludes where services are provided above the kitchen. <p>The room depth should be measured from the external surface of the habitable room window to the rear wall of the room.</p> | <p>Will comply with Standard & Objective subject to imposed condition(s)</p> | | | | | | | | | | | | | | | |
| <p>Assessment: The “without prejudice” typical floor plans indicate all living room depths to single aspect dwellings are each less than the maximum 9 metres. Further that daylight access to these spaces would not be impeded by the overhang of balconies of apartments above, given the setbacks and depth of the balconies proposed. Whilst amended elevations or sections have not been provided to indicate the floor to ceiling heights, no change</p> | | | | | | | | | | | | | | | | | |

| OBJECTIVE | STANDARD | LEVEL OF COMPLIANCE AGAINST STANDARD |
|---|--|---|
| <p>is anticipated to the floor to ceiling heights of apartments as shown on the advertised plans. Accordingly, floor to ceiling heights of 2.7m are likely to be maintained. It is however a recommended condition of any planning permit issued, that the standard be met.</p> | | |
| <p>Clause 58.07-3 Windows objective</p> <ul style="list-style-type: none"> • To allow adequate daylight into new habitable room windows. | <p>Standard D26 HRW should have a window in an external wall of the building. A window may provide daylight to a bedroom from a smaller secondary area within the bedroom where the window is clear to the sky. The secondary area should be:</p> <ul style="list-style-type: none"> • A minimum width of 1.2 metres. • A maximum depth of 1.5 times the width, measured from the external surface of the window. | <p>Complies with Standard & Objective</p> |
| <p>Assessment: All habitable rooms have windows or glazed doors in an external wall of the building. Bedrooms have adequate access to daylight, exceeding the minimum standards for light penetration into habitable areas.</p> | | |
| <p>Clause 58.07-4 Natural ventilation objectives</p> <ul style="list-style-type: none"> • To encourage natural ventilation of dwellings. • To allow occupants to effectively manage natural ventilation of dwellings. | <p>Standard D27 The design and layout of dwellings should maximise openable windows, doors or other ventilation devices in external walls of the building, where appropriate. At least 40% of dwellings should provide effective cross ventilation that has:</p> <ul style="list-style-type: none"> • A maximum breeze path through the dwelling of 18 metres. • A minimum breeze path through the dwelling of 5 metres. • Ventilation openings with approximately the same area. <p>The breeze path is measured between the ventilation openings on different orientations of the dwelling.</p> | <p>Complies with Standard & Objective</p> |
| <p>Assessment: The “without prejudice” typical floor plan demonstrates appropriate natural ventilation being achieved for a total of fifteen (15) dwellings and thus 50% of all dwellings on site, in accordance with Standard B27.</p> | | |

12 CONCLUSION

- 12.1 On balance, the proposal is considered to substantially comply with the relevant planning policy and therefore should be supported.
- 12.2 As outlined above, it has been determined that prior to deciding on this application all factors pursuant to section 60(1) of the *Planning and Environment Act 1987* have been considered. Further to this, the proposal does not give rise to any significant social and economic effects.
- 12.3 The proposed development is considered appropriate for the Site, subject to conditions, as evidenced by:
- The compatibility of the design and siting with the surrounding area.
 - The economic and public benefit which would result.
 - The environmentally sustainable design commitments to be achieved.

- The mitigation of off-site amenity impacts
- A suitable level of compliance with all relevant policies, including **Clause 58** of the Kingston Planning Scheme

13 RECOMMENDATION

That the Planning Committee determine to support the proposal and issue a **Notice of Decision to Grant a Permit** be issued to **construct an eight (8) storey mixed use building with roof top terrace and basement car parking, a reduction in the standard car parking rate associated with office use and the removal of covenants from title** at 10 Central Avenue, MOORABBIN 3189, subject to the following conditions:

1. Before the development starts amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be substantially in accordance with the advertised plans prepared by Ewert Leaf Pty Ltd comprising Drawings TP-010 Rev B, TP-011 Rev B, TP-020 Rev B, TP021 Rev C, TP-022 to TP-026 Rev B, TP-027 and TP028 Rev C, TP-090 to TP-092 Rev C, TP-100 to TP-104 inclusive Rev C, P-400 to TP-402 inclusive, TP-900 to TP-903 inclusive, Rev B, prepared by Ewert Leaf Pty Ltd, but modified to show:
 - (a) The setbacks and layout as shown on the “without prejudice” ground floor plan prepared by Ewert Leaf Pty Ltd, drawing no. TP-100 Rev E dated 30 January 2024. The layout may be altered to accommodate any changes required to the access ramp or reconfiguration of services/ core.
 - (b) The setbacks and typical floor plan layout on the “without prejudice” fourth to seventh floor plan prepared by Ewert Leaf Pty Ltd, drawing No. TP- 103 Rev E dated 30 January 2024. The layout may be altered to accommodate any changes required to the reconfiguration or services/ core or to apartment to satisfy clause 58 requirements.
 - (c) Level 8 (9th storey) deleted.
 - (d) Screening to a minimum height of 1.7 metres between POS of apartments 2 and 3 at each level.
 - (e) Introduction of a window to the common corridor at each level above podium in the Redholme Street elevation.
 - (f) An additional window(s) added to the Redholme Street elevation of Apartment 1 at each level.
 - (g) Planters to a minimum internal width of 400mm to be installed on the west side of Level 3 balconies at podium or alternatively, the primary outlook from living and POS areas at this level managed such that they do not encroach within 4.5 metres of the western boundary,
 - (h) Updated apartment typology layout plans that demonstrate compliance with Clause 58.
 - (i) 20% of statutory bicycle parking rate to be provided on site as horizontal spaces.
 - (j) Setbacks from the southern boundary (i.e. southern end of the upper levels) to be setback no less than 2 metres to balustrade and 3 metres to wall, above podium from the title boundary.
 - (k) vehicle crossings must be constructed at a 90 degree alignment with the kerb on Redholme Street and all internal driveways must align with the existing / proposed vehicle crossing;

- (l) the footpath in Central Avenue is to be reconstructed to full width building line to kerb, 8.3% Black concrete, 600 x 600mm saw cuts and tree squares to the satisfaction of the Responsible Authority;
- (m) the footpath must be reconstructed to Council's commercial standards to the satisfaction of the Responsible Authority;
- (n) the angle of the vehicular access ramp existing to Redholme Street modified to between 70 and 90 degrees and any consequential changes to the ground floor plan layout and basement level layouts below;
- (o) electrical infrastructure to allow future provision of EV charging points to resident car parking spaces;
- (p) the provision of a full colour palette, finishes and building materials schedule for all external elevations and driveways of the development including light coloured finishes/materials (Solar Reflective Index >50 or Solar Absorptance <0.6) to help mitigate the urban heat island effect;
- (q) Innovations commitments included as notes on all plans;
- (r) rooftop services to be reduced/consolidated in size and height as much as practical;
- (s) the provision of a landscape plan generally in accordance with the landscape plan prepared by Mark Browning Landscape dated August 23 Rev 1 and the City of Kingston Landscape Plan Checklist, with such plans to be prepared by a suitably qualified landscape professional and incorporating:
 - i. Uniformity with the amended development plans.
 - ii. A planting schedule of all proposed trees and shrubs, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant;
 - iii. A survey, including, botanical names of all existing trees to be retained or removed on the site including Tree Protection Zones for trees to be retained calculated in accordance with AS4970-2009;
 - iv. A survey including botanical names, of all existing trees on neighbouring properties where the Tree Protection Zones of such trees calculated in accordance with AS4970-2009 fall partially within the subject site;
 - v. The delineation of all garden beds, paving, grassed area, planters, fences and other landscape works;
 - vi. Detailing rooftop common areas and all planter boxes and green infrastructure on the building facades, including details of a landscape maintenance and management plan demonstrating the resilience of the features in the long term.
 - vii. The location of containerised planters within or cantilevered from private open space areas;
 - viii. The location of additional green infrastructure (i.e. climbing plants with associated tension or support cabling/ structures from planters) on the building facades and at roof top to mitigate urban heat and improve urban cooling. This includes and is not limited to the blank wall of the tower interfacing with Redholme Street and blank west facing wall.
 - ix. A range of plant types from ground covers to large shrubs and trees, provided at adequate planting densities (e.g. plants 1 metre width at maturity planted 1 metre apart) with the species chosen to comprise of a minimum 60% native species by plant type and total quantities;
 - x. One (1) Type B canopy tree capable of growing to minimum mature dimensions of 8 metres in height and 8metres in width or evergreen climbers planted

- at the base a pergola capable of providing a minimum of 50 square metres of alternative canopy cover to be planted on the Roof Terrace;
- xi. Eighteen (18) canopy trees capable of growing to minimum mature dimensions of 5 metres in height and 4metres in width to be planted in tree planters around the perimeter of the Third Level;
 - xii. Evergreen climbing plant species capable of growing to minimum height of 8metres and providing coverage to the Ground Floor columns to be planted at the base of columns located in Ground Floor garden beds;
 - xiii. All trees provided at a minimum of 2 metres in height at time of planting, medium to large shrubs to be provided at a minimum pot size of 200mm;
 - xiv. Sectional details of balcony planters to be a minimum internal width of 400mm and depth of 600mm to be illustrated to scale and labelled including materials, soil media and drainage;
 - xv. Sectional details of cantilvered planters to be a minimum internal width of 450mm and depth of 450mm and illustrated to scale and labelled including materials, soil media and drainage;
 - xvi. Sectional details of tree planters to be a minimum internal depth of 1m and illustrated to scale and labelled including materials, soil media and drainage
 - xvii. Notes regarding site preparation, including the removal of all weeds, proposed mulch, soil types and thickness, subsoil preparation and any specific maintenance requirements;
 - xviii. Tree protection measures including for street trees accurately drawn to scale and labelled as per the Tree Management Plan required under condition 4.
- (t) The location of tree protection measures illustrated to scale and labelled on the ground floor plan as per the Tree Management Plan required under condition 4.
 - (u) Any changes as required by condition 4.
 - (v) Any amendments required by the Façade Strategy required by condition 8 of this permit;
 - (w) uniformity of the bicycle parking provision with the commitments shown in BESS (SMP) and the Green Travel Plan;
 - (x) uniformity with the commitments and any changes identified within the Waste Management Plan, required under condition 14 of this permit, shown on the plans;
 - (y) all relevant commitments identified within the Sustainable Management Plan, required under condition 16 of this permit, shown on plans;
 - (z) uniformity with the commitments and any changes identified within the Acoustic Report, required under condition 19 of this permit, shown on the plans.
 - (aa) Any changes required by the Wind Effects Statement/ Wind Tunnel Study at condition 19.
 - (bb) Uniformity with the Public Realm Plan required by condition 31 of this permit;
 - (cc) A notation on the ground floor plan stating the final design of the footpath, landscaping and street furniture arrangements adjacent to the site's Central Avenue and Redholme Street frontages to be undertaken in accordance with Kingston City Council's Activity Centre Streetscape Suite (June 2013) and in consultation with the Responsible Authority and constructed at the full cost of the owner/ developer in accordance with condition 31.

Endorsed Plans

2. The development and/or use as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.
3. Landscaping shown on the endorsed plans must be completed prior to the occupation of the development to the satisfaction of the Responsible Authority unless otherwise agreed in writing. The landscaping must then be maintained to the satisfaction of the Responsible Authority including that any dead, diseased or damaged plants are to be replaced.

Tree Protection and Management

4. Concurrent with the endorsement of plans, a Tree Management Plan prepared by a suitably qualified arborist in accordance with AS4970-2009, providing tree protection measures for the neighbouring *Liquidambar styraciflua* (Liquidambar) and street trees impacted by the proposed development, must be submitted to and be endorsed by the Responsible Authority and incorporating:
 - a. A Tree Management Plan (written report) must provide details of:
 - i. Tree protection measures that will be utilized to ensure all trees to be retained remain viable post-construction.
 - ii. Stages of development at which inspections are required to ensure tree protection measures are adhered to must be specified.
 - b. A Tree Protection Plan (scale drawing) must provide details of:
 - i. The Tree Protection Zone and Structural Root Zone for all trees to be retained on the site and for all trees on neighboring properties where any part of the Tree Protection Zone falls within the subject site.
 - ii. The location of tree protection measures to be utilized.
 - iii. A notation to refer to the Tree Management Plan.
5. All protection measures identified in the Tree Management Plan must be implemented, and development works undertaken on the land must be undertaken in accordance with the Tree Management Plan, to the satisfaction of the Responsible Authority.
6. Before the development starts, including demolition or removal of vegetation, the name and contact details of the project arborist responsible for implementing the Tree Management Plan must be submitted to the Responsible Authority.

Street Trees

7. Tree Protection Fencing is to be established around all existing street trees prior to demolition and maintained until all works on site are complete.
 - a) The fencing is to be a 1.8 metre high temporary fence constructed using steel or timber posts fixed in the ground or to a concrete pad, with the fence's side panels to be constructed of cyclone mesh wire or similar strong metal mesh or netting
 - b) The fencing is to encompass the entire nature strip with each end 3 metres from the base of the tree.

Façade Strategy

8. Concurrent with the endorsement of plans pursuant to condition 1, a façade strategy and materials and finishes must be submitted to and be approved by the Responsible Authority. All materials, finishes and colours must be in conformity with the approved façade strategy to the satisfaction of the Responsible Authority. Unless otherwise approved by the Responsible Authority, the façade strategy must be generally in accordance with the development plans and must detail:
 - (a) A concise description by the architect of the building design concept and how the façade works to achieve this.
 - (b) Elevation details generally at a scale of 1:50 illustrating typical lower level details, a reimagined street wall presentation to Redholme Street to provide a fine grain response

to the residential interface, balcony niches, entries and doors and utilities/ services and enhancement of the Redholme Street elevation to limit the blank wall to services including additional window openings to Apartment 1 at each level and windows to the common corridor, typical tower details, and any special features which are important to the building's presentation.

- (c) Landscaping/ green infrastructure applied to the facades of the building including and not limited to the blank wall section to Redholme Street.
- (d) Cross sections or another method of demonstrating the façade systems, including fixing details indicating junctions between materials and significant changes in form and/or material.
- (e) Information about how the façade will be accessed and maintained and cleaned, including any planting proposed.
- (f) Example prototypes and/or precedents that demonstrate the intended design outcome as indicated on plans and perspective images, to produce a high quality built outcome in accordance with the design concept.
- (g) A schedule of colours, materials and finishes, including the colour, type and quality of materials showing their application and appearance. Materials and finishes must be of a high quality, contextually appropriate, durable and fit for purpose. This can be demonstrated in coloured elevations or renders from key viewpoints, to show the materials and finishes linking them to a physical sample board with coding.

Drainage and Water Sensitive Urban Design

9. Unless with prior written consent of the Responsible Authority, before the development commences the following Integrated Stormwater Management (drainage) documents must be prepared, by a suitably qualified person, to the satisfaction of the Responsible Authority:
- (a) Prior to submitting detailed plans, a comprehensive stormwater management (drainage) strategy for the site must be prepared that addresses the requirements specified within Council's "Civil Design requirements for Developers – Part A: Integrated Stormwater Management".
 - (b) The stormwater management (drainage) strategy must include a report with MUSIC modelling results demonstrating water sensitive urban design treatments that achieve Victorian best practice objectives. These may include the use of an infiltration or bio-retention system, rainwater tanks connected for reuse, or other treatments to the satisfaction of the Responsible Authority.
 - (c) The water sensitive urban design treatments as per conditions 9a and 9b above must be implemented on-site, unless an alternative agreement for stormwater quality in-lieu contribution is reached with the Responsible Authority.
 - (d) Stormwater Management (drainage) Plan(s) must be prepared, with supporting computations, showing the stormwater (drainage) works to the nominated point of discharge. The plan(s) must show all details of the proposed stormwater works including all existing and proposed features that may have an impact on the stormwater (drainage) works, including landscaping details.
10. Stormwater (drainage) works must be implemented in accordance with the approved stormwater management (drainage) plan and to the satisfaction of the Responsible Authority including the following:
- (a) All stormwater (drainage) works must be provided onsite so as to prevent overflows onto adjacent properties.

- (b) The implementation of stormwater (drainage) detention system which restricts stormwater discharge to the maximum allowable flowrate of 9.5L/s.
 - (c) All stormwater (drainage) works must be maintained to the satisfaction of the Responsible authority.
11. A groundwater assessment report (GAR) must be prepared by a qualified hydro-geologist to assess any possible impacts the proposed development has on the ground water table, surrounding land and buildings to the satisfaction of Responsible Authority. Should the findings of the submitted GAR demonstrate that the site is likely to experience issues associated with ground water management, a ground water management plan (GMP) must be submitted to and approved by the responsible authority.
12. The basement structure must be designed to respond to the findings of the GAR and GMP required under condition 11 and constructed to the satisfaction of the responsible authority in accordance with the following:
- (a) the basement must be a fully-tanked dry basement with no ground water including agricultural (AG) drain collection or disposal into stormwater system and with an allowance made for any hydrostatic pressures in accordance with Council's "Basements and Deep Building Construction Policy 2014" and "Basements and Deep Building Construction Guidelines 2014", or
 - (b) in the event it is demonstrated that a fully tanked dry basement cannot be achieved or if a wet basement system is proposed, no groundwater including AG drain from the site shall be discharged into the stormwater system. Council does not accept any groundwater (including AG drain) into the stormwater system. Sub-surface water (groundwater) is the responsibility of the property owner to dispose of on site or reach an agreement with the local sewer authority.
13. In any case where the basement design and construction, as required by conditions 11 & 12 of this permit, does not accord with the plan(s) approved under this permit, the endorsed plan(s) must be amended to the satisfaction and with the written consent of the Responsible Authority.

Waste Management Plan

14. Concurrent with the endorsement of plans, a Waste Management Plan (WMP) to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Plan will be endorsed and will then form part of the permit. The plan must include, but is not limited to, the following:
- (a) The manner in which waste will be stored and collected including: type, size and number of containers per waste stream.
 - (b) Waste streams nominated to include food and organics (garden), co-mingled recycling, glass.
 - (c) Spatial provision for on-site storage.
 - (d) Details whether waste collection is to be performed by Council's services or privately contracted.
 - (e) The size of the collection vehicle and the frequency, time and point of collection.
15. The WMP must be implemented to the satisfaction of the Responsible Authority. The WMP must not be modified unless without the written consent of the Responsible Authority.

Sustainable Management Plan

16. Concurrent with the endorsement of plans required by condition 1 of this permit, an amended sustainable management plan (SMP) that outlines proposed sustainable design initiatives must be submitted to and approved by the Responsible Authority. The amended SMP must

be generally in accordance with the SMP prepared by GIW, dated 11 August 2023 and incorporate the following sustainable design commitments to achieve a minimum BESS score of 70%:

- (a) Indicate a reverse cycle heating and cooling system to meet a 3-star minimum heating and 3-star minimum cooling (not within 1 or 2 stars of the best available) to each unit to reflect what has been entered into BESS assessment.
- (b) Calculations (modelling or hand calculations) to demonstrate how the spaces are predicted to perform in relation to daylight benchmarks outlined in BESS (<https://bess.net.au/tool-notes/>) that reflects what has been entered in the IEQ 1.4 Daylight access – Non-residential BESS credit.
- (c) The provision / location of facilities on site for managing the separation of general waste, co-mingled recycling, food and garden waste and glass as per the updated waste management plan.
- (d) The Urban Ecology 2.1 Vegetation BESS credit updated to include only turfed or planting areas and not other landscaping elements such as hard paving/pavers (including permeable paving), loose pavers/stepping stones aggregate/pebbles, synthetic grass, decks, pool, RW tanks, storage sheds etc. This area must be demarcated on the landscape plan accurately also.

Any change during the detailed design stage, which prevents or alters the attainment of the commitments and performance outcomes of endorsed sustainable management plan, must be documented by the author of the endorsed SMP or similarly qualified person in an addendum to the sustainable management plan, which must be provided to the satisfaction of the Responsible Authority prior to the commencement of construction.

All works must be undertaken in accordance with the endorsed sustainable management plan to the satisfaction of the Responsible Authority. No alterations to the SMP may occur without the written consent of the Responsible Authority.

17. Prior to the occupation of any building approved under this permit, written confirmation from the author of the endorsed SMP or similarly qualified person, is to be submitted to and approved by the Responsible Authority detailing that all of the required measures specified in the SMP have been implemented, to the satisfaction of the Responsible Authority.

Acoustic Treatments

18. Concurrent with the endorsement of plans required under Condition 1 of this permit, an Acoustic Report to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The Report must be prepared by a suitably qualified acoustic engineer to the satisfaction of the Responsible Authority and show how the requirements of Environment Protection Regulations 2021 under the Environment Protection Act 2017 and the 'Noise limit and assessment protocol for the control of noise from commercial, industrial and trade premises and entertainment venues' (Publication 1826.4, Environment Protection Authority, May 2021) will be met. The report must, to the satisfaction of the Responsible Authority, prescribe:

- (a) The form of acoustic treatment to dwellings to protect occupants from internal and external noise sources; and
- (b) the mechanical plant equipment installed or constructed as part of the development.

The plans submitted to the Responsible Authority for endorsement pursuant to this condition must be updated to incorporate the acoustic engineer's recommendations to the satisfaction of the Responsible Authority and where there are recommendations of an ongoing nature, must be implemented to the satisfaction of the Responsible Authority.

Wind Effects Statement

19. Concurrent with the endorsement of plan required under Condition 1 of this permit, an amended Wind Effect Statement generally in accordance with that prepared by MEL Consultants, date 10 August 2023 must be submitted to the satisfaction and approval of the Responsible Authority. It must include the results of a Wind Tunnel Study to quantify wind conditions and any wind mitigation strategies. Any modifications required to the development as a result of the study must be incorporated into the development at no cost to the Responsible Authority.
20. The wind effects statement must be implemented to the satisfaction of the Responsible Authority. The wind effects statement must not be modified unless without the written consent of the Responsible Authority.

Construction Management

21. Prior to the commencement of any buildings and works on the land, a Construction Management Plan (CMP), to the satisfaction of the Responsible Authority, must be submitted to and approved by the Responsible Authority. The CMP must be prepared in accordance with the City of Kingston Construction Management Policy and Construction Management Guidelines. The CMP must specify and deal with, but is not limited to, the following elements:
 - (a) Public Safety, Amenity and Site Security
 - (b) Traffic Management
 - (c) Stakeholder Management
 - (d) Operating Hours, Noise and Vibration Controls
 - (e) Air Quality and Dust Management
 - (f) Stormwater and Sediment Control
 - (g) Waste and Materials Re-use

When approved, the plan will be endorsed and will then form part of the permit and shall thereafter be complied with during the undertaking of all works.

Section 173 Agreement

22. Prior to the commencement of the use and development hereby permitted, the owner of the land must enter into an executive agreement with the Responsible Authority pursuant to Section 173 of the *Planning and Environment Act 1987* to the satisfaction of the Responsible Authority, for the delivery of affordable housing as defined by Section 3AA of the Act, in which it shall be covenanted as follows:
 - a) Pursuant to the provisions of Section 181 of the *Planning and Environment Act 1987* this agreement shall be registered with the Registrar of Titles and shall run with the land.
 - b) The owner of the land under the permit shall pay the legal costs and be responsible for the preparation and registration of the said agreement.

The Section 173 agreement must specifically provide for the following:

- i. 5% dwellings (rounded up to the nearest whole number) of the proposal as affordable housing for households (as defined in the *Planning and Environment Act 1987*), with a restriction on the on-sale of these units to moderate income households for a period of twenty (20) years.
- ii. Upon registration of the plan of subdivision for the development, the agreement required by this condition will end with respect to the titles of dwellings in the proposal that are not proposed to be used to provide affordable housing and will only remain on title to the 5% of dwellings proposed to provide affordable housing. The agreement will end with respect to the 5% of dwellings after twenty (20) years.

Infrastructure and Road Works

23. Any relocation of pits/power poles or other services affected by this development must be relocated to the satisfaction of the relevant servicing authority and the Responsible Authority, at the cost of the owner/developer.
24. Prior to the commencement of development, property boundary, footpath and vehicle crossing levels must be obtained from Council's Roads and Drains Department with all levels raised or lowered to the satisfaction of the Responsible Authority.
25. Property boundary and footpath levels must not be altered without the prior written consent from the Responsible Authority.
26. Any reinstatements and new/modified vehicle crossings must be constructed to the satisfaction of the Responsible Authority.
27. The replacement of all footpaths, including offsets, must be constructed to the satisfaction of the Responsible Authority.
28. Any redundant vehicle crossings must be removed (including redundant portions of vehicle crossings) to the satisfaction of the Responsible Authority.
29. Vehicle crossings and footpath in Central Avenue must be constructed to council's industrial strength specifications.
30. All front and side fences must be contained wholly within the title property boundaries of the subject land.

Public Realm Works

31. Prior to the commencement of development, a fully detailed Public Realm Plan for land directly adjacent to the site's Central Avenue and Redholme Street frontages, based on a feature survey must be prepared in consultation with and to the satisfaction of the Responsible Authority. The plans must include:
 - (a) a full reinstatement of paving to the satisfaction of the Responsible Authority;
 - (b) the installation of street furniture including but not limited to street lighting, bicycle stands, seating, and wayfinding/ street signage, and landscaping features (incorporating water sensitive urban design treatments) to the satisfaction of the Responsible Authority;
 - (c) Existing and proposed car parking;
 - (d) undergrounding of power lines within the adjacent road reserve of the site (i.e. at the northwest and southeast corners of the site) if authorised by the relevant power authority;
 - (e) landscaping plans must include an associated planting schedule showing the location, species type, mature height and width, pot sizes and number of species, watering regime and method of planting of all trees and feature planting;
 - (f) design principles, materials and finishes in accordance with the requirements of the Activity Centre Streetscape suite; and,
 - (g) Any consequential changes to the footpath, kerb and channel or street infrastructure as a result of conditions 23 to 29 of this permit.

All works in the public realm plan must be undertaken at the cost of the developer.

32. Prior to the occupation of the building the public realm works at condition 31 must be completed to the satisfaction of the Responsible Authority.

Car Parking Management

33. Concurrent with the endorsement of plans required by condition 1 of this planning permit, a car parking management plan (CPMP) prepared by an appropriately qualified traffic consultant to the satisfaction of the Responsible Authority must be submitted to and approved by the

Responsible Authority. When approved, the car parking management plan will be endorsed and form part of this planning permit. The car parking management plan must show, but is not necessarily limited to, all of the following to the satisfaction of the Responsible Authority:

- (a) The number and location of the car parking spaces allocated to each dwelling to be no less than the planning scheme requirements for each dwelling typology (i.e. number of bedrooms).
- (b) The number and location of car parking spaces to the commercial office space to be no less than thirty-six (36) car parking spaces.
- (c) The number and location of car parking spaces associated with the retail (shop) premises to be no less than 6 car parking spaces.
- (d) The provision of disabled car parking spaces in accordance with the Standard AS2890.6-2009 (disabled) and the Building Code of Australia made available on site as per planning scheme requirements.
- (e) A schedule of all proposed signage including directional arrows and signage, informative signs indicating location of disabled bays.

The car parking management plan must be implemented to the satisfaction of the Responsible Authority. No alterations may be made to this plan without the prior written approval of the Responsible Authority.

Bicycle Parking

34. Prior to the occupation of the development, all bicycle parking facilities must be installed and thereafter maintained to the satisfaction of the Responsible Authority.

Green Travel Plan

35. Prior to the occupation of the development the Green Travel Plan (GTP) prepared by GIW Environmental Solutions dated 22 August 2023 Rev A shall be updated to reflect and refer to the endorsed development plans to the satisfaction of the Responsible Authority. The GTP must be implemented to the satisfaction of the Responsible Authority. The GTP must not be modified unless with the written consent of the Responsible Authority.

General amenity conditions

36. All works on or facing the boundaries of adjoining properties must be finished and surface cleaned to a standard that is well presented to neighbouring properties in a manner to the satisfaction of the Responsible Authority.
37. All externally-located heating and cooling units, exhaust fans and the like must not be located adjacent to bedroom windows on adjoining properties and must not be located where they will be highly visible from any public area to the satisfaction of the Responsible Authority.
38. All piping, ducting above the ground floor storey of the development (other than rainwater, guttering and downpipes) must be concealed to the satisfaction of the Responsible Authority.
39. The amenity of the area must not be detrimentally affected by the development and/or use, through the:
 - i) Transport of materials, goods or commodities to or from the land.
 - ii) Appearance of any building, works or materials.
 - iii) Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil.

Completion of Works

**City of Kingston
Planning Committee Meeting**

Agenda

20 March 2024

40. Prior to the occupation of the development hereby permitted, all buildings and works and the conditions of this permit must be complied with to the satisfaction of the Responsible Authority, unless with the further prior written consent of the Responsible Authority.
41. Prior to the occupation of the development hereby permitted, the landscaping works as shown on the endorsed plans must be completed to the satisfaction of the Responsible Authority. Thereafter, the landscaping shall be maintained (except where that landscaping is on public land) to the satisfaction of the Responsible Authority.

Permit Expiry

42. This permit as it relates to development (buildings and works) and use will expire if one of the following circumstances applies:
- The development is not started within two (2) years of the issue date of this permit.
 - The development is not completed within four (4) years of the issue date of this permit.
 - The use is not commenced within two (2) years of completion of the development.
 - The use is discontinued for a period of two (2) years.

In accordance with Section 69 of the Planning and Environment Act 1987, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition.

Note: Environment Protection Authority (EPA) Victoria set out the requirements pertaining to site construction hours and permissible noise levels.

Note: Any buildings and works (including eaves) to be located within an easement requires separate consent from Council and/or the relevant service authority. This will need to be obtained prior to the issue of a building permit.

Note: Prior to the commencement of the development you are required to obtain the necessary Building Permit.

Note: The applicant/owner must provide a copy of this planning permit to any appointed Building Surveyor. It is the responsibility of the applicant/owner and Building Surveyor to ensure that all building development works approved by any building permit is consistent with the planning permit.

Note: The applicant/owner must provide a copy of this planning permit and any endorsed plans to any external contractor to ensure that all trees to be retained on site are protected during any works.

Note: Before removing / pruning any vegetation from the site, the applicant or any contractor engaged to remove any vegetation, should consult Council's Vegetation Management Officer to verify if a Local Laws Permits is required for the removal of such vegetation.

Note: Any landscape plan prepared in accordance with conditions must comply with Council's Landscape Checklist.

Note: In the event Council agrees to remove any of the trees, a removal and replacement fee will apply for each tree removed.

Note: Please note for information on how City of Kingston approaches the construction of building and other structures with below ground elements for the benefit of the whole community please refer to City of Kingston 'Basement and Deep Building Construction Policy' and 'Basements and Deep Building Construction Guidelines'.
<http://www.kingston.vic.gov.au/Property-and-Development/Engineering-Assessments>

Note: Please note that during basement construction Council does not permit the discharge of surface water or ground water into the Council drainage system unless a Temporary

**City of Kingston
Planning Committee Meeting**

Agenda

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Discharge Permit (TDP) has been obtained. Application form and other construction related permits can be obtained from the following link:

<http://www.kingston.vic.gov.au/Property-and-Development/Construction>


Note: The allocation of street numbering and addressing of properties is vested in Council. Any reference to addressing or dwelling/unit/apartment and street numbers or street names on any endorsed plan is indicative only. The onus is on the Permit Applicant/Land Owner to contact Council's Property Data Department to determine the official dwelling/unit/apartment street numbers, street name details and the like for the approved development.

If the Permit Applicant/Land Owner adopts the street numbering or addressing from the endorsed plans, or where advertising and/or sales transact (off the plan) prior to Council's official allocation of the street numbering and addressing, it will be viewed to be non-compliant with the guideline and standard applied (Australian/New Zealand Standard for Rural & Urban Addressing / AS/NZS 4819:2011).

Note: The owner(s), occupiers and visitors of the development allowed by this permit may not be eligible for Council resident or visitor parking permits.

Appendices

Appendix 1 - Advertised Plans (Ref 24/47490) 

Appendix 2 - Without Prejudice Plans (Ref 24/47482) 

Author/s: Kirsty Slater, Principal Statutory Planner
Reviewed and Approved By: Craig Tate, Team Leader Statutory Planning
Alfred Carnovale, Manager City Development

4.2

KP-2022/834 - 10 CENTRAL AVENUE, MOORABBIN

| | | |
|---|------------------------------|-----|
| 1 | Advertised Plans | 91 |
| 2 | Without Prejudice Plans..... | 119 |

10 CENTRAL AVENUE MOORABBIN, VICTORIA 3189

| DRAWING LIST | |
|--------------|--|
| TP-000 | COVER PAGE |
| TP-010 | NEIGHBOURHOOD & SITE DESCRIPTION |
| TP-011 | DEMOLITION PLAN |
| TP-020 | DESIGN RESPONSE - SITE PLAN |
| TP-021 | DESIGN RESPONSE - 3D PERSPECTIVE RENDER |
| TP-022 | DESIGN RESPONSE - SECTIONS |
| TP-023 | DESIGN RESPONSE - SITE ANALYSIS |
| TP-024 | DESIGN RESPONSE - BUILDING FORM |
| TP-025 | DESIGN RESPONSE - KEY VIEWS |
| TP-026 | DESIGN RESPONSE - BUILDING ARTICULATION |
| TP-027 | DESIGN RESPONSE - FACADE DETAILS |
| TP-028 | DESIGN RESPONSE - APARTMENT TYPOLOGIES |
| TP-090 | BASEMENT 03 PLAN |
| TP-091 | BASEMENT 02 PLAN |
| TP-092 | BASEMENT 01 PLAN |
| TP-100 | PROPOSED GROUND FLOOR PLAN |
| TP-101 | PROPOSED FIRST AND SECOND FLOOR TYPICAL PLAN |
| TP-102 | PROPOSED THIRD FLOOR PLAN |
| TP-103 | PROPOSED FOURTH TO EIGHTH FLOOR TYPICAL PLAN |
| TP-110 | PROPOSED ROOF TERRACE |
| TP-400 | NORTH ELEVATION |
| TP-401 | EAST ELEVATION |
| TP-402 | WEST ELEVATION |
| TP-900 | SHADOW DIAGRAM - 9AM & 10AM |
| TP-901 | SHADOW DIAGRAM - 11AM & 12PM |
| TP-902 | SHADOW DIAGRAM - 1PM & 2PM |
| TP-903 | SHADOW DIAGRAM - 3PM |



AERIAL IMAGE
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| 3 | 21/01/21 | EDGE FOR TOWN PLANNING | TL | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MOORABBIN
VIC 3189

TOWN PLANNING DRAWINGS

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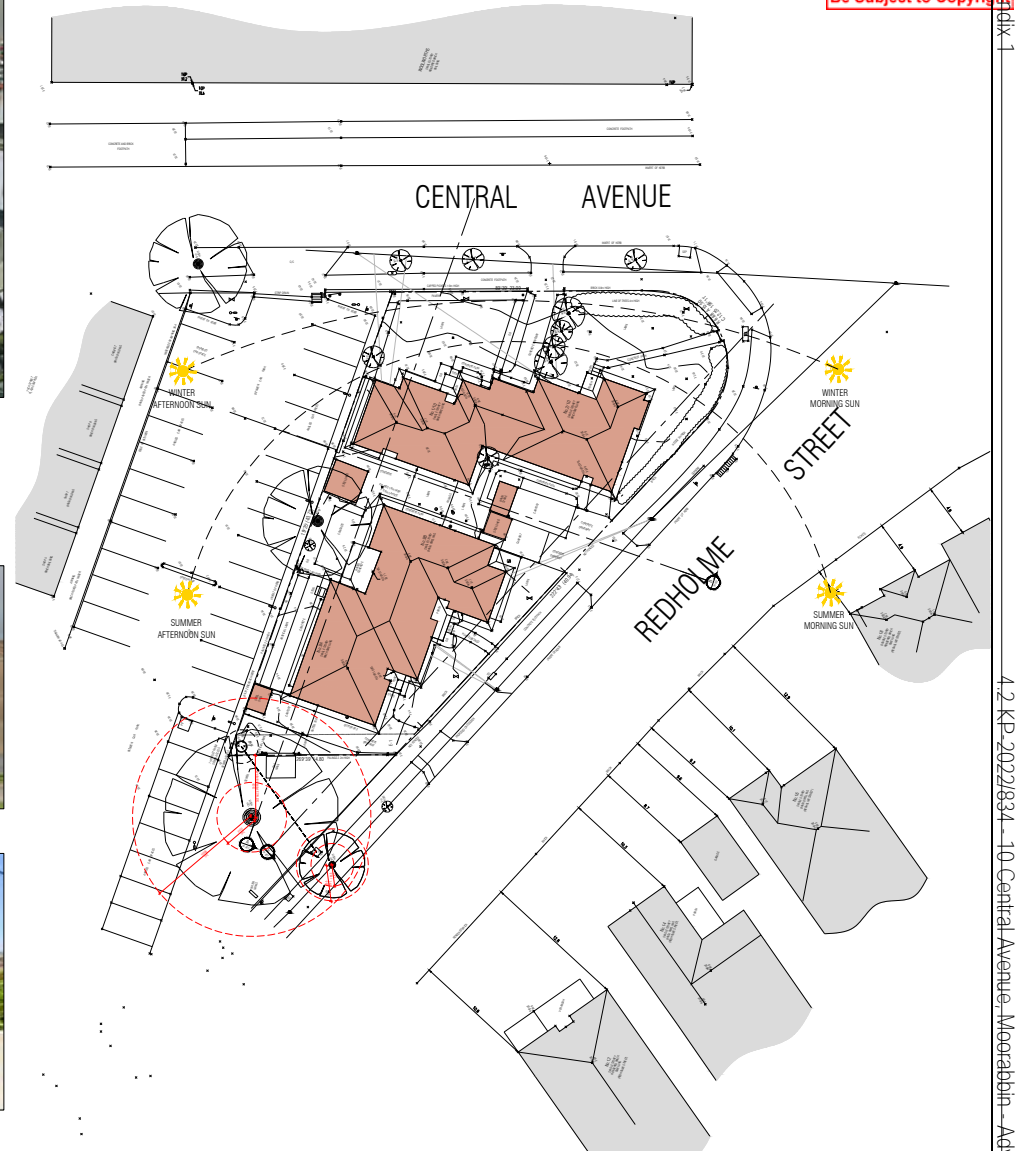
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SITE PHOTO - VIEW FROM CENTRAL AVENUE (LOOKING WEST) - SUBJECT SITE ON LEFT



SITE PHOTO - VIEW FROM REDHOLME STREET (LOOKING NORTH) - SUBJECT SITE ON LEFT



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MOORABBIN
VIC 3189

TOWN PLANNING DRAWINGS

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NEIGHBOURHOOD & SITE DESCRIPTION

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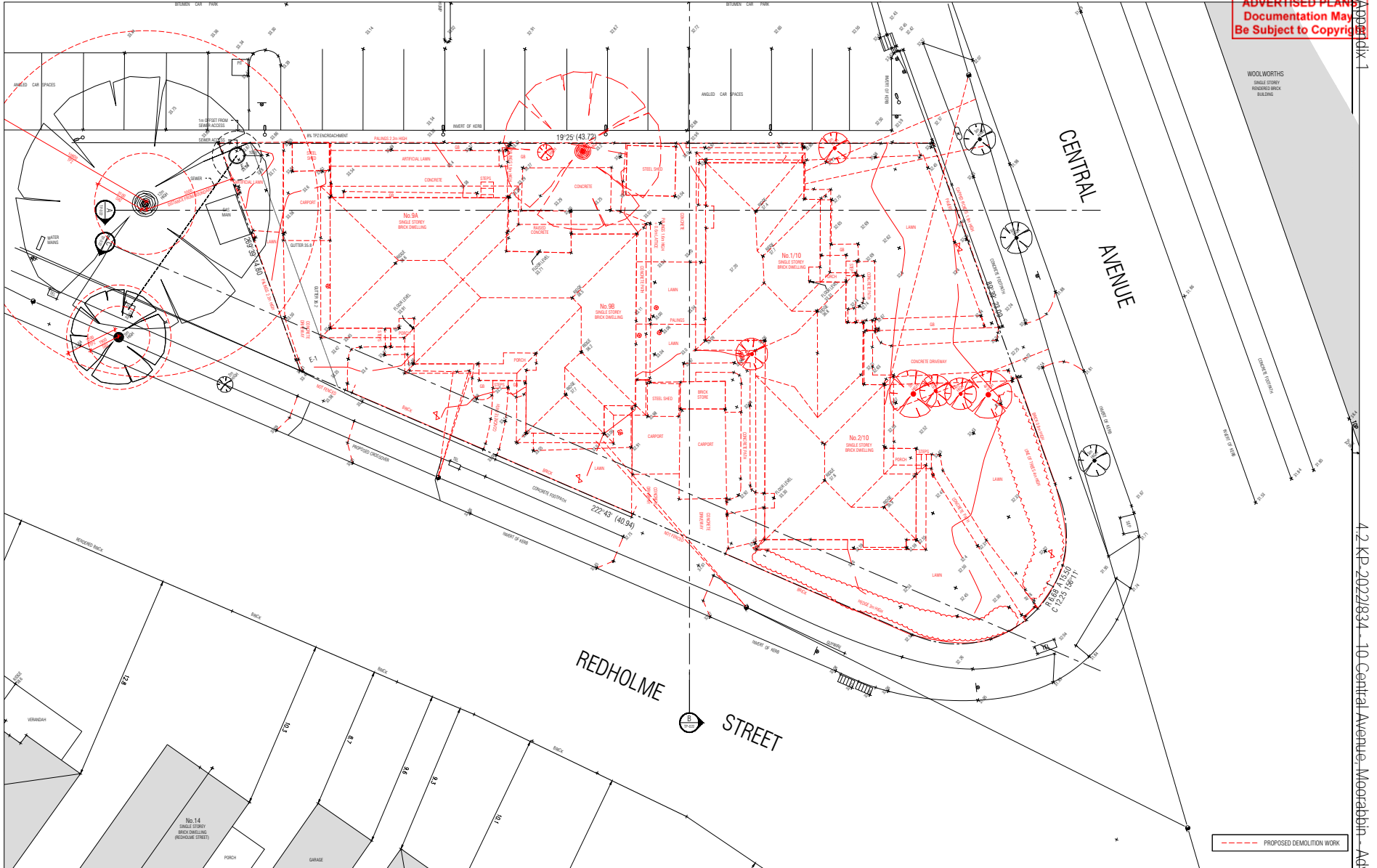
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--- PROPOSED DEMOLITION WORK

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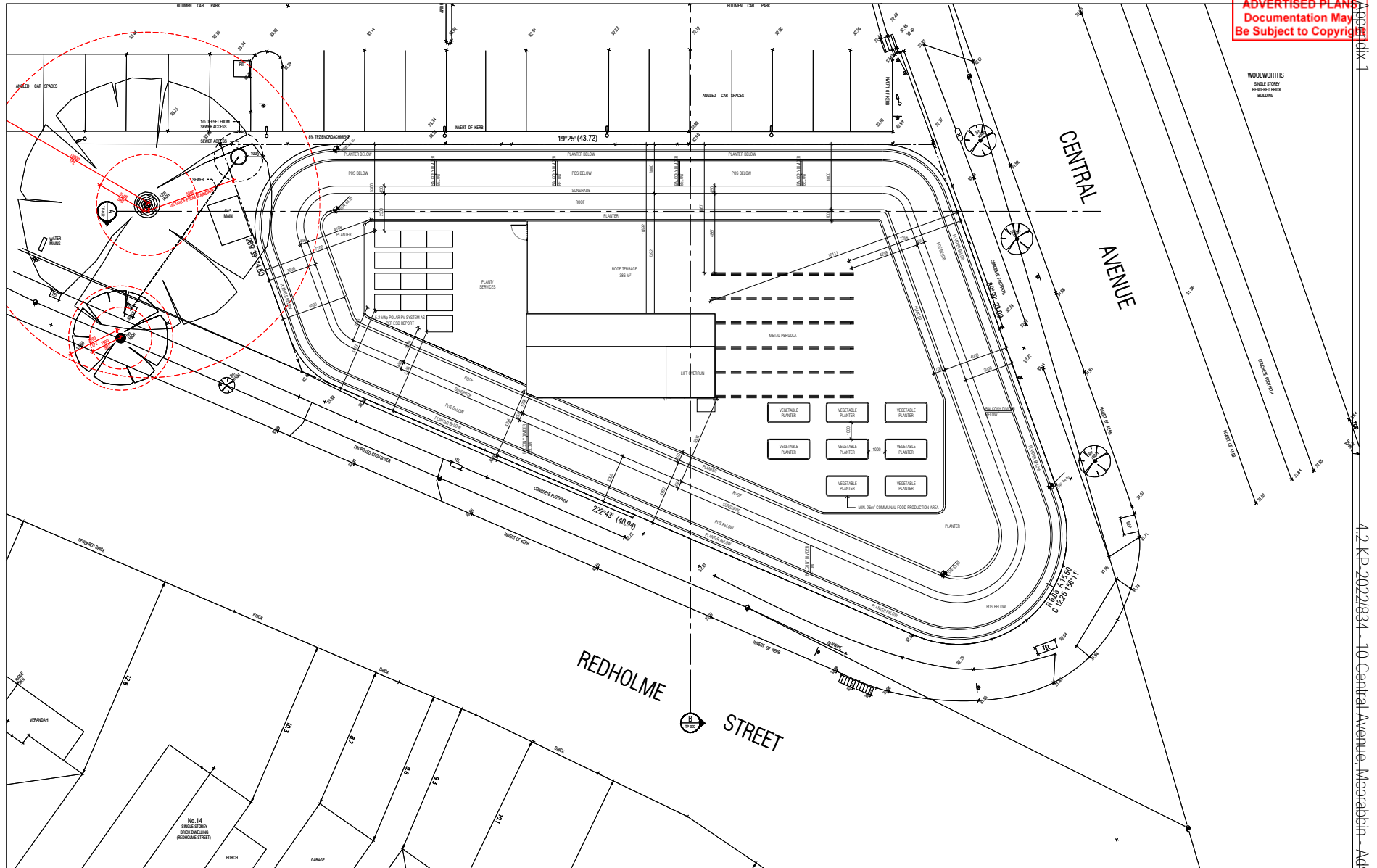
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PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MADROSBEN
VIC 3189

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Appendix 1
4.2 KP-2022/1834 - 10 Central Avenue, Moorabbin - Advertised Plans

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PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MADROASBIN
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TOWN PLANNING DRAWINGS
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Appendix 1
4.2 KP-20221834 - 10 Central Avenue, Moorabbin - Advertised Plans

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Appendix 1



4.2 KP-2022/834 - 10 Central Avenue, Moorabbin - Advertised Plans

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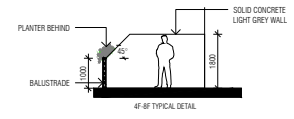
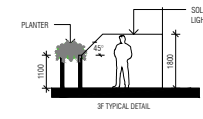
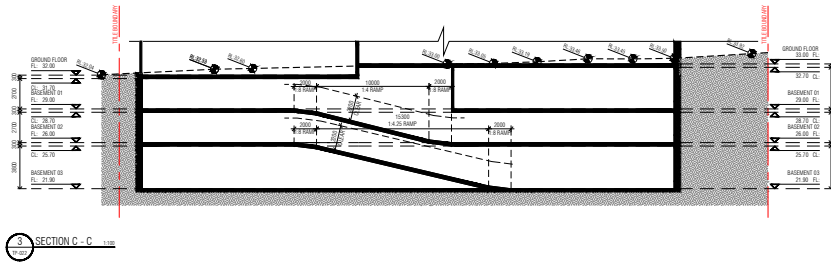
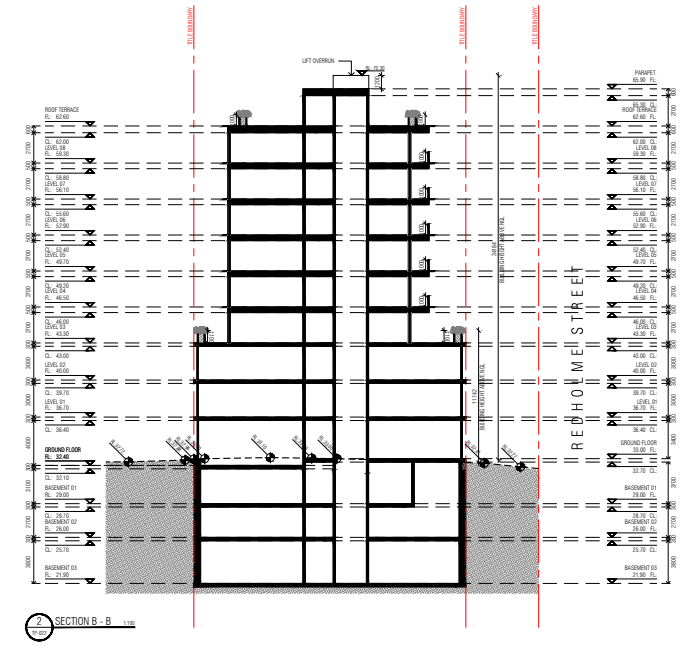
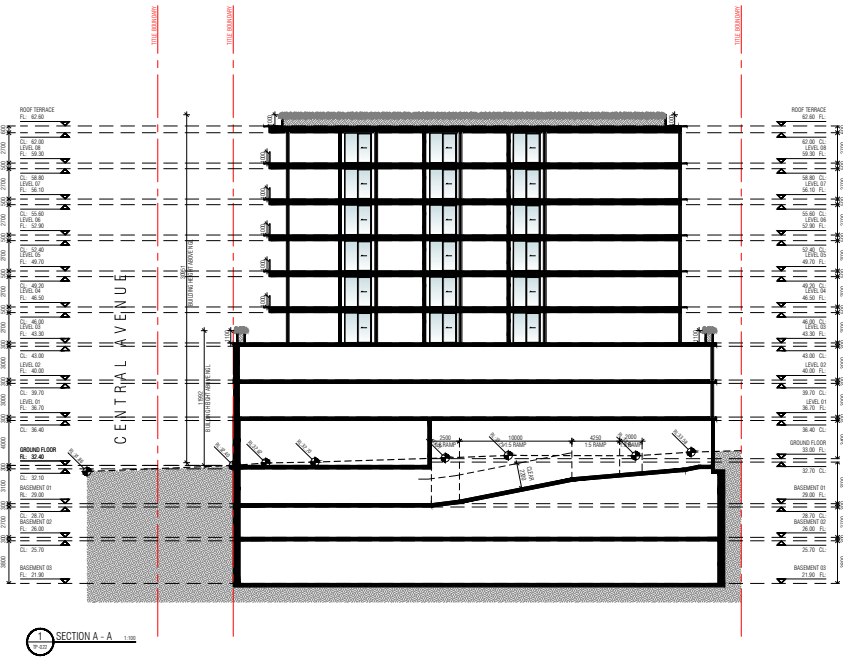
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MOORABBIN
VIC 3189

TOWN PLANNING DRAWINGS

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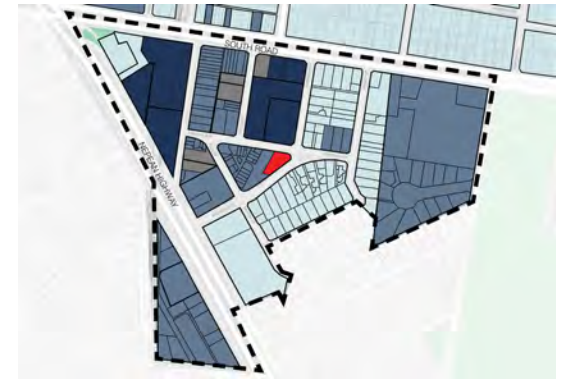
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- 01 PLANNING ZONES**
- SUBJECT SITE
 - ACTIVITY ZONE
 - PUBLIC ZONE
 - PUBLIC PARK AND RECREATION ZONE
 - ROAD ZONE 1
 - ROAD ZONE 2
 - COMMERCIAL ZONE 1
 - COMMERCIAL ZONE 2
 - NEIGHBOURHOOD RESIDENTIAL ZONE
 - OUTLINE OF ACTIVITY ZONE BOUNDARY



- 02 PUBLIC TRANSPORT/WALKING**
- 5 MIN WALKABILITY RADIUS FROM SUBJECT SITE
 - 10 MIN WALKABILITY RADIUS FROM SUBJECT SITE
 - BS BUS STOPS
 - BUS LINE
 - TS TRAIN STATION
 - TRAIN TRACKS



- 03 BUILDING HEIGHTS WITHIN FRAMEWORK PLAN AND APPROVED PERMITS**
- 3 STOREY
 - 4 - 5 STOREY
 - 6 - 7 STOREY
 - 8+ STOREY

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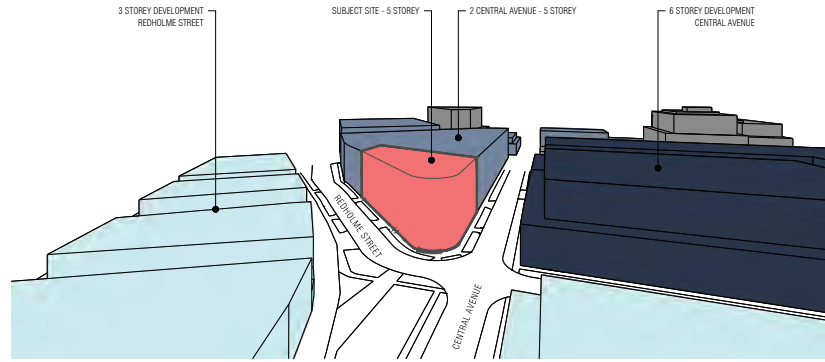
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PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MORRABBIN
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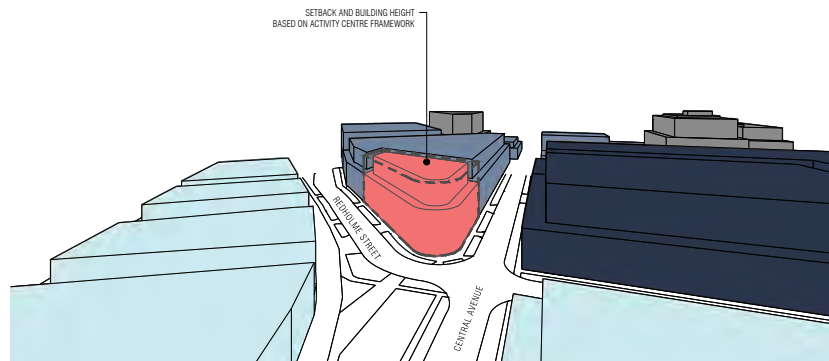
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TP-023 B

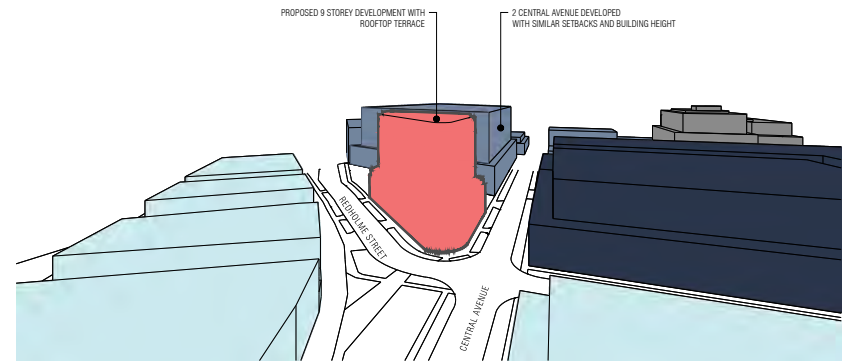
- SUBJECT SITE
- 3 STOREY
- 4 - 5 STOREY
- 6 - 7 STOREY
- 8 STOREY AND ABOVE



01 SITE EXTENTS



02 SETBACKS



03 PROPOSED MASSING

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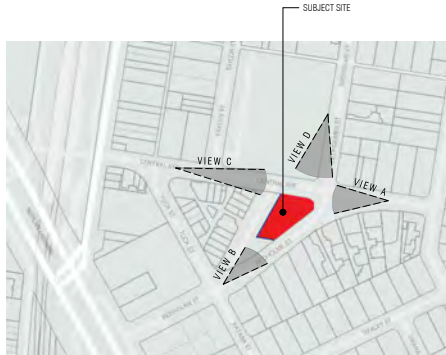
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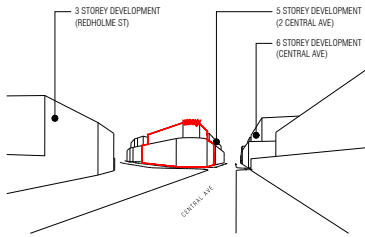
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| 2 | 23/01/23 | EDGE FOR TOWN PLANNING | TR | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MOORABBIN
VIC 3189

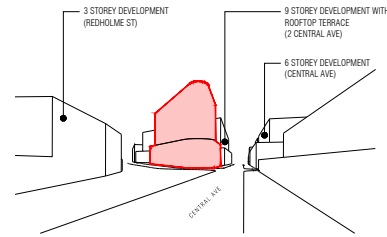
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| DRAWING ISSUE | DRAWING NO. |
| TOWN PLANNING | TP-024 B |



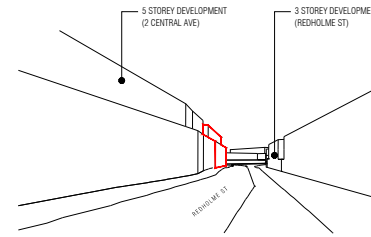
01 SITE MAP



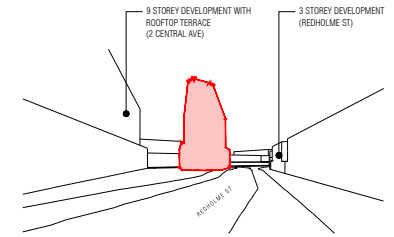
02 VIEW A (MASSING BASED ON ACTIVITY CENTRE FRAMEWORK PLAN)



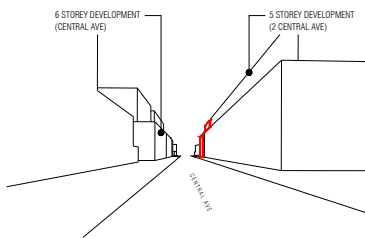
03 VIEW A (PROPOSED)



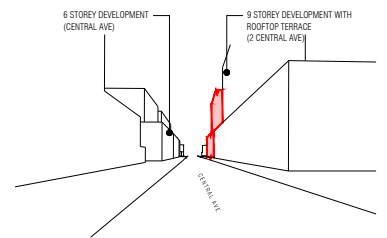
04 VIEW B (MASSING BASED ON ACTIVITY CENTRE FRAMEWORK PLAN)



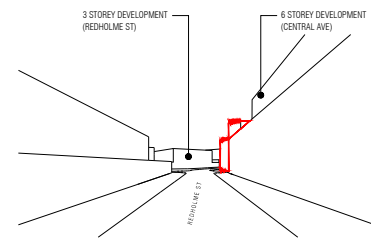
05 VIEW B (PROPOSED)



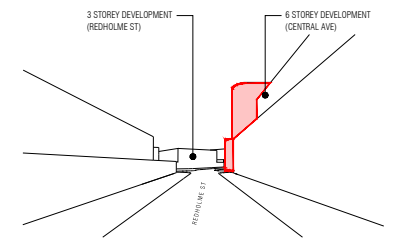
06 VIEW C (MASSING BASED ON ACTIVITY CENTRE FRAMEWORK PLAN)



07 VIEW C (PROPOSED)



08 VIEW D (MASSING BASED ON ACTIVITY CENTRE FRAMEWORK PLAN)



09 VIEW D (PROPOSED)

- SUBJECT SITE (1 STOREY - BUILDING HEIGHT BASED ON ACTIVITY CENTRE FRAMEWORK PLAN)
- SUBJECT SITE (PROPOSED 9 STOREY DEVELOPMENT WITH ROOFTOP TERRACE)

*NOTE - MASSING OF SURROUNDING CONTEXT BASED ON ACTIVITY CENTRE FRAMEWORK PLAN AND APPROVED BUILDING PERMITS

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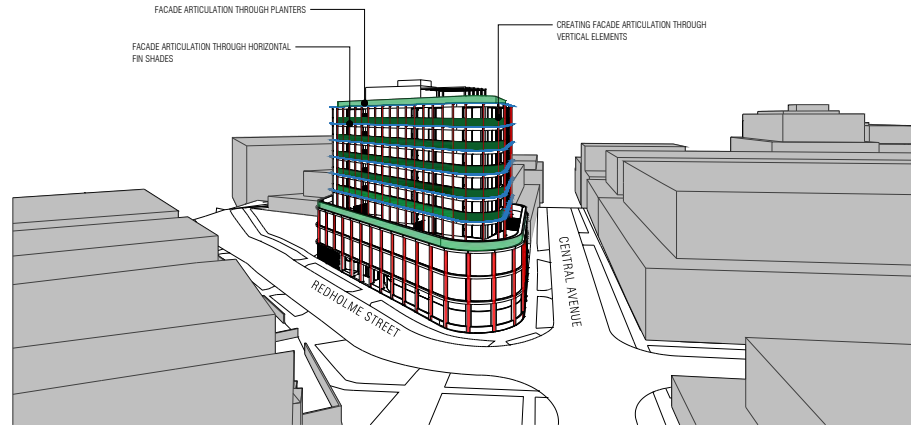
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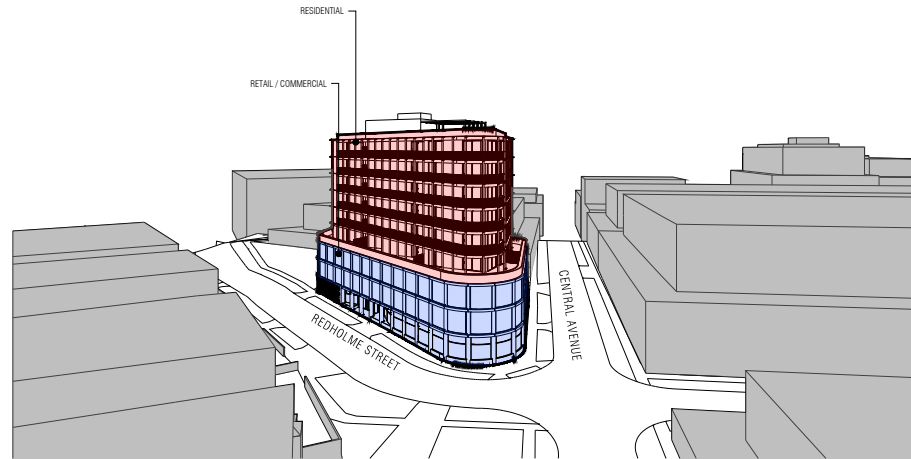
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| 2 | 15/12/22 | EDGE FOR TOWN PLANNING | TL | | | | |
| 3 | 21/01/23 | EDGE FOR TOWN PLANNING | TL | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MIDGONSBY
VIC 3189

| TOWN PLANNING DRAWINGS | |
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| DRAWING TITLE DESIGN RESPONSE - KEY VIEWS | DATE |
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| PAGE: 4/4 | M1120 |
| DRAWN: HL | DRAWING NO. |
| DRAWING ISSUE | DRAWING NO. |
| TOWN PLANNING | TP-025 B |



01 FACADE ARTICULATION



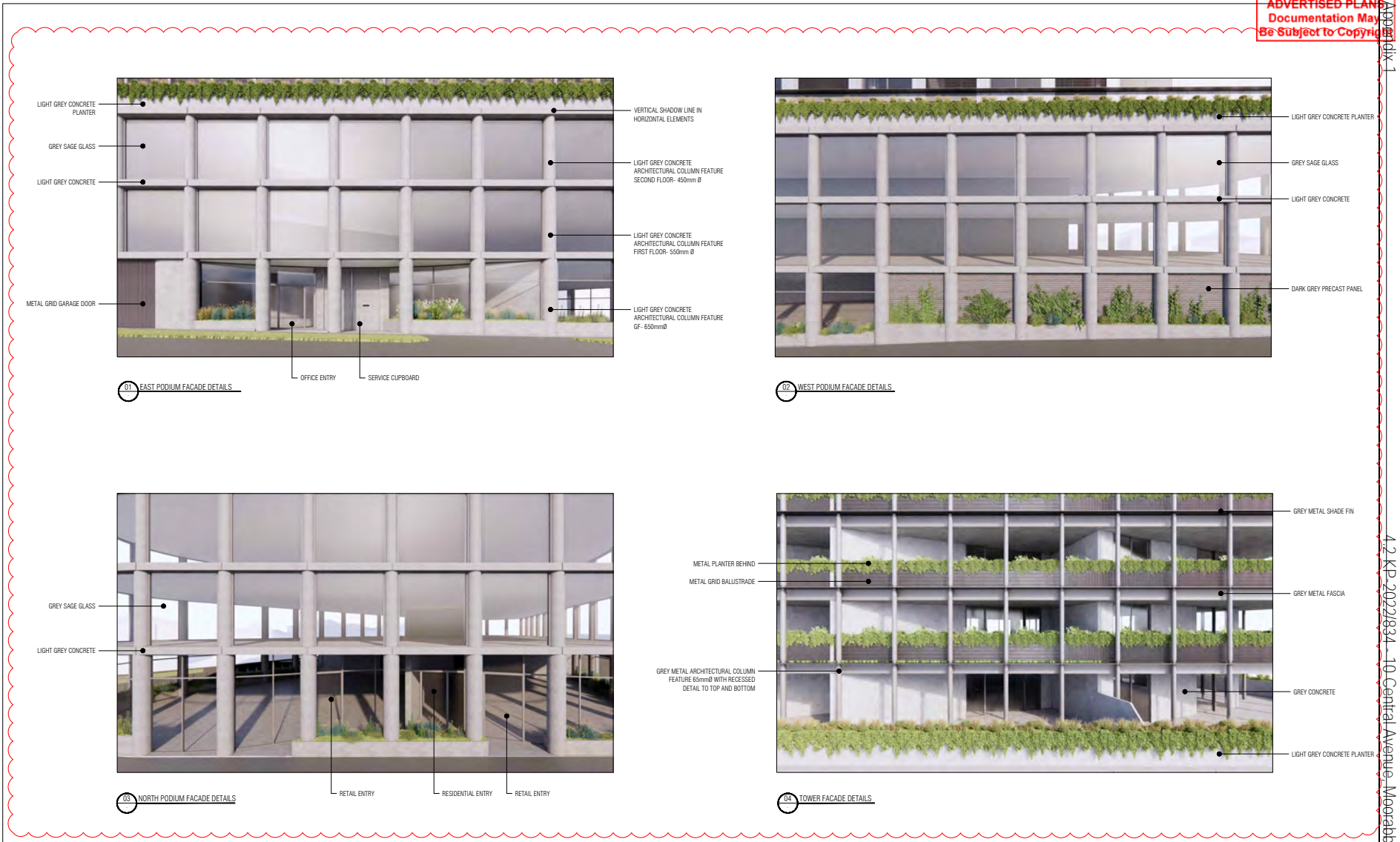
02 LAND USES

- RETAIL / COMMERCIAL
- RESIDENTIAL

| REV. | DATE | DESCRIPTION | CHECKED | REV. | DATE | DESCRIPTION | CHECKED |
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Appendix 1



01 EAST PODIUM FACADE DETAILS

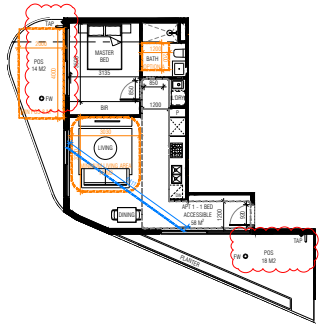
02 WEST PODIUM FACADE DETAILS

03 NORTH PODIUM FACADE DETAILS

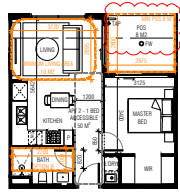
04 TOWER FACADE DETAILS

4.2 KP-20221834 - 10 Central Avenue, Moorabbin - Advertised Plans

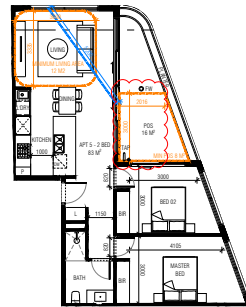
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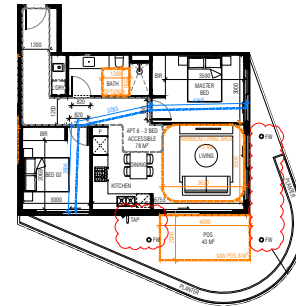
01 APARTMENT 1 1:100
#F WITH BIGGER POD
#F #F
STORAGE:
TOTAL INTERNAL STORAGE VOLUME = 10 m³
TOTAL EXTERNAL STORAGE VOLUME = 5 m³
TOTAL STORAGE VOLUME = 15 m³



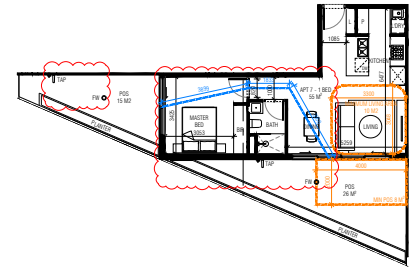
02 APARTMENT 2-4 1:100
#F WITH BIGGER POD
#F #F
STORAGE:
TOTAL INTERNAL STORAGE VOLUME = 10 m³
TOTAL EXTERNAL STORAGE VOLUME = 8 m³
TOTAL STORAGE VOLUME = 18 m³



03 APARTMENT 5 1:100
#F WITH BIGGER POD
#F #F
STORAGE:
TOTAL INTERNAL STORAGE VOLUME = 10 m³
TOTAL EXTERNAL STORAGE VOLUME = 5 m³
TOTAL STORAGE VOLUME = 15 m³



04 APARTMENT 6 1:100
#F WITH BIGGER POD
#F #F
STORAGE:
TOTAL INTERNAL STORAGE VOLUME = 10 m³
TOTAL EXTERNAL STORAGE VOLUME = 11 m³
TOTAL STORAGE VOLUME = 21 m³



05 APARTMENT 7 1:100
#F WITH BIGGER POD
#F #F
STORAGE:
TOTAL INTERNAL STORAGE VOLUME = 10 m³
TOTAL EXTERNAL STORAGE VOLUME = 8 m³
TOTAL STORAGE VOLUME = 18 m³

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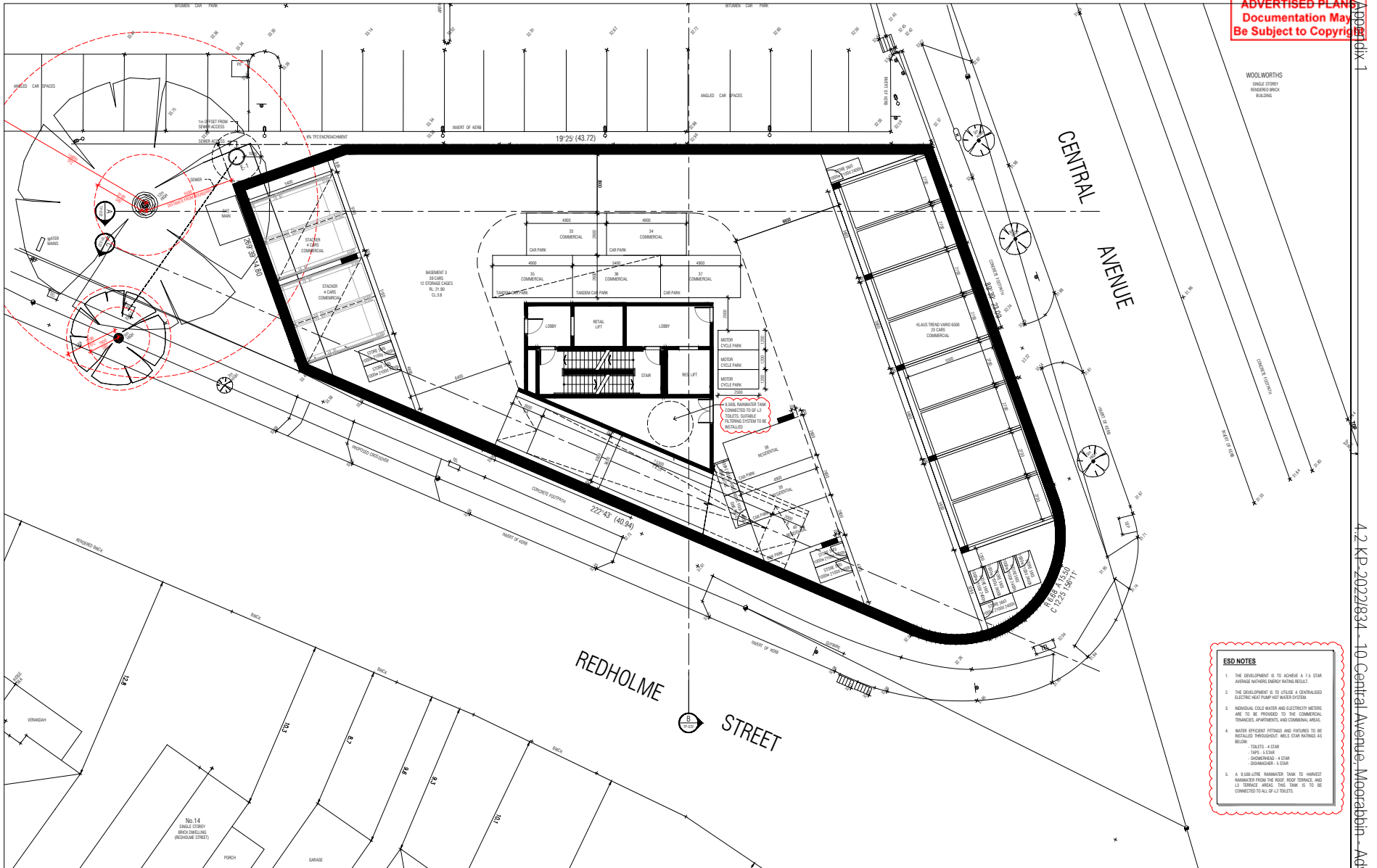
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| 2 | 23.07.23 | EGG FOR TOWN PLANNING | TS | | | | |
| 3 | 08.08.23 | EGG FOR TOWN PLANNING | TS | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MADONNASBEN
VIC 3189

| TOWN PLANNING DRAWINGS | |
|---|-----------------------|
| DRAWING TITLE DESIGN RESPONSE - APARTMENT TYPOLOGIES | DATE |
| SCALE 1:100 | PROJECT NO. M21120 |
| PAGE 41 | DRAWN BY K2 |
| DRAWING ISSUE | DRAWING NO. TP-028 |
| TOWN PLANNING | |

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- ESD NOTES**
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 2. THE DEVELOPMENT IS TO UTILISE A CENTRALIZED ELECTRIC HEAT PUMP HOT WATER SYSTEM.
 3. INDIVIDUAL COLD WATER AND ELECTRICITY METERS ARE TO BE PROVIDED TO THE COMMERCIAL TENANTS, APARTMENTS AND COMBINA AREAS.
 4. WATER EFFICIENT FITTINGS AND FIXTURES TO BE INSTALLED THROUGHOUT. WELS STAR RATINGS AS BELOW:
 - TOILETS: 4 STAR
 - SHOWERS: 5 STAR
 - DISHWASHERS: 4 STAR
 - REFRIGERATORS: 5 STAR
 5. A 9300-LITRE RAINWATER TANK TO HARVEST RAINWATER FROM THE ROOF, ROOF TERRACE AND 1/3 TERRACE AREA. THIS TANK IS TO BE CONNECTED TO ALL 0-2 TOILETS.

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| 2 | 25/01/23 | ESD FOR TOWN PLANNING | TL | | | | |
| 3 | 16/06/23 | ESD FOR TOWN PLANNING | TL | | | | |

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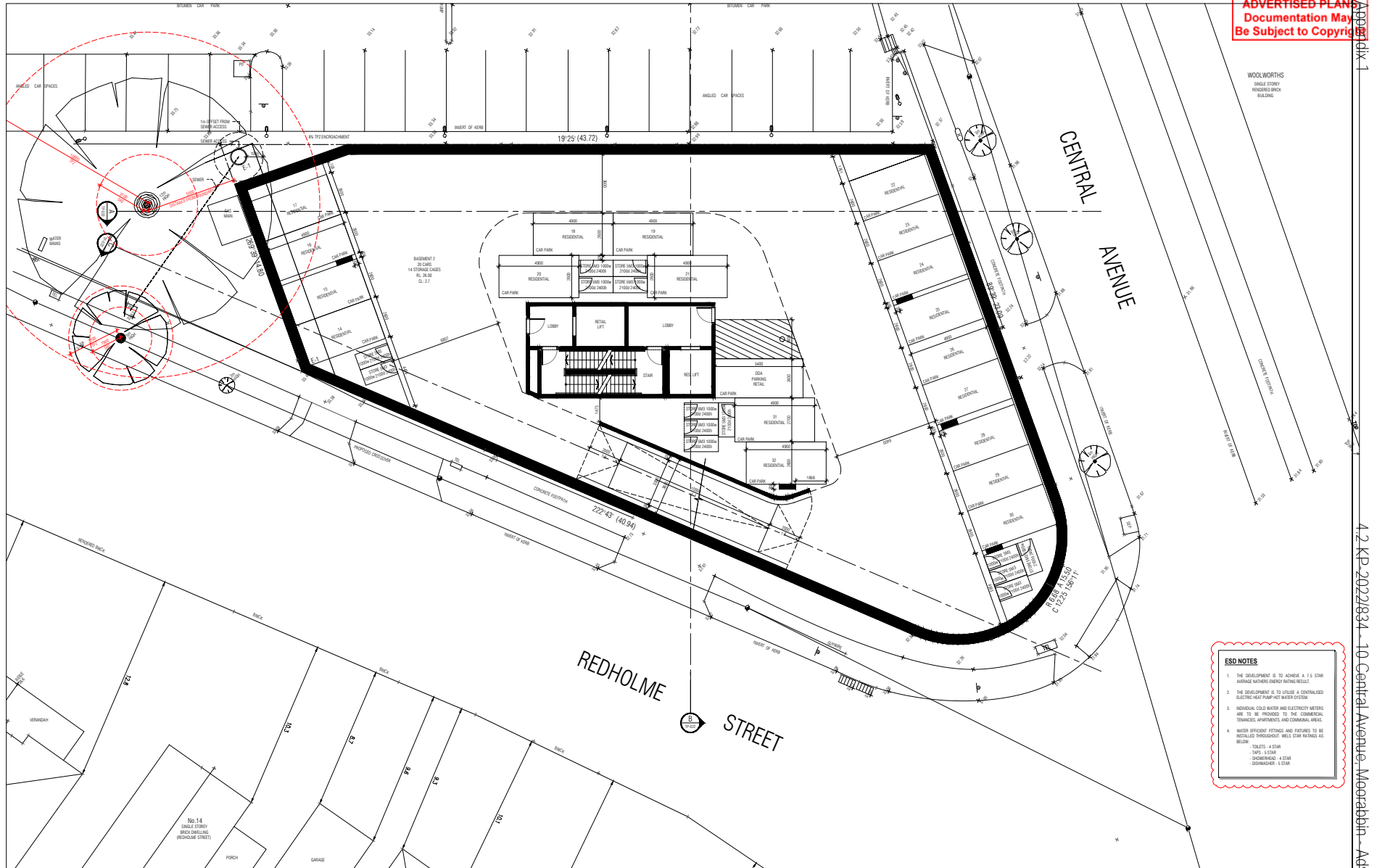
PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MADROCK/SEBEN
VIC 3189

TOWN PLANNING DRAWINGS
DRAWING TITLE
BASEMENT 03 PLAN
SCALE: 1:100
PAGE: 41
DRAWN: JY
TOWN PLANNING

DATE
PROJECT NO.
M21120
DRAWING NO.
TP-090

Appendix 1
4.2 KP-20221834 - 10 Central Avenue, Moorabbin - Advertised Plans

ADVERTISED PLAN
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ESD NOTES

1. THE DEVELOPMENT IS TO ACHIEVE A 1.9 STAR AVERAGE NATHERS ENERGY RATING RESULT.
2. THE DEVELOPMENT IS TO UTILISE A CENTRALIZED ELECTRIC HEAT PUMP HOT WATER SYSTEM.
3. INDIVIDUAL COLD WATER AND ELECTRICITY METERS ARE TO BE PROVIDED TO THE COMMERCIAL STALLS, SHOPS AND COMBINA AREAS.
4. WATER EFFICIENT FITTINGS AND FIXTURES TO BE RETALLED THROUGHOUT. WELS STAR RATINGS AS BELOW:
 - TOILETS: 4 STAR
 - SINKS: 3 STAR
 - DISHWASHER: 4 STAR
 - DOWNSPOUT: 3 STAR

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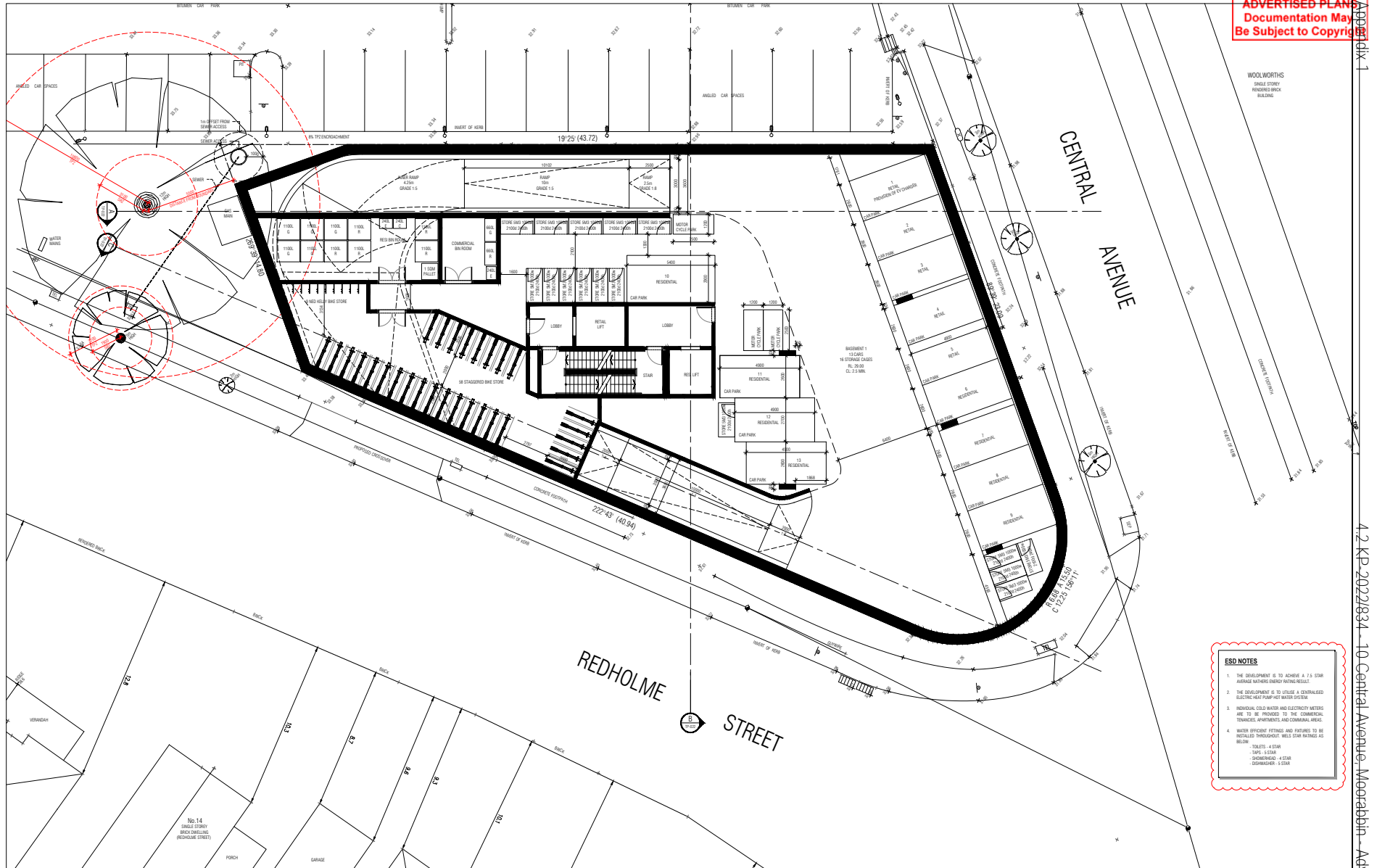
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PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MIDCROHEATH
VIC 3189

TOWN PLANNING DRAWINGS
DRAWING TITLE
BASEMENT 02 PLAN
SCALE: 1:100
PAGE: 41
DRAWN: JY
TOWN PLANNING

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PROJECT NO.
M21120
DRAWING NO.
TP-091

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ESD NOTES

1. THE DEVELOPMENT IS TO ACHIEVE A 1.9 STAR AVERAGE NATHERS ENERGY RATING RESULT.
2. THE DEVELOPMENT IS TO UTILISE A CENTRALIZED ELECTRIC HEAT PUMP HOT WATER SYSTEM.
3. INDIVIDUAL COLD WATER AND ELECTRICITY METERS ARE TO BE PROVIDED TO THE COMMERCIAL STALLS, SHOPS/STOPS AND COMBINED RETAIL.
4. WATER EFFICIENT FITTINGS AND FIXTURES TO BE RETAILED THROUGHOUT. WELS STAR RATINGS AS BELOW:
 - TOILETS: 4 STAR
 - SINKS: 5 STAR
 - DISHWASHER: 4 STAR
 - DOWNSPOUTS: 3 STAR

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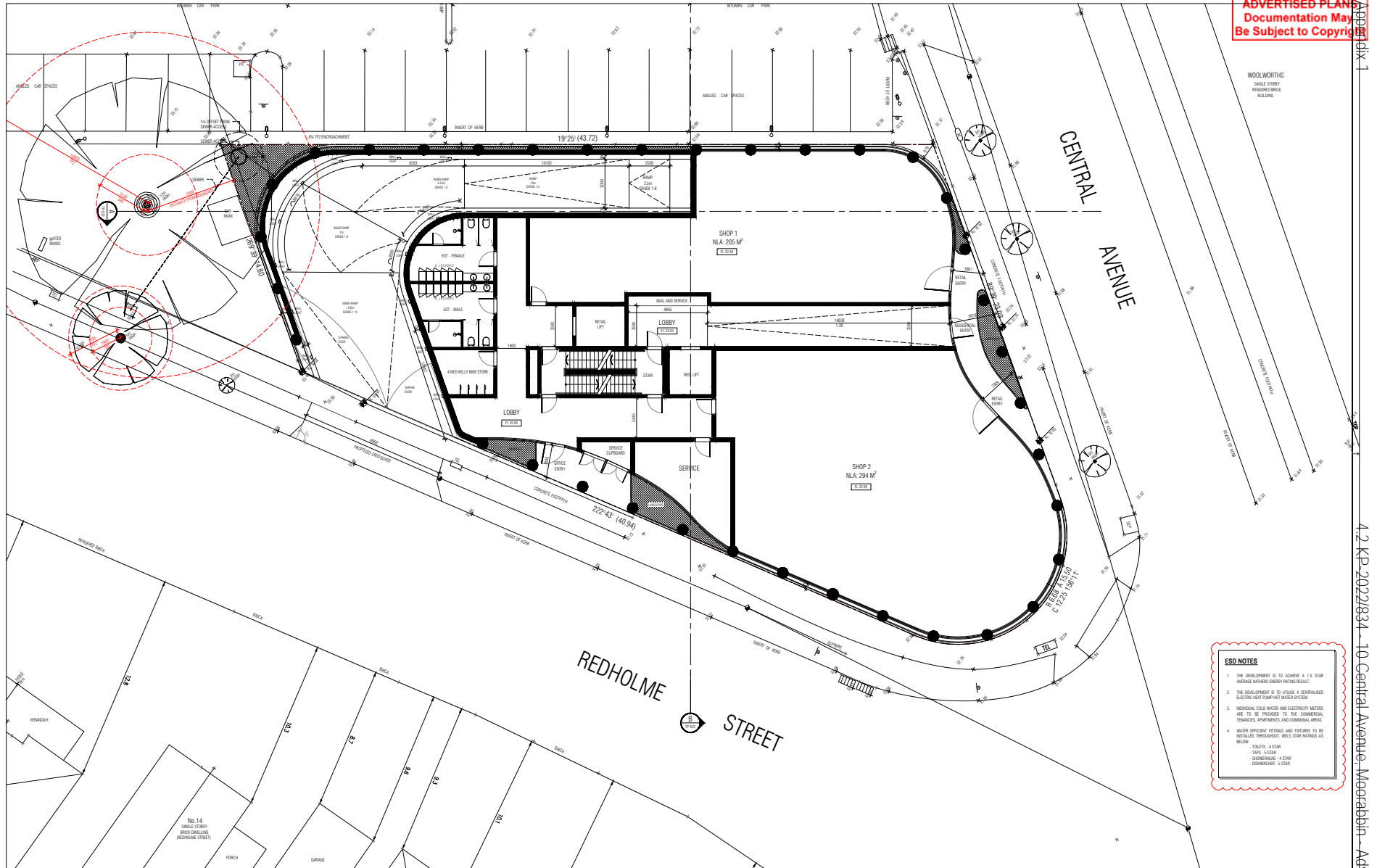
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| 4 | 20/12/22 | ESD FOR TOWN PLANNING | TL | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MIDCROBRAIN
VIC 3189

TOWN PLANNING DRAWINGS
DRAWING TITLE
BASEMENT 01 PLAN
SCALE: 1:100
PAGE: 41
DRAWN: JY
DRAWING NO.
TP-092 C

Appendix 1
4.2 KP-20221834 - 10 Central Avenue, Moorabbin - Advertised Plans

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ESD NOTES

1. THE DEVELOPMENT IS TO ACHIEVE A 1.5 STAR AVERAGE WATERING ENERGY RATING RESULT.
2. THE DEVELOPMENT IS TO UTILISE A CENTRALISED ELECTRIC HEAT PUMP HOT WATER SYSTEM.
3. INDIVIDUAL COLD WATER AND ELECTRICITY METERS ARE TO BE PROVIDED TO THE COMMERCIAL TENANTS, APARTMENTS AND COMMON AREAS.
4. WATER EFFICIENT FITTINGS AND FIXTURES TO BE INSTALLED THROUGHOUT. WELS STAR RATINGS AS BELOW:
 - TOILETS: 4 STAR
 - SINKS: 3 STAR
 - SHOWERHEAD: 4 STAR
 - DISHWASHER: 3 STAR

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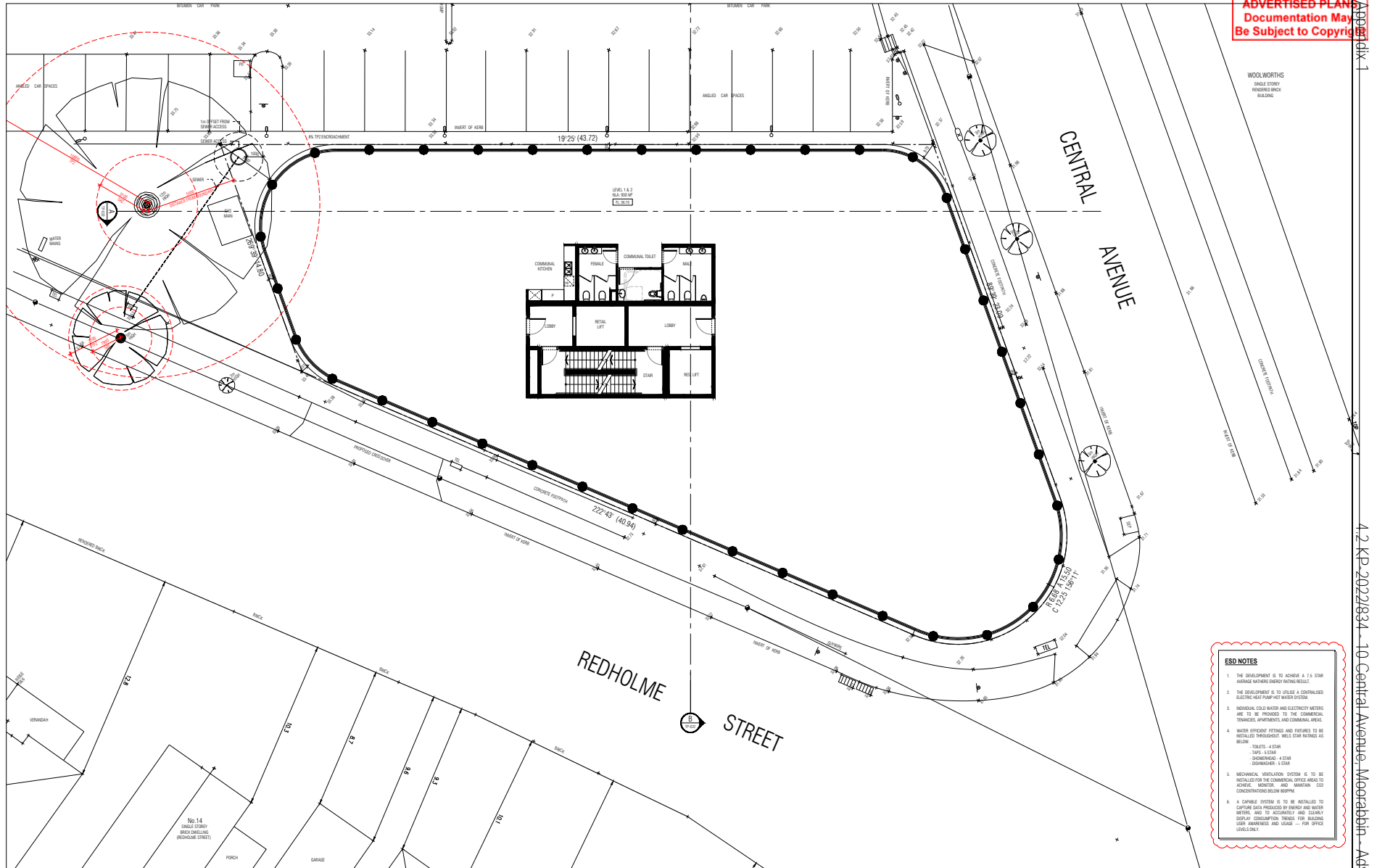
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| 3 | 27/12/22 | ESD FOR TOWN PLANNING | YB | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MIDCROSSHEATH
VIC 3189

TOWN PLANNING DRAWINGS
DRAWING TITLE
PROPOSED GROUND FLOOR PLAN
SCALE: 1:100
PAGE: 41
DRAWN: JY SJ
DRAWING ISSUE
TOWN PLANNING

DATE
PROJECT NO.
M21120
DRAWING NO.
TP-100 C

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WOOLWORTHS
SINGLE STOREY
RENDERS BRICK
BUILDING

- ESD NOTES**
1. THE DEVELOPMENT IS TO ACHIEVE A 1.9 STAR AVERAGE NATIONAL ENERGY RATING RESULT.
 2. THE DEVELOPMENT IS TO UTILISE A CENTRALISED ELECTRIC HEAT PUMP HOT WATER SYSTEM.
 3. INDIVIDUAL COLD WATER AND ELECTRICITY METERS ARE TO BE PROVIDED TO THE COMMERCIAL STALLS, RESTROOMS AND COMMERCIAL KITCHEN.
 4. WATER EFFICIENT FITTINGS AND FIXTURES TO BE INSTALLED THROUGHOUT. WELS STAR RATINGS AS BELOW:
 - TOILETS: 4 STAR
 - SINKS: 5 STAR
 - DISHWASHERS: 4 STAR
 - DISHWASHERS: 5 STAR
 5. MECHANICAL VENTILATION SYSTEM IS TO BE INSTALLED FOR THE COMMERCIAL OFFICE AREAS TO ACHIEVE:
 - OFFICES: 5 STAR
 - COMMERCIAL KITCHEN: 5 STAR
 - COMMERCIAL RESTROOMS: 5 STAR
 6. A CARBIDE SYSTEM IS TO BE INSTALLED TO CAPTURE DATA PRODUCED BY ENERGY AND WATER METERS AND TO ACCURATELY AND CLEARLY DISPLAY CONSUMPTION TRENDS FOR BUILDING USER AWARENESS AND USAGE — FOR OFFICE LEVELS ONLY.

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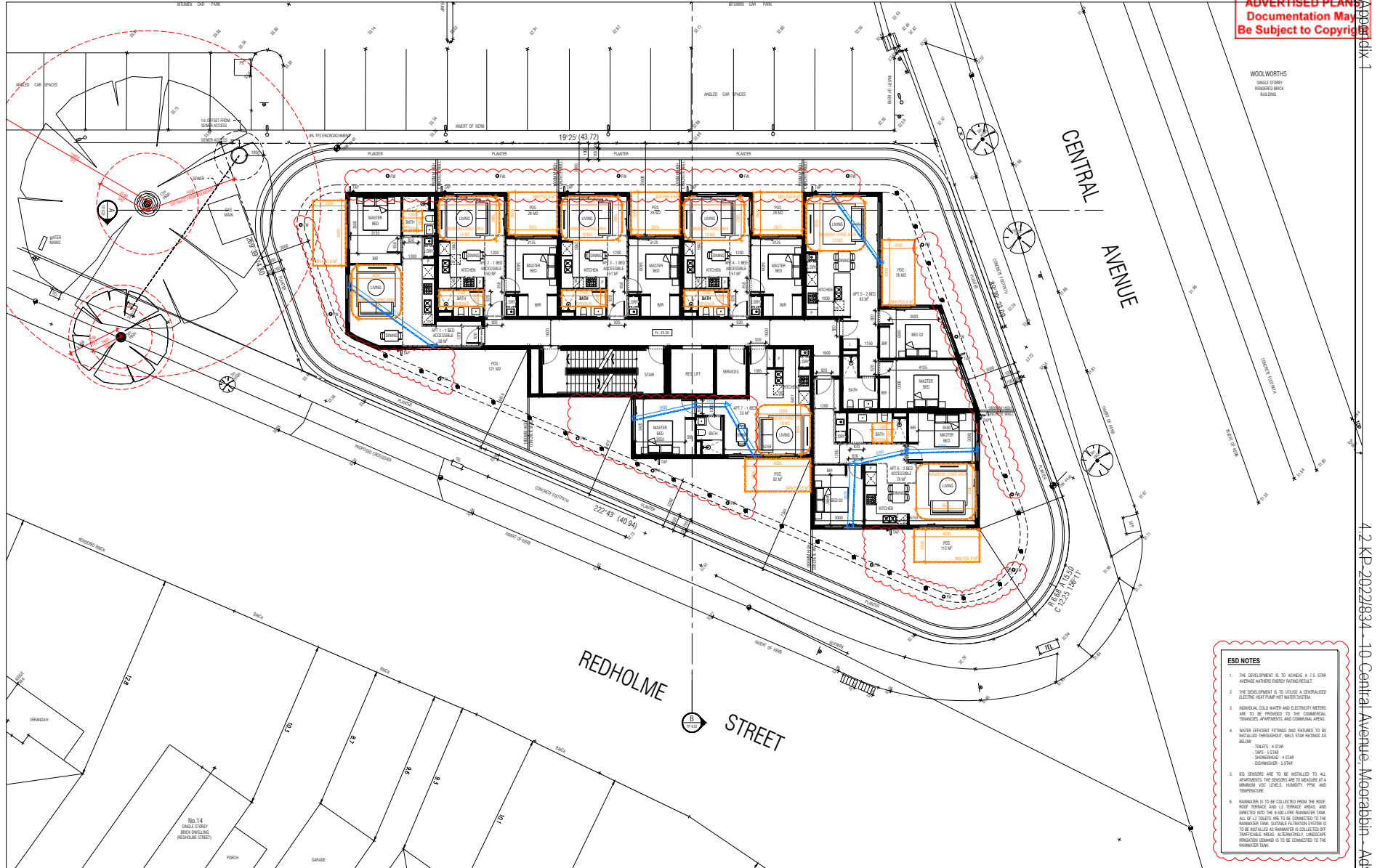
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| 1 | 15/12/22 | ESG FOR TOWN PLANNING | TL | | | | |
| 2 | 21/01/23 | ESG FOR TOWN PLANNING | TL | | | | |
| 3 | 08/03/23 | ESG FOR TOWN PLANNING | TL | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MADROSBURN
VIC 3189

TOWN PLANNING DRAWINGS
DRAWING TITLE
PROPOSED FIRST AND SECOND FLOOR TYPICAL PLAN
SCALE: 1:100
PAGE: 41
DRAWN: JY
DRAWING NO.
TOWN PLANNING
TP-101

Appendix 1
4.2 KP-2022/1834 - 10 Central Avenue, Moorabbin - Advertised Plans

ADVERTISED PLAN
Documentation May
Be Subject to Copyright



WOOLWORTHS
SINGLE STOREY
FINISHED BRICK
BUILDING

- ESD NOTES**
1. THE DEVELOPMENT IS TO ACHIEVE A 1.9 STAR AVERAGE NATHERS ENERGY RATING RESULT.
 2. THE DEVELOPMENT IS TO UTILISE A GENERALISED ELECTRIC HEAT PUMP HOT WATER SYSTEM.
 3. INDIVIDUAL COLD WATER AND ELECTRICITY METERS ARE TO BE PROVIDED TO THE COMMERCIAL STALLS, SHOPFRONTS AND COMMON AREAS.
 4. WATER EFFICIENT FITTINGS AND FIXTURES TO BE INSTALLED THROUGHOUT. WELS STAR RATINGS AS BELOW:
 - TOILETS: 4 STAR
 - SHOWERS: 5 STAR
 - DISHWASHERS: 4 STAR
 5. ESD SENSORS ARE TO BE INSTALLED TO ALL APARTMENTS. THE SENSORS ARE TO MEASURE AT A MINIMUM VOLTAGE, CURRENT, POWER AND TEMPERATURE.
 6. RAINWATER IS TO BE COLLECTED FROM THE ROOF, TERRACE AND ALL TERRACE AREAS AND DIRECTED INTO THE SANI-SURE RAINWATER TANK. ALL OF THE TANKS ARE TO BE CONNECTED TO THE RAINWATER TANK. RAINWATER TANK SYSTEM IS TO BE INSTALLED AS RAINWATER IS COLLECTED OFF DRIVEWAY AREAS. ALTERNATIVELY, LANDSCAPE IRRIGATION DEMAND IS TO BE CONNECTED TO THE RAINWATER TANK.

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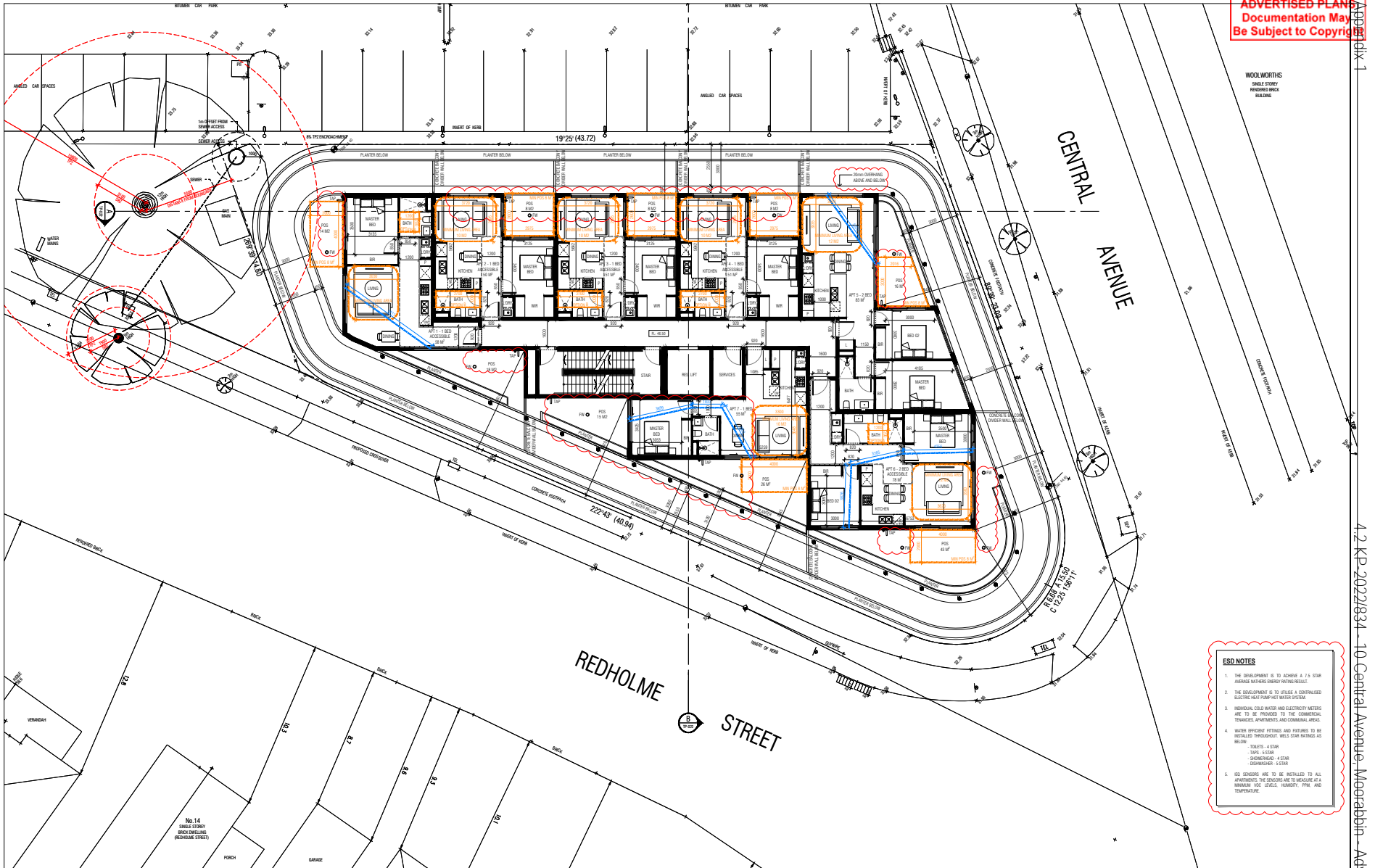
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| 1 | 22/12/22 | ESD FOR TOWN PLANNING | TL | | | | |
| 2 | 23/01/23 | ESD FOR TOWN PLANNING | TL | | | | |
| 3 | 08/02/23 | ESD FOR TOWN PLANNING | TL | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MADROSBEN
VIC 3189

TOWN PLANNING DRAWINGS
DRAWING TITLE
PROPOSED THIRD FLOOR PLAN
SCALE: 1:100
PAGE: 41
DATE: PROJECT NO. M21120
DRAWN: JY, KL, HL
DRAWING ISSUE: DRAWING NO. TP-102 C

Appendix 1
4.2 KP-20221834 - 10 Central Avenue, Moorabbin - Advertised Plans

ADVERTISED PLAN
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WOOLWORTHS
SINGLE STOREY
RENDERED BRICK
BUILDING

- ESD NOTES**
1. THE DEVELOPMENT IS TO ACHIEVE A 1.5 STAR AVERAGE NATHERS ENERGY RATING RESULT.
 2. THE DEVELOPMENT IS TO UTILISE A CENTRALISED ELECTRIC HEAT PUMP HOT WATER SYSTEM.
 3. INDIVIDUAL COLD WATER AND ELECTRICITY METERS ARE TO BE PROVIDED TO THE COMMERCIAL TENANTS, APARTMENTS AND COMMON AREAS.
 4. WATER EFFICIENT FITTINGS AND FIXTURES TO BE INSTALLED THROUGHOUT. WELS STAR RATINGS AS BELOW:
 - TOILETS: 4 STAR
 - SINKS: 5 STAR
 - DISHWASHER: 4 STAR
 - DISHWASHERS: 5 STAR
 5. ESD SENSORS ARE TO BE INSTALLED TO ALL APARTMENTS. THE SENSORS ARE TO MONITOR AT A MINIMUM: VOLT, SEALS, HUMIDITY, FPM AND TEMPERATURE.

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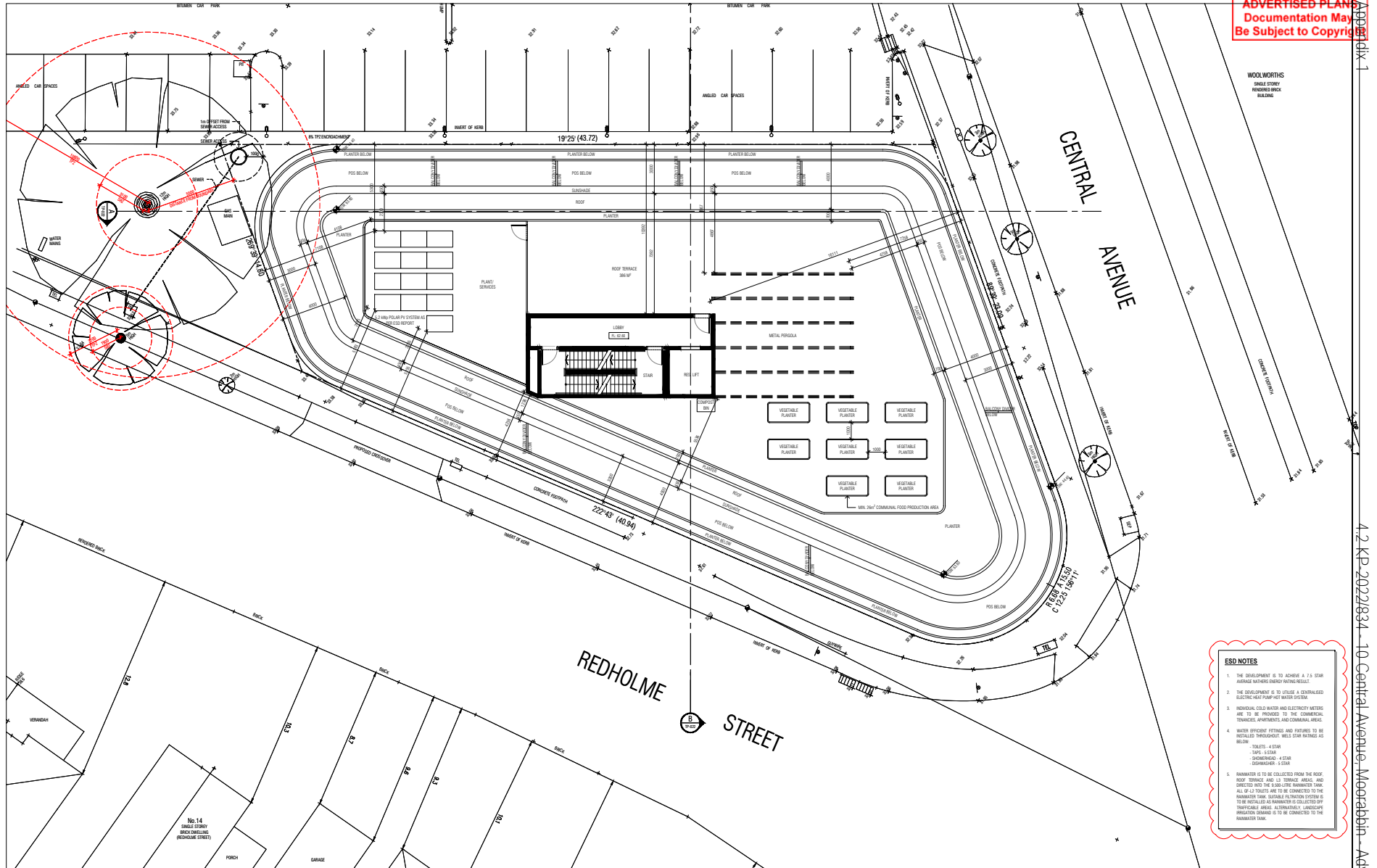
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| 2 | 28/12/22 | ESD FOR TOWN PLANNING | TL | | | | |
| 3 | 28/12/22 | ESD FOR TOWN PLANNING | TL | | | | |
| 4 | 28/12/22 | ESD FOR TOWN PLANNING | TL | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MADROSBURN
VIC 3189

TOWN PLANNING DRAWINGS
DRAWING TITLE
PROPOSED FOURTH TO EIGHTH FLOOR TYPICAL PLAN
SCALE: 1:100
PAGE: 41
DRAWN: JY 42.H.
DRAWING NO.: M2120
DRAWING TITLE
TOWN PLANNING

TP-103

ADVERTISED PLAN
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WOOLWORTHS
SINGLE STORY
RENDERED BRICK
BUILDING

- ESD NOTES**
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 2. THE DEVELOPMENT IS TO UTILISE A CENTRALIZED ELECTRIC HEAT PUMP HOT WATER SYSTEM.
 3. INDIVIDUAL COLD WATER AND ELECTRICITY METERS ARE TO BE PROVIDED TO THE COMMERCIAL TENANTS, APARTMENTS AND COMMON AREAS.
 4. WATER EFFICIENT FITTINGS AND FIXTURES TO BE INSTALLED THROUGHOUT. WELS STAR RATINGS AS BELOW:
 - TOILETS: 4 STAR
 - TAPS: 5 STAR
 - DISHWASHERS: 4 STAR
 - REFRIGERATORS: 5 STAR
 5. RAINWATER IS TO BE COLLECTED FROM THE ROOF, ROOF TERRACE AND LA TERRACE AREAS, AND DIRECTED INTO THE 50L LIME SANDWATER TANK. ALL 50L TANKS ARE TO BE CONNECTED TO THE RAINWATER TANK. SUITABLE FILTRATION SYSTEM IS TO BE INSTALLED AS RAINWATER IS COLLECTED ON TRAVELABLE AREAS. ALTERNATIVELY, LANDSCAPE IRRIGATION CHANNELS TO BE CONNECTED TO THE RAINWATER TANK.

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| 1 | 22/12/22 | ESD FOR TOWN PLANNING | TL | | | | |
| 2 | 31/07/23 | ESD FOR TOWN PLANNING | TL | | | | |
| 3 | 06/08/23 | ESD FOR TOWN PLANNING | TL | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MADROSSA VIC 3189

TOWN PLANNING DRAWINGS
DRAWING TITLE
PROPOSED ROOF TERRACE
SCALE: 1:100
PAGE: 41
DRAWN: JY KJ HL
TOWN PLANNING

DATE
PROJECT NO.
M21120
DRAWING NO.
TP-104

Appendix 1
4.2 KP-20221834 - 10 Central Avenue, Moorabbin - Advertised Plans

ADVERTISED PLANS
Documentation Way
EXTERNAL FINISHES LEGEND

- ME1: METAL GREY
- ME2: METAL ORO GREY
- ME3: METAL CLADDING GREY
- GL1: GLASS GREY
- GL2: TACK GLASS GREY
- CON1: CONCRETE GREY
- CON2: CONCRETE LIGHT GREY
- CON3: CONCRETE DARK GREY PRECAST PANELS

OPENABLE WINDOWS LEGEND



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| A | 14.12.23 | ISSUE FOR TOWN PLANNING | TM | | | | |
| B | 21.07.23 | ISSUE FOR TOWN PLANNING | TM | | | | |
| C | 04.06.23 | ISSUE FOR TOWN PLANNING | TM | | | | |

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5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED TO COMMENCEMENT OR FINISH OF SURFACE.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED TO COMMENCEMENT OR FINISH OF SURFACE.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED TO COMMENCEMENT OR FINISH OF SURFACE.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED TO COMMENCEMENT OR FINISH OF SURFACE.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED TO COMMENCEMENT OR FINISH OF SURFACE.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED TO COMMENCEMENT OR FINISH OF SURFACE.

PROJECT
CENTRAL AVENUE DEVELOPMENT

10 CENTRAL AVENUE
MCCORMACK
VIC 3188

TOWN PLANNING DRAWINGS

DRAWING TITLE
NORTH ELEVATION

SCALE: 1:100
PAGE: 04
DRAWN: J.T.A.J.H.
DRAWING CODE: TOWN PLANNING

DATE: 14/12/23
PROJECT NO: M21120
DRAWING NO: TP-400 C

ADVERTISED PLANS
Documentation Way
EXTERNAL FINISHES LEGEND

- NET 01 METAL GREY
- NET 02 METAL CLADDING GREY
- NET 03 GLASS GREY
- NET 04 SAND GLASS GREY
- CON 01 CONCRETE GREY
- CON 02 CONCRETE LIGHT GREY
- CON 03 CONCRETE DARK GREY/PRESAT FINISH



2 EAST ELEVATION
(7 of 8)

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| B | 21.07.23 | SCALE FOR TOWN PLANNING | TR | | | | |
| C | 04.08.23 | SCALE FOR TOWN PLANNING | TR | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MCCORMACK
VIC 3189

TOWN PLANNING DRAWINGS
DRAWING TITLE
EAST ELEVATION
SCALE: 1:100
PAGE: 04
DRAWN: J. K. H.
CHECKED: M. J. H.
DATE: 21.07.23
PROJECT NO: M21120
DRAWING NO: TP-401 C

ADVERTISED PLANS
Documentation Way
EXTERNAL FINISHES LEGEND

- ME1: METAL GREY
- ME2: METAL ORO GREY
- ME3: METAL CLADDING GREY
- GL1: GLASS GREY
- GL2: GLASS GREY
- GL3: GLASS GREY
- GC1: CONCRETE GREY
- GC2: CONCRETE LIGHT GREY
- GC3: CONCRETE DARK GREY/ROSE PINK



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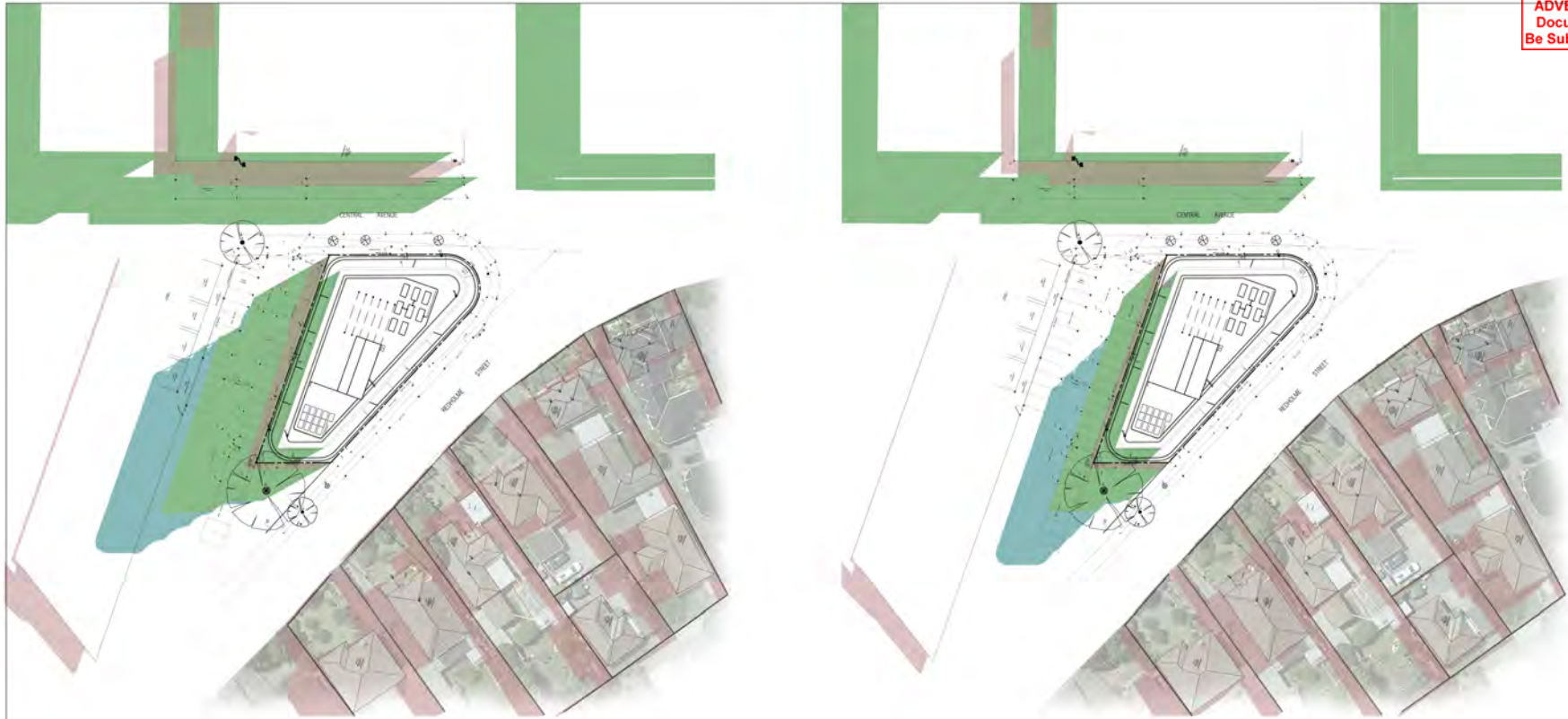
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PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MCCORMACK
VIC 3168

TOWN PLANNING DRAWINGS

DRAWING TITLE: WEST ELEVATION
SCALE: 1:100
PAGE: 04
DRAWING: PL-41-H
DRAWING CODE: TOWN PLANNING
PROJECT NO: M21120
DRAWING NO: TP-402 C
REV: 1



COMPARISON SHADOW DIAGRAM - 9AM, 22ND SEPTEMBER

EXISTING PROPOSED STRUCTURE PLAN

| TEMP SHADOW ANALYSIS | | | | | | | | |
|----------------------|----------------------------|-----------------------------------|---------------------|---|---------------------------|-----------------------------------|---------------------|-----------------------|
| | FSL AREA (M ²) | EXISTING SHADOW (M ²) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (M ²) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (M ²) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (%) |
| 12 REYNOLDS ST | 123 | 46 | 38 | 0 | 0 | 0 | 0 | 0 |
| 14 REYNOLDS ST | 114 | 34 | 30 | 0 | 0 | 0 | 0 | 0 |
| 16 REYNOLDS ST | 105 | 9 | 9 | 0 | 0 | 0 | 0 | 0 |
| 18 REYNOLDS ST | 73 | 27 | 37 | 0 | 0 | 0 | 0 | 0 |
| 16 REYNOLDS ST | 36 | 18 | 50 | 0 | 0 | 0 | 0 | 0 |

COMPARISON SHADOW DIAGRAM - 10AM, 22ND SEPTEMBER

EXISTING PROPOSED STRUCTURE PLAN

| TEMP SHADOW ANALYSIS | | | | | | | | |
|----------------------|----------------------------|-----------------------------------|---------------------|---|---------------------------|-----------------------------------|---------------------|-----------------------|
| | FSL AREA (M ²) | EXISTING SHADOW (M ²) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (M ²) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (M ²) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (%) |
| 12 REYNOLDS ST | 123 | 29 | 23 | 0 | 0 | 0 | 0 | 0 |
| 14 REYNOLDS ST | 114 | 10 | 9 | 0 | 0 | 0 | 0 | 0 |
| 16 REYNOLDS ST | 105 | 9 | 9 | 0 | 0 | 0 | 0 | 0 |
| 18 REYNOLDS ST | 73 | 11 | 15 | 0 | 0 | 0 | 0 | 0 |
| 16 REYNOLDS ST | 36 | 12 | 33 | 0 | 0 | 0 | 0 | 0 |

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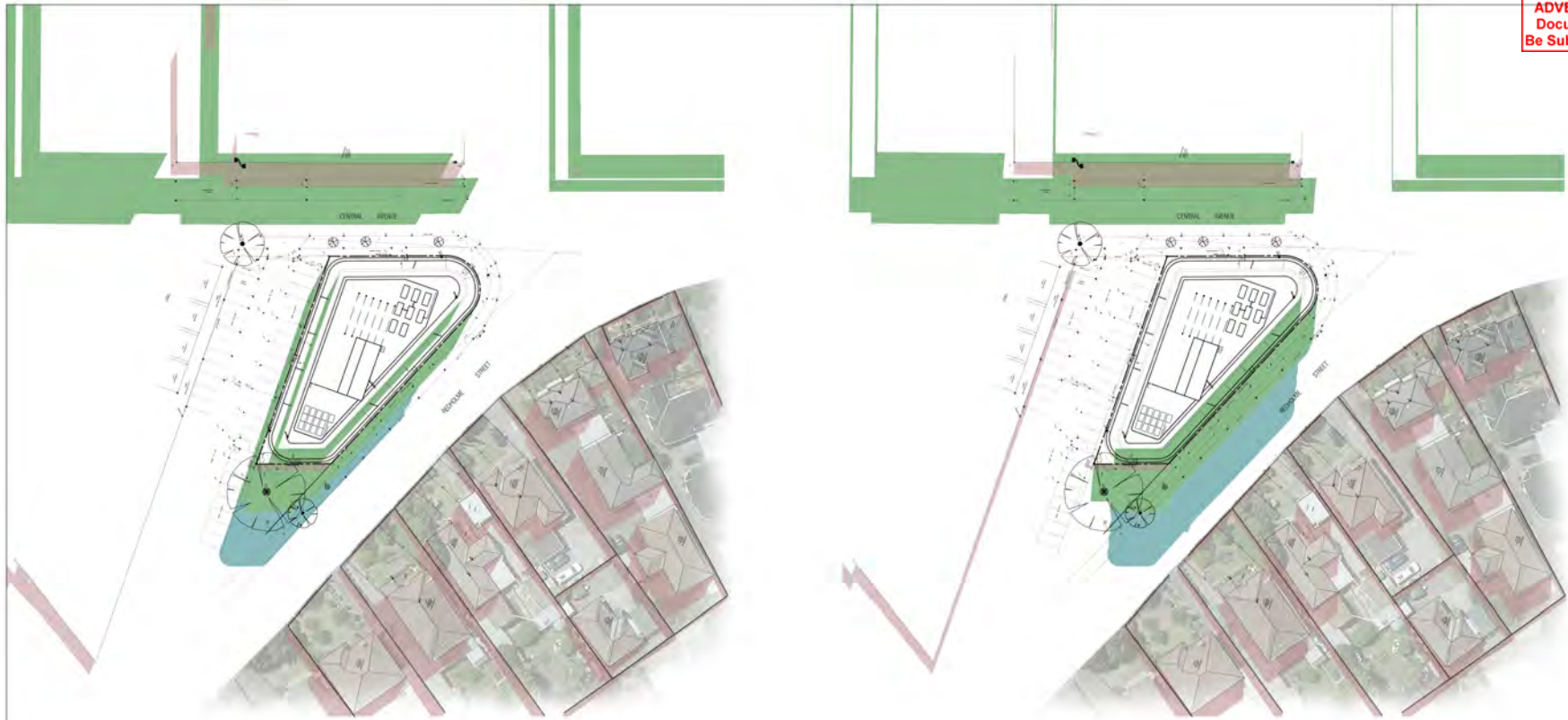
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| 1 | 21.07.22 | ISSUE FOR TOWN PLANNING | | | | | |
| 2 | 21.07.22 | ISSUE FOR TOWN PLANNING | | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
13 CENTRAL AVENUE
MCCORMACK
VIC 3189

TOWN PLANNING DRAWINGS
DRAWING TITLE
COMPARISON SHADOW DIAGRAM - 9AM / 10AM 22 SEPT
SCALE: 1:100
DATE: PROJECTING: M&E 1/20
DRAWN BY: TOWN PLANNING
DRAWING NO: TP-900 B



COMPARISON SHADOW DIAGRAM - 11AM, 22ND SEPTEMBER ■ EXISTING ■ PROPOSED ■ STRUCTURE PLAN

COMPARISON SHADOW DIAGRAM - 12PM, 22ND SEPTEMBER ■ EXISTING ■ PROPOSED ■ STRUCTURE PLAN

11AM SHADOW ANALYSIS

| | F10 AREA (SQ) | EXISTING SHADOW (SQ) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (SQ) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (SQ) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (%) |
|---------------|---------------|----------------------|---------------------|----------------------------|---------------------------|----------------------|---------------------|-----------------------|
| 12 REDHILL ST | 173 | 23 | 13 | 0 | 0 | 0 | 0 | 0 |
| 14 REDHILL ST | 174 | 14 | 8 | 0 | 0 | 0 | 0 | 0 |
| 16 REDHILL ST | 168 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 18 REDHILL ST | 17 | 18 | 105 | 0 | 0 | 0 | 0 | 0 |
| 16 REDHILL ST | 26 | 8 | 31 | 0 | 0 | 0 | 0 | 0 |

12PM SHADOW ANALYSIS

| | F10 AREA (SQ) | EXISTING SHADOW (SQ) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (SQ) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (SQ) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (%) |
|---------------|---------------|----------------------|---------------------|----------------------------|---------------------------|----------------------|---------------------|-----------------------|
| 12 REDHILL ST | 173 | 15 | 9 | 0 | 0 | 0 | 0 | 0 |
| 14 REDHILL ST | 174 | 10 | 6 | 0 | 0 | 0 | 0 | 0 |
| 16 REDHILL ST | 168 | 6 | 4 | 0 | 0 | 0 | 0 | 0 |
| 18 REDHILL ST | 17 | 15 | 88 | 0 | 0 | 0 | 0 | 0 |
| 16 REDHILL ST | 26 | 9 | 35 | 0 | 0 | 0 | 0 | 0 |

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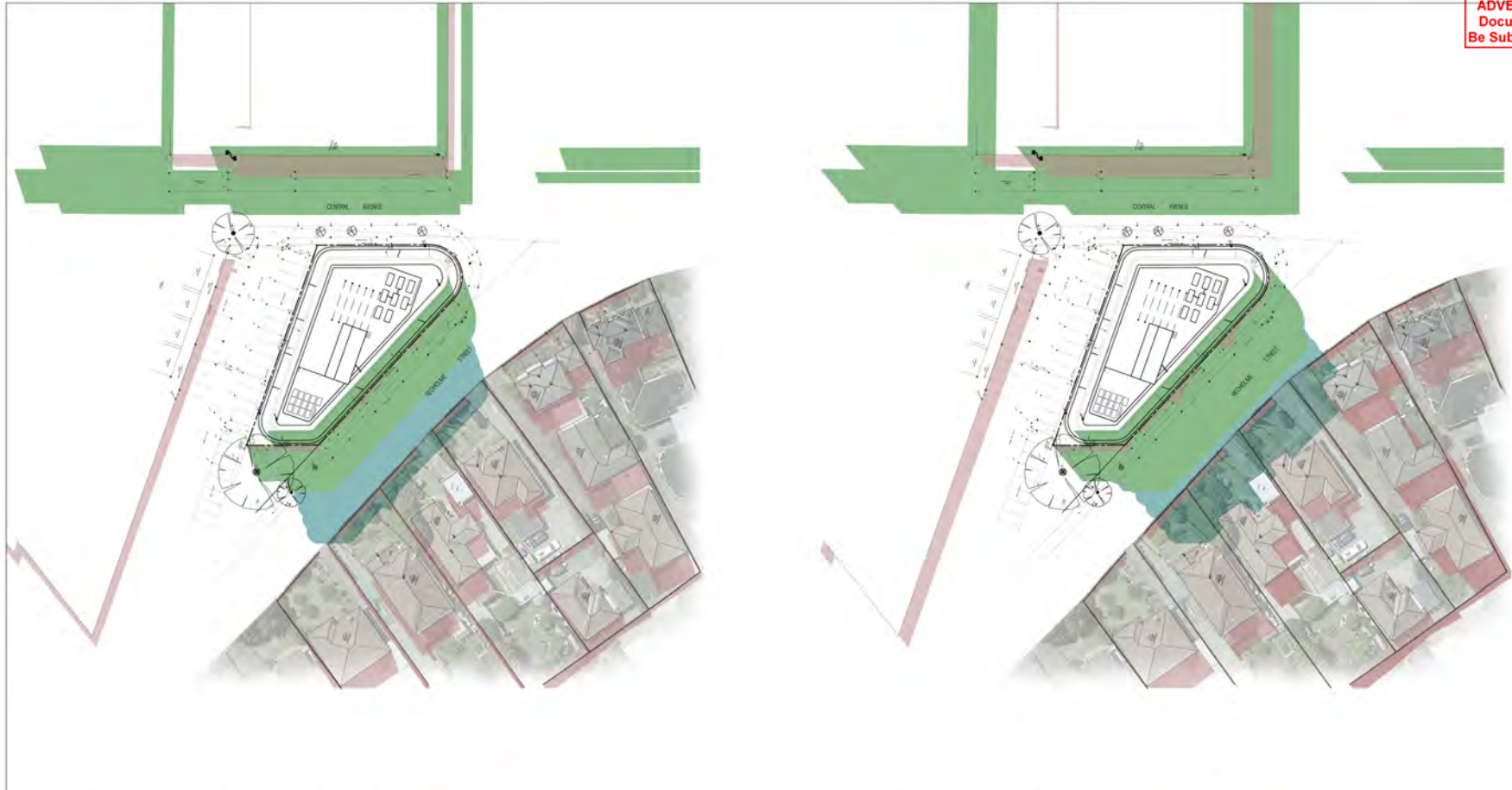
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|-----|----------|-------------------------|----------|------|------|-------------|----------|
| 1 | 18/12/21 | ISSUE FOR TOWN PLANNING | | | | | |
| 2 | 21/07/22 | ISSUE FOR TOWN PLANNING | | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MCCORMACK
VIC 3189

TOWN PLANNING DRAWINGS
DRAWING TITLE
COMPARISON SHADOW DIAGRAM - 11AM / 12PM 22 SEPT
SCALE: 1:100
PAGE: 01
DRAWN BY
CHECKED BY
DRAWING CODE
TOWN PLANNING
DATE
PROJECTING
M21120
DRAWING NO.
TP-901 B



COMPARISON SHADOW DIAGRAM - 1PM, 22ND SEPTEMBER

COMPARISON SHADOW DIAGRAM - 2PM, 22ND SEPTEMBER

1PM SHADOW ANALYSIS

| | FCL AREA (M ²) | EXISTING SHADOW (M ²) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (M ²) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (M ²) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (M ²) |
|---------------|----------------------------|-----------------------------------|---------------------|---|---------------------------|-----------------------------------|---------------------|-------------------------------------|
| 12 BEDROOM ST | 129 | 19 | 14 | 0 | 0 | 147 | 24 | 19 |
| 14 BEDROOM ST | 114 | 19 | 0 | 0 | 0 | 40 | 26 | 20 |
| 16 BEDROOM ST | 100 | 8 | 8 | 0 | 0 | 14 | 24 | 20 |
| 18 BEDROOM ST | 73 | 18 | 22 | 0 | 0 | 0 | 0 | 0 |
| 16 BEDROOM ST | 25 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |

2PM SHADOW ANALYSIS

| | FCL AREA (M ²) | EXISTING SHADOW (M ²) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (M ²) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (M ²) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (M ²) |
|---------------|----------------------------|-----------------------------------|---------------------|---|---------------------------|-----------------------------------|---------------------|-------------------------------------|
| 12 BEDROOM ST | 129 | 15 | 14 | 0 | 0 | 60 | 18 | 31 |
| 14 BEDROOM ST | 114 | 10 | 0 | 0 | 0 | 114 | 100 | 36 |
| 16 BEDROOM ST | 100 | 11 | 11 | 0 | 0 | 39 | 39 | 16 |
| 18 BEDROOM ST | 73 | 22 | 20 | 0 | 0 | 20 | 20 | 0 |
| 16 BEDROOM ST | 25 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |

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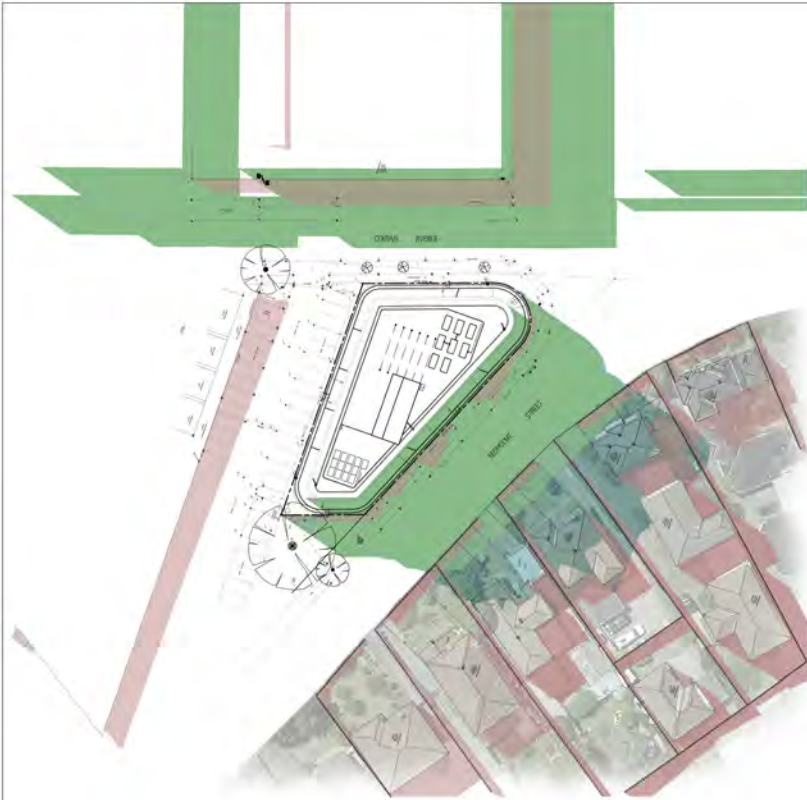
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| 2 | 21/07/23 | ISSUE FOR TOWN PLANNING | | | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MADRIDAVENUE
VIC 3185

TOWN PLANNING DRAWINGS
DRAWING TITLE
COMPARISON SHADOW DIAGRAM - 1PM / 2PM 22 SEPT
SCALE: 1:100
DATE: PROJECTING: MCH 1/20
DRAWN BY: PROJECTING: MCH 1/20
DRAWING CODE: TOWN PLANNING
DRAWING NO: TP-902 B



COMPARISON SHADOW DIAGRAM - 3PM, 22ND SEPTEMBER

EXISTING PROPOSED STRUCTURE PLAN

| 3PM SHADOW ANALYSE | | | | | | | | |
|--------------------|----------------|-----------------------|---------------------|-----------------------------|---------------------------|-----------------------|---------------------|-------------------------|
| | FSL AREA (SQM) | EXISTING SHADOW (SQM) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (SQM) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (SQM) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (SQM) |
| 12 MICHAM ST | 129 | 24 | 19 | 0 | 0 | 7 | 5 | 0 |
| 14 MICHAM ST | 114 | 36 | 31 | 25 | 22 | 114 | 99 | 88 |
| 16 MICHAM ST | 168 | 36 | 21 | 37 | 22 | 168 | 100 | 82 |
| 18 MICHAM ST | 73 | 27 | 37 | 14 | 19 | 85 | 85 | 70 |
| 18 MICHAM ST | 81 | 24 | 30 | 0 | 0 | 6 | 7 | 0 |

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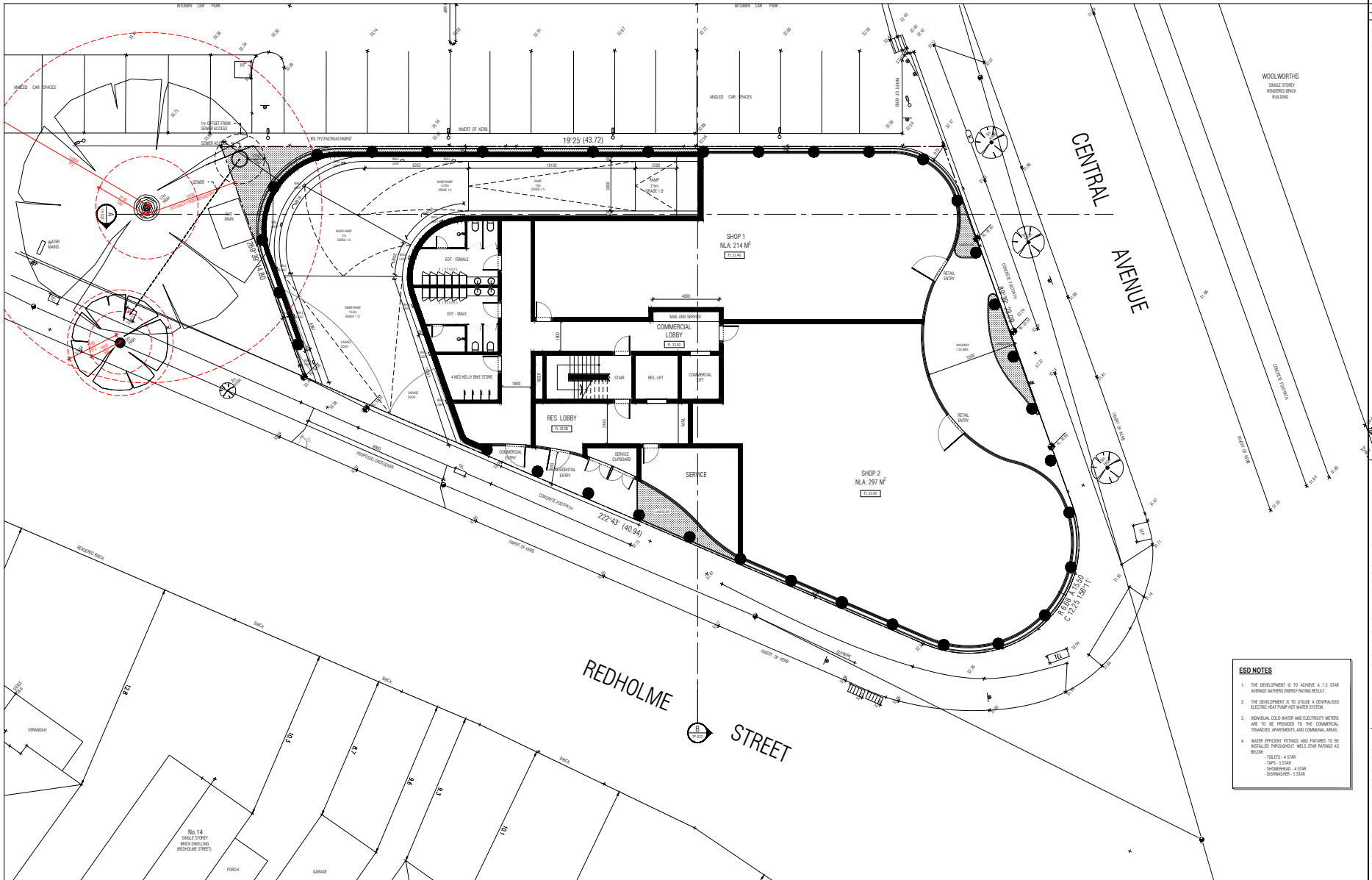
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|-----|----------|-------------------------|-------------|------|-----------|---------|
| A | 18/11/22 | ISSUE FOR TOWN PLANNING | TM | | | |
| B | 21/07/23 | ISSUE FOR TOWN PLANNING | TM | | | |

PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MCCOOLABREY
VIC 3189

TOWN PLANNING DRAWINGS
DRAWING TITLE
COMPARISON SHADOW DIAGRAM - 3PM 22 SEPT
SCALE 1:400
PAGE 04
DATE PREPARED
KAZI YILDIZ
DRAWING NO.
TP-903 B



ESD NOTES

1. THE DEVELOPMENT IS TO ACHIEVE A 1.9 STAR AVERAGE NATHERS ENERGY RATING RESULT.
2. THE DEVELOPMENT IS TO UTILISE A CENTRALIZED ELECTRIC HEAT PUMP HOT WATER SYSTEM.
3. INDIVIDUAL COLD WATER AND ELECTRICITY METERS ARE TO BE PROVIDED TO THE COMMERCIAL, SERVICE, BIKESHOPS AND COMMON AREAS.
4. WATER EFFICIENT FITTINGS AND FIXTURES TO BE RETAILED THROUGHOUT. WELS STAR RATINGS AS BELOW:
 - TOILETS: 4 STAR
 - SINKS: 5 STAR
 - DISHWASHER: 4 STAR
 - DOWNSINK: 5 STAR

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|-----|----------|-------------------------|---------|-----|------|-------------|---------|
| 1 | 27/12/22 | ISSUE FOR TOWN PLANNING | 19 | | | | |
| 2 | 28/01/23 | ISSUE FOR TOWN PLANNING | 19 | | | | |
| 3 | 16/03/23 | ISSUE FOR TOWN PLANNING | 19 | | | | |
| 4 | 20/12/23 | ISSUE FOR INFORMATION | 19 | | | | |
| 5 | 30/01/24 | ISSUE FOR INFORMATION | 19 | | | | |

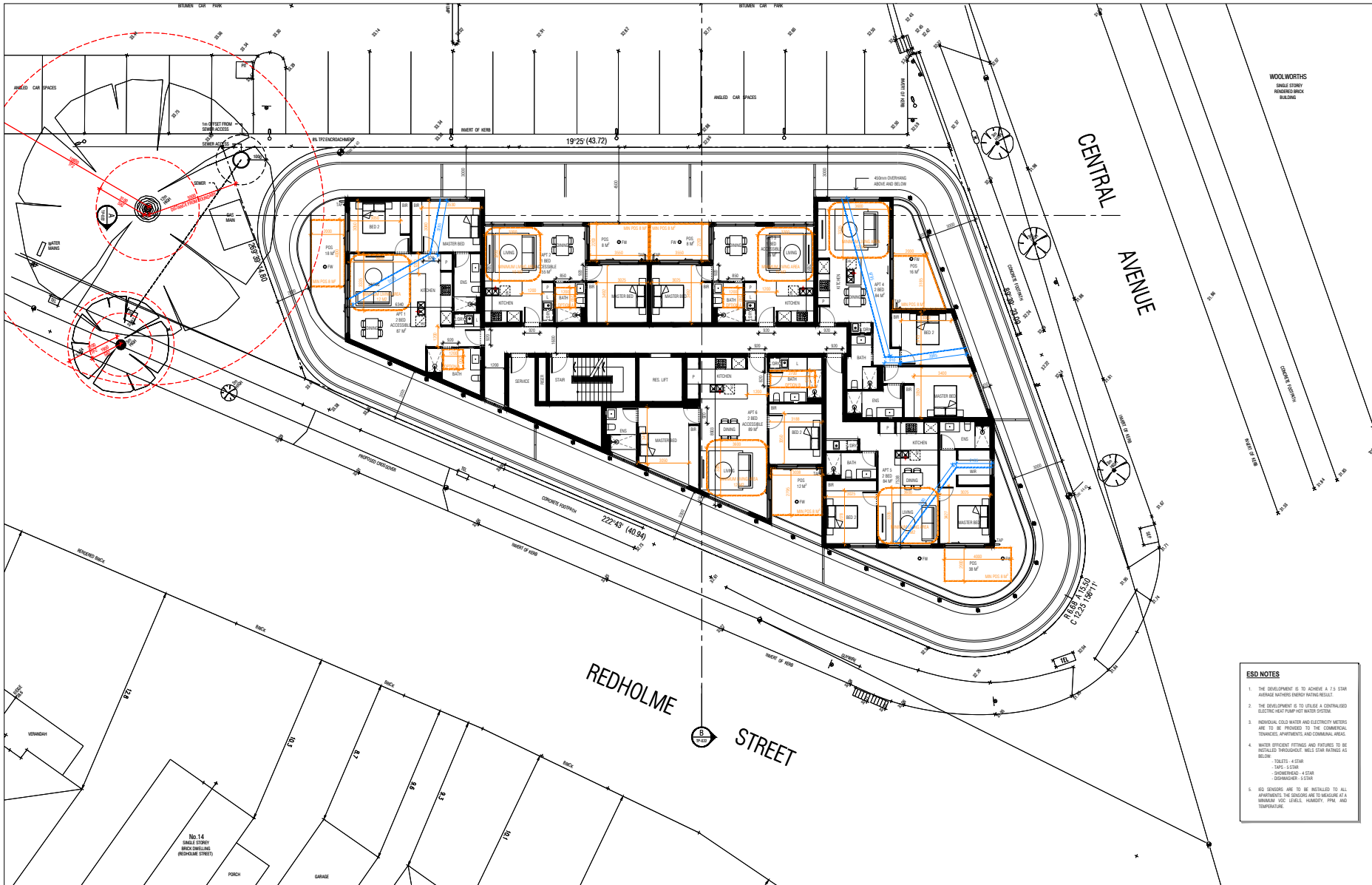
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PROJECT
 CENTRAL AVENUE DEVELOPMENT
 10 CENTRAL AVENUE
 MOORABBIN
 VIC 3189

TOWN PLANNING DRAWINGS

DRAWING TITLE
 PROPOSED GROUND FLOOR PLAN

SCALE: 1:100
 PAGE: 4/4
 DRAWN: JY KJ
 PROJECT NO: M21120
 DRAWING NO: TP-100



- ESD NOTES**
1. THE DEVELOPMENT IS TO ACHIEVE A 1.9 STAR AVERAGE NATHERS ENERGY RATING RESULT.
 2. THE DEVELOPMENT IS TO UTILISE A CENTRALISED ELECTRIC HEAT PUMP HOT WATER SYSTEM.
 3. INDIVIDUAL COLD WATER AND ELECTRICITY METERS ARE TO BE PROVIDED TO THE COMMERCIAL TENANTS, APARTMENTS AND COMMON AREAS.
 4. WATER EFFICIENT FITTINGS AND FIXTURES TO BE INSTALLED THROUGHOUT. WELS STAR RATINGS AS BELOW:
 - TOILETS: 4 STAR
 - SHOWERS: 5 STAR
 - DISHWASHERS: 4 STAR
 - REFRIGERATORS: 3.5 STAR
 5. ESD SENSORS ARE TO BE INSTALLED TO ALL APARTMENTS. THE SENSORS ARE TO MONITOR AT A MINIMUM: VOLT, STRESS, HUMIDITY, FRESH AIR AND TEMPERATURE.

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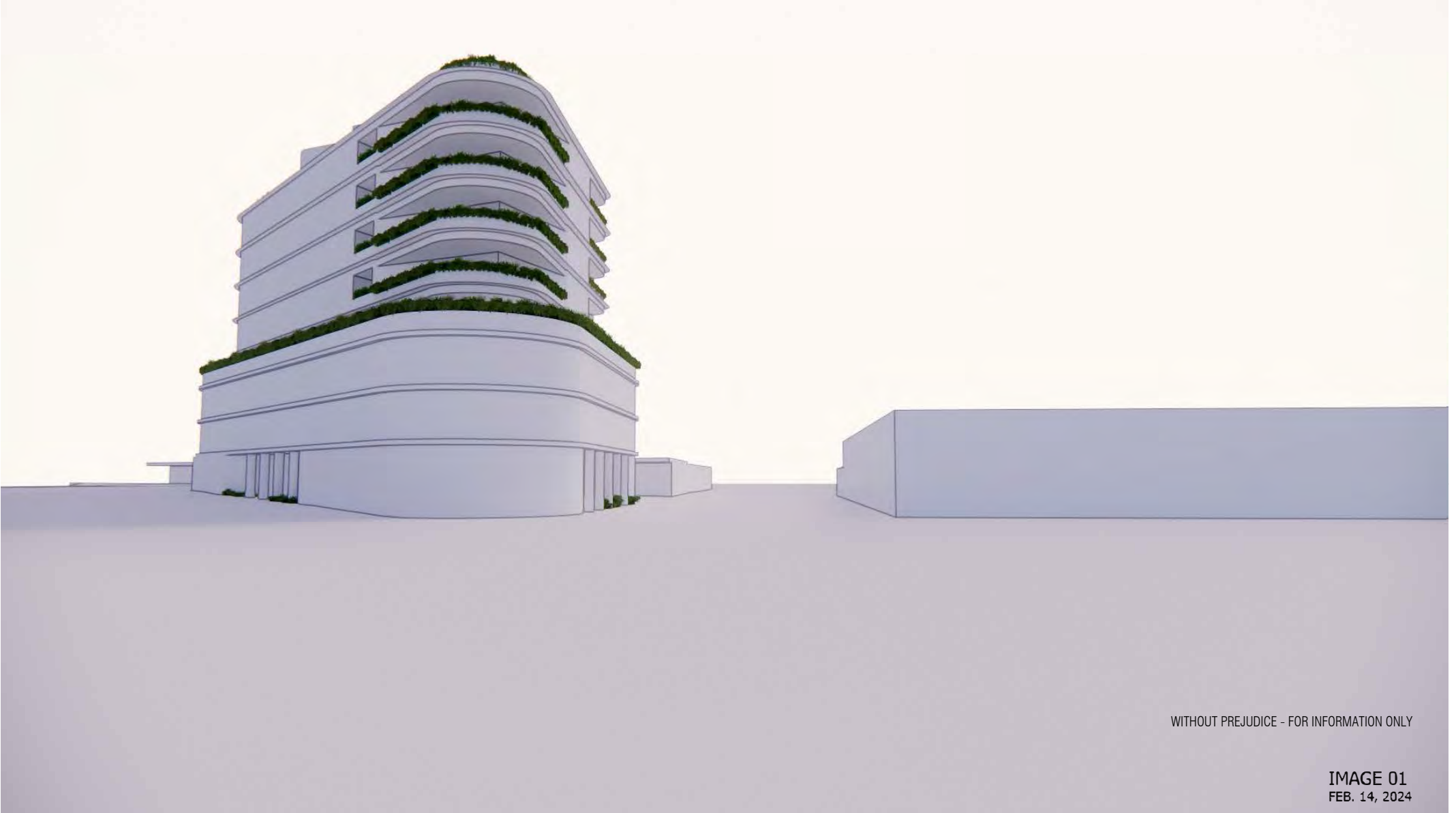
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| B | 21/01/23 | ESD FOR TOWN PLANNING | TL | | | | |
| C | 14/03/23 | ESD FOR TOWN PLANNING | TL | | | | |
| D | 20/12/23 | ESD FOR INFORMATION | TL | | | | |
| E | 20/01/24 | ESD FOR INFORMATION | TL | | | | |

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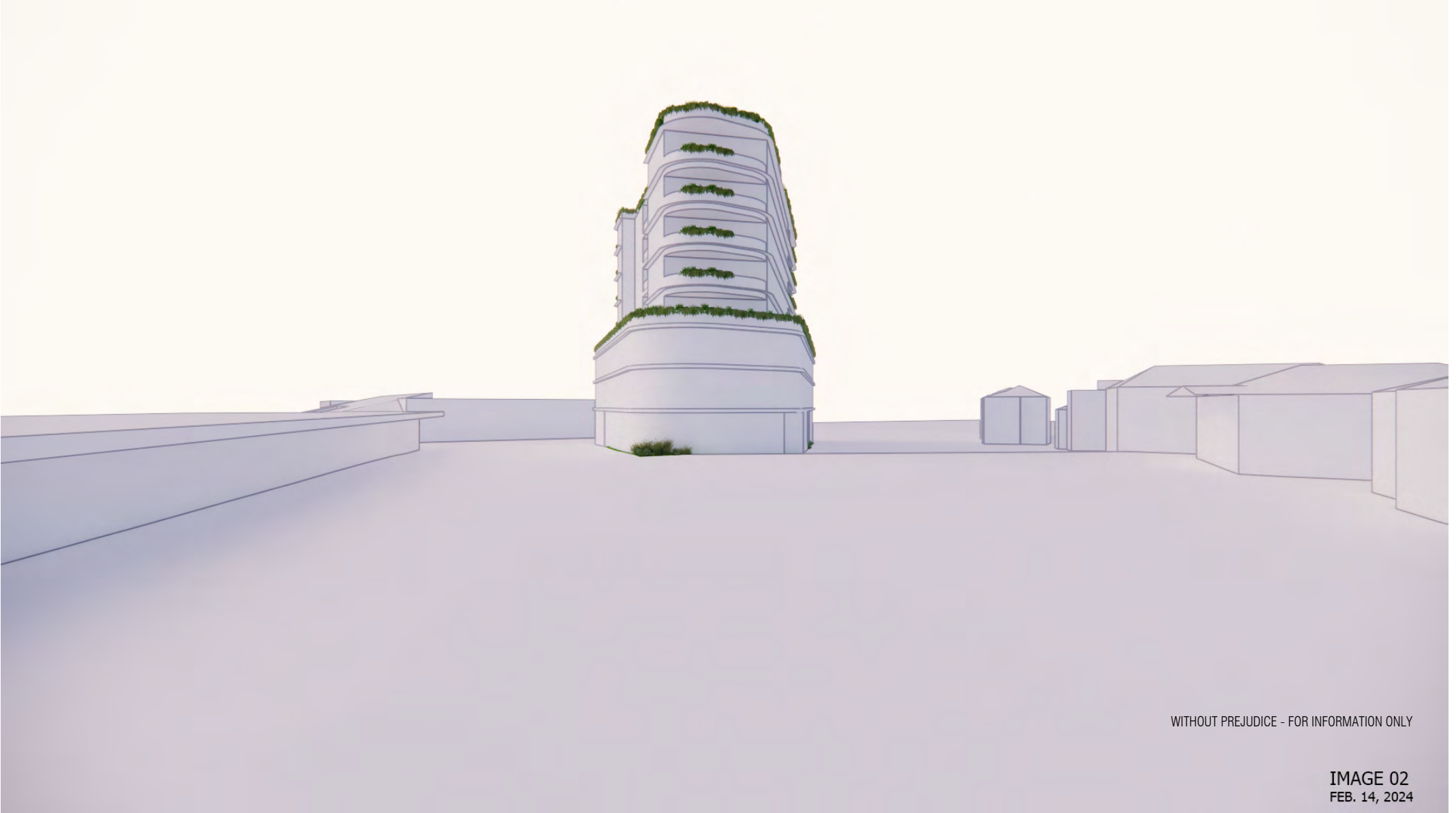
PROJECT
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 10 CENTRAL AVENUE
 MOORABBIN
 VIC 3189

TOWN PLANNING TYPICAL
 DRAWING TITLE
 PROPOSED FOURTH TO SEVENTH FLOOR TYPICAL PLAN
 SCALE: 1:100
 PAGE: 41
 DRAWN: JY KJ HL
 PROJECT NO: M2120
 DRAWING NO: TP-103



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IMAGE 01
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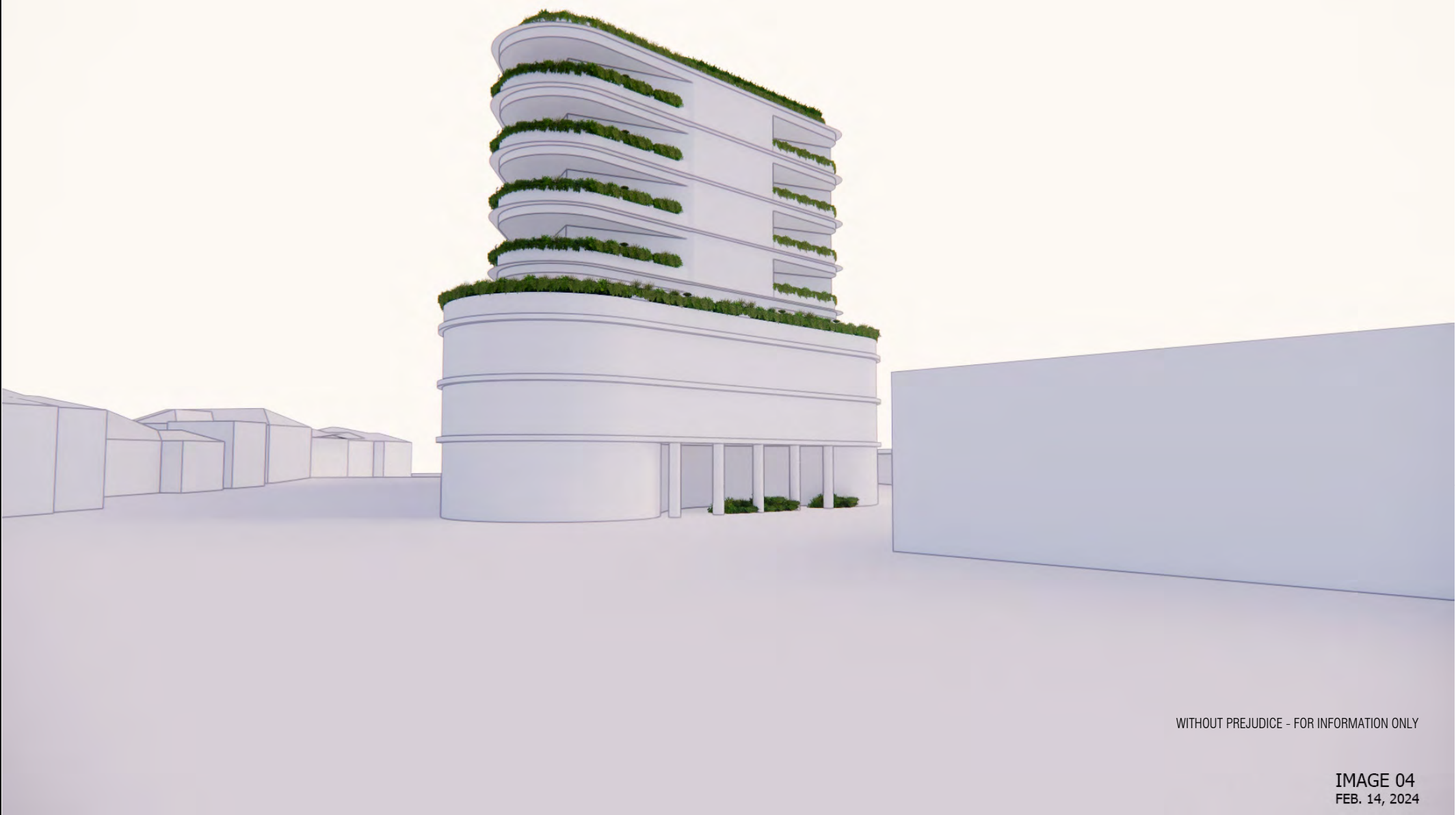
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IMAGE 02
FEB. 14, 2024



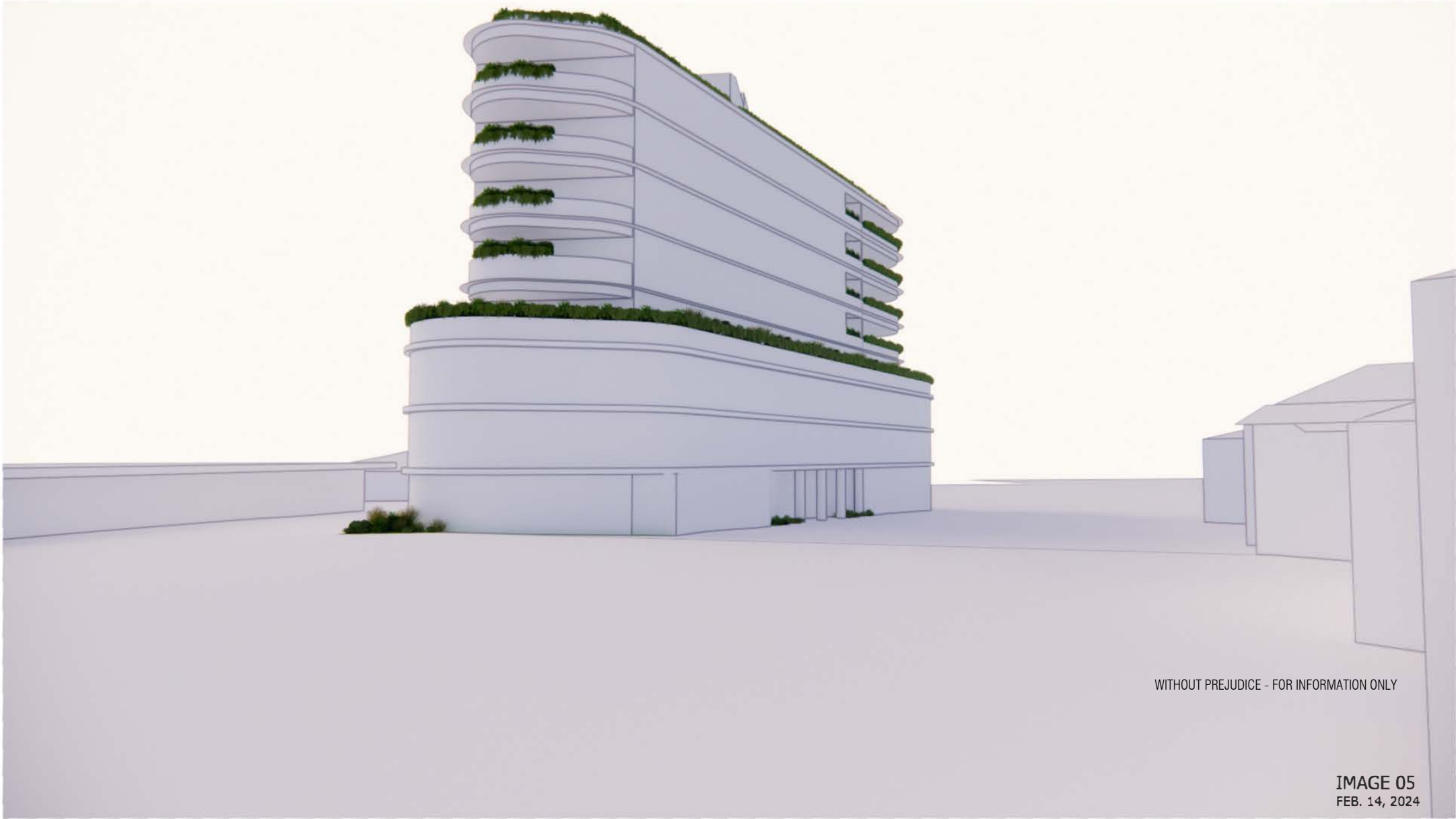
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IMAGE 03
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IMAGE 04
FEB. 14, 2024



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IMAGE 05
FEB. 14, 2024



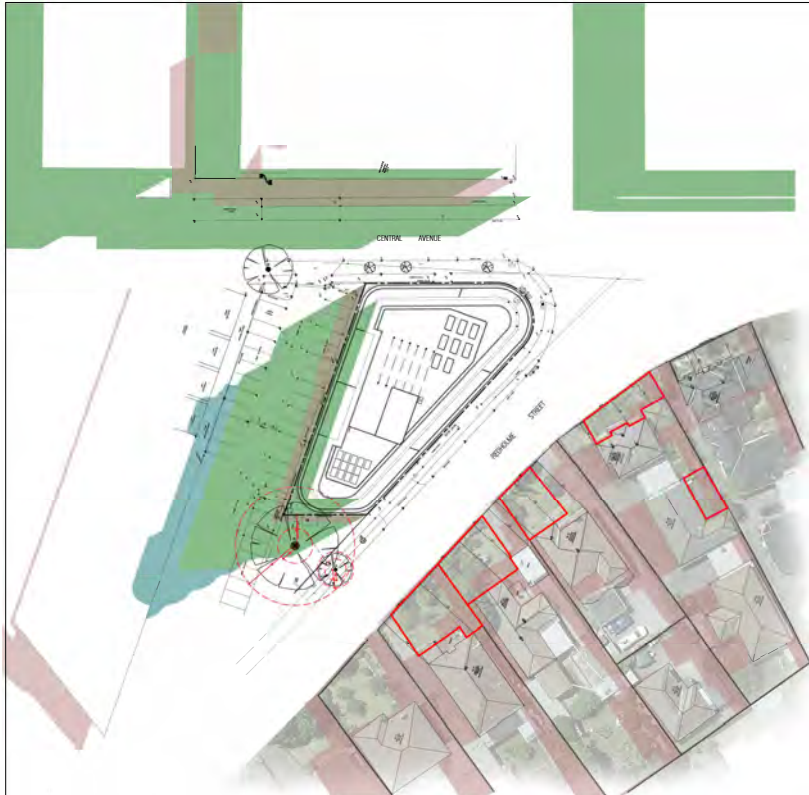
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IMAGE 06
FEB. 14, 2024



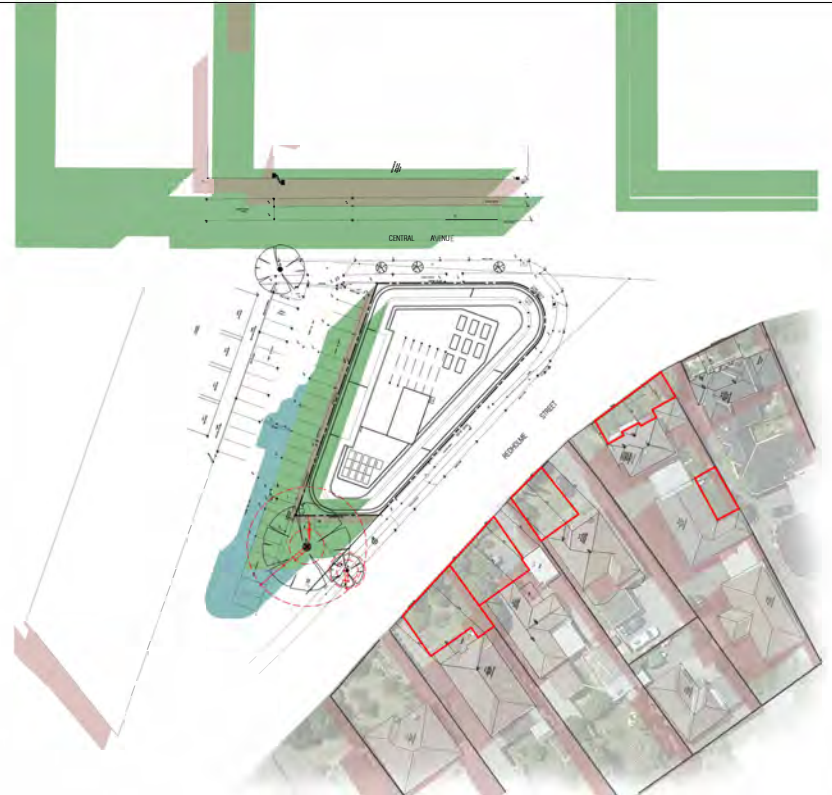
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SITE PLAN
FEB. 14, 2024



COMPARISON SHADOW DIAGRAM - 9AM, 22ND SEPTEMBER

| SAM SHADOW ANALYSIS | | | | | | | | |
|---------------------|---------------|---------------------|---------------------|---------------------------|---------------------------|---------------------|---------------------|-----------------------|
| | POS AREA (M2) | EXISTING SHADOW (%) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (%) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (%) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (%) |
| 12 REDHULME ST | 128 | 52 | 39 | 0 | 0 | 0 | 0 | 0 |
| 14 REDHULME ST | 114 | 29 | 25 | 0 | 0 | 0 | 0 | 0 |
| 16 REDHULME ST | 78 | 1 | 1 | 0 | 0 | 0 | 0 | 0 |
| 18 REDHULME ST | 73 | 28 | 36 | 0 | 0 | 0 | 0 | 0 |
| 18B REDHULME ST | 35 | 20 | 17 | 0 | 0 | 0 | 0 | 0 |



COMPARISON SHADOW DIAGRAM - 10AM, 22ND SEPTEMBER

| 10AM SHADOW ANALYSIS | | | | | | | | |
|----------------------|---------------|---------------------|---------------------|---------------------------|---------------------------|---------------------|---------------------|-----------------------|
| | POS AREA (M2) | EXISTING SHADOW (%) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (%) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (%) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (%) |
| 12 REDHULME ST | 128 | 37 | 34 | 0 | 0 | 0 | 0 | 0 |
| 14 REDHULME ST | 114 | 12 | 11 | 0 | 0 | 0 | 0 | 0 |
| 16 REDHULME ST | 78 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 18 REDHULME ST | 73 | 16 | 22 | 0 | 0 | 0 | 0 | 0 |
| 18B REDHULME ST | 35 | 14 | 10 | 0 | 0 | 0 | 0 | 0 |

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| B | 21/01/24 | ISSUE FOR TOWN PLANNING | TW | | | | |
| C | 13/04/24 | ISSUE FOR TOWN PLANNING | TW | | | | |

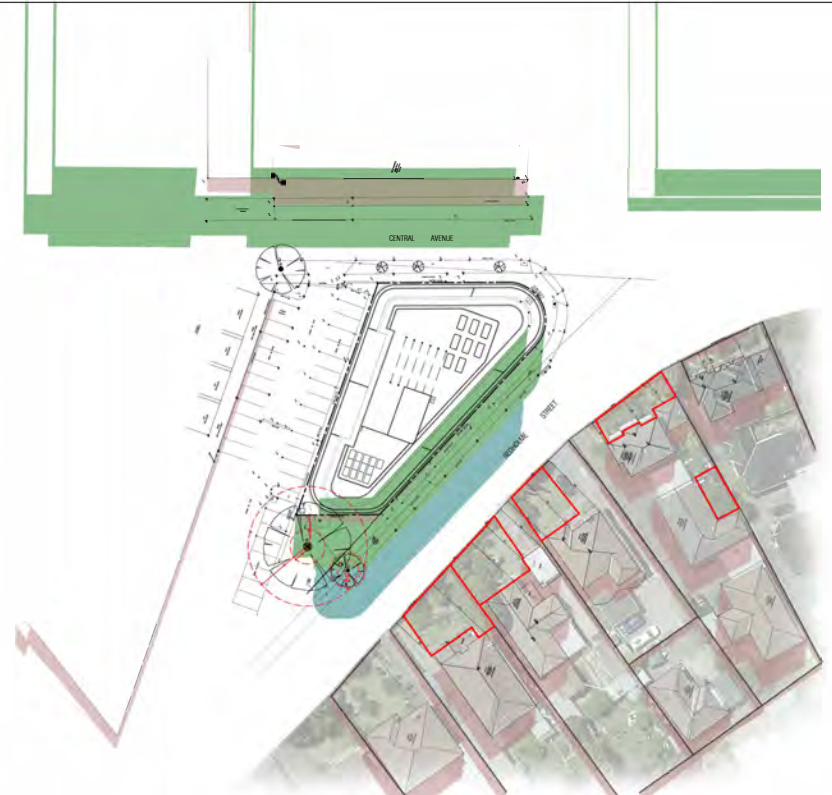
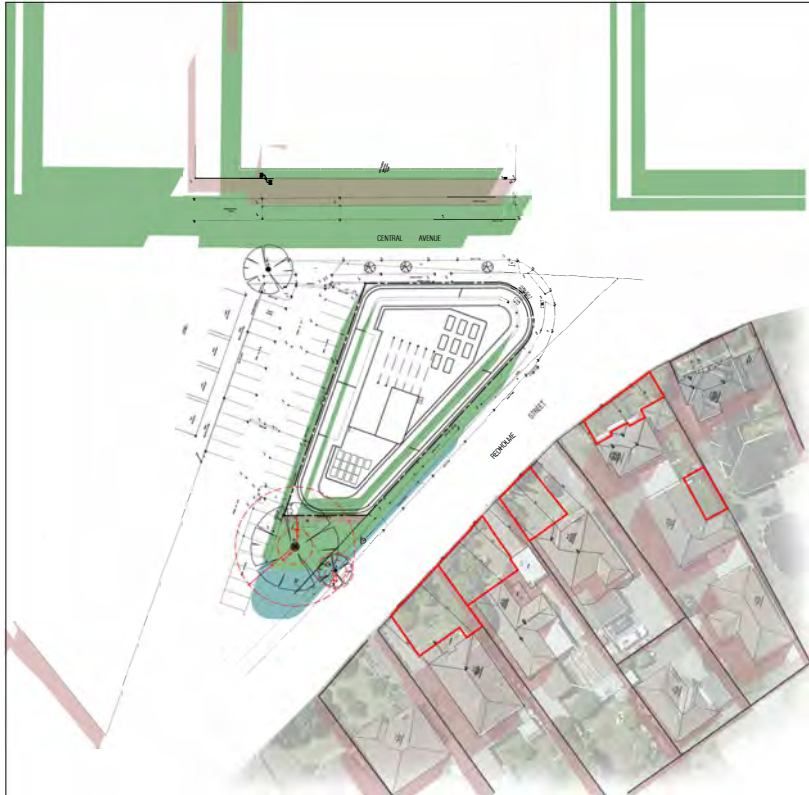
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PROJECT
 CENTRAL AVENUE DEVELOPMENT
 10 CENTRAL AVENUE
 MCGOWAN
 VIC 3189

TOWN PLANNING DRAWINGS

DRAWING TITLE: COMPARISON SHADOW DIAGRAM - 9AM / 10AM 22 SEPT
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 PAGE: 4/4
 DRAWN: JF
 PROJECT NO.: M21120
 DRAWING NO.: TP-900 C



COMPARISON SHADOW DIAGRAM - 11AM, 22ND SEPTEMBER ■ EXISTING ■ PROPOSED ■ STRUCTURE PLAN ■ POS

COMPARISON SHADOW DIAGRAM - 12PM, 22ND SEPTEMBER ■ EXISTING ■ PROPOSED ■ STRUCTURE PLAN ■ POS

| 11AM SHADOW ANALYSIS | | | | | | | | |
|----------------------|----------------|----------------------|---------------------|----------------------------|---------------------------|----------------------|---------------------|-----------------------|
| | POLY AREA (M2) | EXISTING SHADOW (M2) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (M2) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (M2) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (%) |
| 12 REDHOLME ST | 128 | 25 | 19 | 0 | 0 | 0 | 0 | 0 |
| 14 REDHOLME ST | 114 | 9 | 8 | 0 | 0 | 0 | 0 | 0 |
| 16 REDHOLME ST | 76 | 3 | 4 | 0 | 0 | 0 | 0 | 0 |
| 18 REDHOLME ST | 73 | 18 | 22 | 0 | 0 | 0 | 0 | 0 |
| 18B REDHOLME ST | 35 | 9 | 26 | 0 | 0 | 0 | 0 | 0 |

| 12PM SHADOW ANALYSIS | | | | | | | | |
|----------------------|----------------|----------------------|---------------------|----------------------------|---------------------------|----------------------|---------------------|-----------------------|
| | POLY AREA (M2) | EXISTING SHADOW (M2) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (M2) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (M2) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (%) |
| 12 REDHOLME ST | 128 | 20 | 14 | 0 | 0 | 0 | 0 | 0 |
| 14 REDHOLME ST | 114 | 9 | 8 | 0 | 0 | 0 | 0 | 0 |
| 16 REDHOLME ST | 76 | 5 | 6 | 0 | 0 | 0 | 0 | 0 |
| 18 REDHOLME ST | 73 | 17 | 23 | 0 | 0 | 0 | 0 | 0 |
| 18B REDHOLME ST | 35 | 5 | 14 | 0 | 0 | 0 | 0 | 0 |

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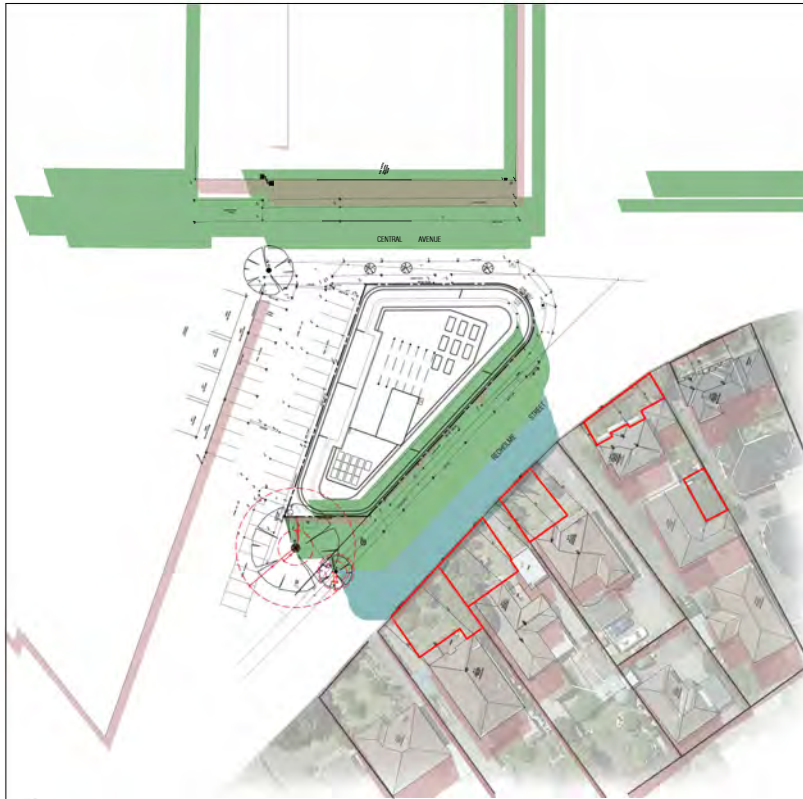
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| B | 21/07/21 | ISSUE FOR TOWN PLANNING | TW | | | | |
| C | 13/02/24 | ISSUE FOR TOWN PLANNING | TW | | | | |

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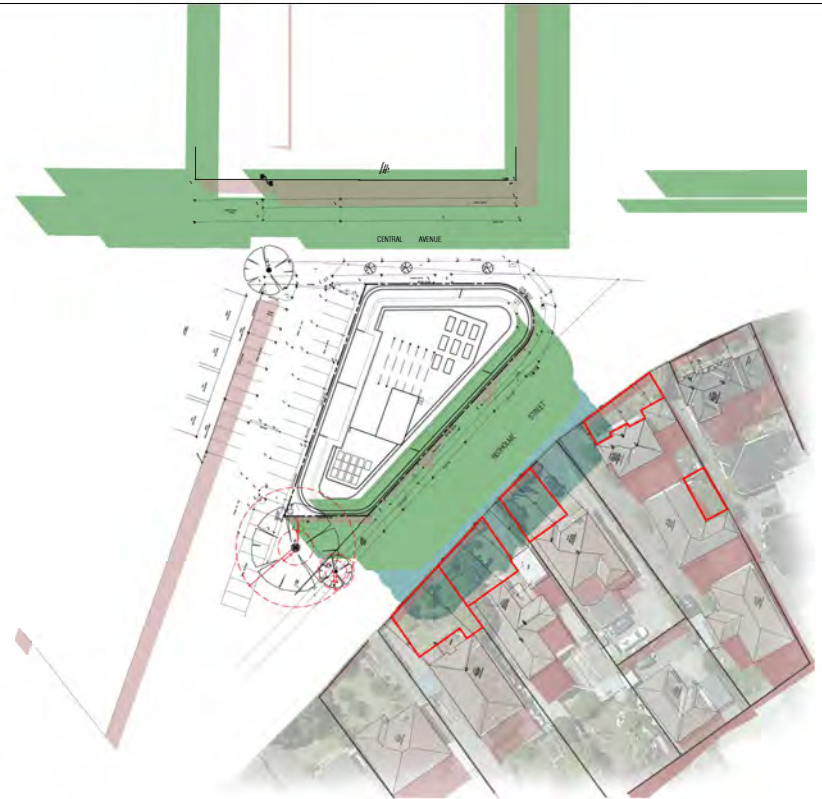
PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MCCORMACK
VIC 3189

TOWN PLANNING DRAWINGS
DRAWING TITLE
COMPARISON SHADOW DIAGRAM - 11AM / 12PM 22 SEPT
SCALE 1:400
PAGE 04
PROJECT NO. M21120
DRAWN JT
DRAWING ISSUE
TOWN PLANNING
DRAWING NO. TP-901 C



COMPARISON SHADOW DIAGRAM - 1PM, 22ND SEPTEMBER

| 1PM SHADOW ANALYSIS | | | | | | | | | |
|---------------------|---------------|----------------------|---------------------|----------------------------|---------------------------|----------------------|---------------------|------------------------|--|
| | POS AREA (M2) | EXISTING SHADOW (M2) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (M2) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (M2) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (M2) | |
| 12 REDHOLME ST | 128 | 18 | 15 | 0 | 0 | 7 | 5 | 0 | |
| 14 REDHOLME ST | 114 | 9 | 8 | 0 | 0 | 11 | 10 | 2 | |
| 16 REDHOLME ST | 76 | 7 | 9 | 0 | 0 | 8 | 10 | 1 | |
| 18 REDHOLME ST | 73 | 18 | 25 | 0 | 0 | 0 | 0 | 0 | |
| 18B REDHOLME ST | 35 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | |



COMPARISON SHADOW DIAGRAM - 2PM, 22ND SEPTEMBER

| 2PM SHADOW ANALYSIS | | | | | | | | | |
|---------------------|---------------|----------------------|---------------------|----------------------------|---------------------------|----------------------|---------------------|------------------------|--|
| | POS AREA (M2) | EXISTING SHADOW (M2) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (M2) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (M2) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (M2) | |
| 12 REDHOLME ST | 128 | 19 | 15 | 0 | 0 | 9 | 7 | 0 | |
| 14 REDHOLME ST | 114 | 12 | 11 | 0 | 0 | 9 | 8 | 0 | |
| 16 REDHOLME ST | 76 | 9 | 12 | 0 | 0 | 6 | 8 | 0 | |
| 18 REDHOLME ST | 73 | 22 | 30 | 0 | 0 | 0 | 0 | 0 | |
| 18B REDHOLME ST | 35 | 7 | 20 | 0 | 0 | 0 | 0 | 0 | |

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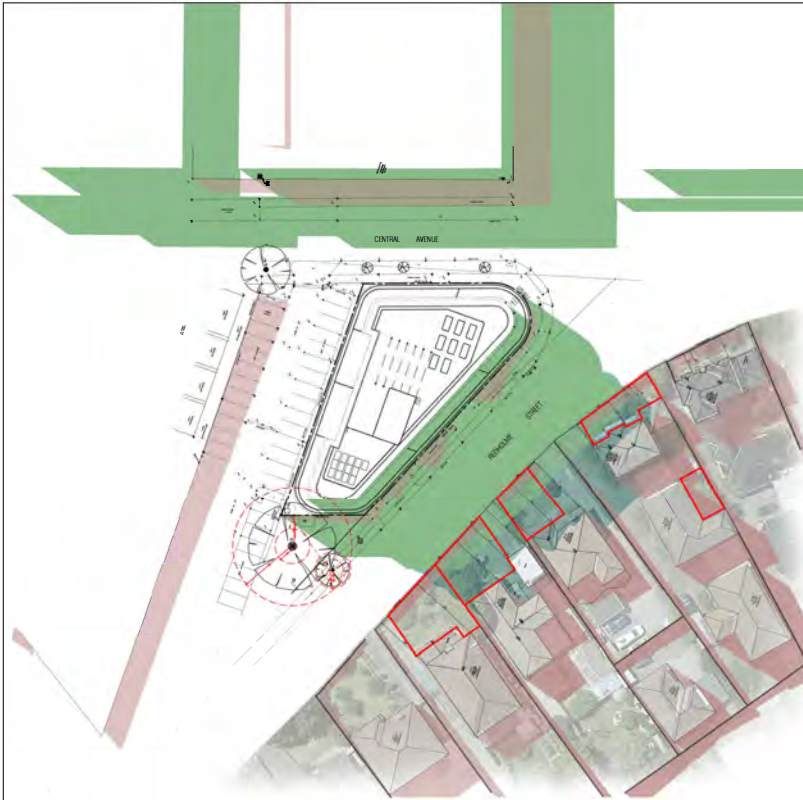
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| A | 18.12.21 | ISSUE FOR TOWN PLANNING | TW | | | | |
| B | 21.02.22 | ISSUE FOR TOWN PLANNING | TW | | | | |
| C | 13.02.22 | ISSUE FOR TOWN PLANNING | TW | | | | |

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PROJECT
CENTRAL AVENUE DEVELOPMENT
10 CENTRAL AVENUE
MCCORMACK
VIC 3189

TOWN PLANNING DRAWINGS

DRAWING TITLE
COMPARISON SHADOW DIAGRAM - 1PM / 2PM 22 SEPT
SCALE: 1:400
PAGE: 4/4
DRAWN: JF
PROJECT NO:
M21120
DRAWING NO:
TP-902 C



COMPARISON SHADOW DIAGRAM - 3PM, 22ND SEPTEMBER

■ EXISTING
 ■ PROPOSED
 ■ STRUCTURE PLAN
 POS

| 3PM SHADOW ANALYSIS | | | | | | | | |
|---------------------|---------------|---------------------|---------------------|---------------------------|---------------------------|---------------------|---------------------|-----------------------|
| | FOL AREA (M2) | EXISTING SHADOW (%) | EXISTING SHADOW (%) | STRUCTURE PLAN SHADOW (%) | STRUCTURE PLAN SHADOW (%) | PROPOSED SHADOW (%) | PROPOSED SHADOW (%) | ADDITIONAL SHADOW (%) |
| 12 REDCLIFFE ST | 129 | 24 | 13 | 0 | 0 | 12 | 0 | 0 |
| 14 REDCLIFFE ST | 114 | 20 | 10 | 44 | 30 | 114 | 100 | 82 |
| 16 REDCLIFFE ST | 78 | 16 | 21 | 36 | 46 | 78 | 100 | 73 |
| 18 REDCLIFFE ST | 73 | 27 | 37 | 27 | 37 | 68 | 79 | 42 |
| 18B REDCLIFFE ST | 35 | 22 | 63 | 0 | 0 | 0 | 0 | 0 |

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| REV | DATE | DESCRIPTION | CHECKED | REV | DATE | DESCRIPTION | CHECKED |
|-----|----------|-------------------------|---------|-----|------|-------------|---------|
| A | 15.12.22 | ISSUE FOR TOWN PLANNING | TW | | | | |
| B | 21.01.23 | ISSUE FOR TOWN PLANNING | TW | | | | |
| C | 13.04.24 | ISSUE FOR TOWN PLANNING | TW | | | | |

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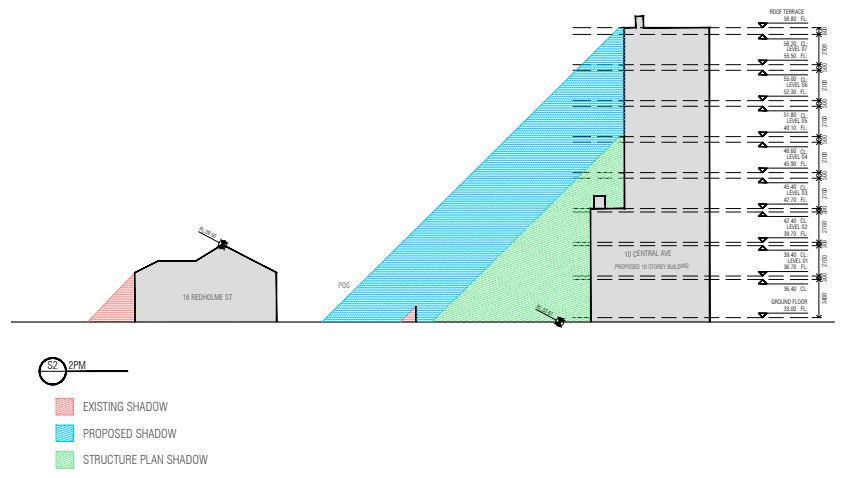
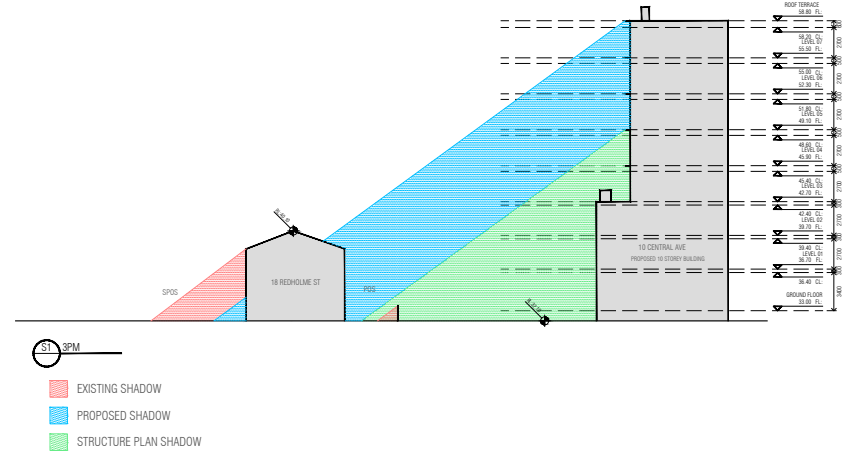
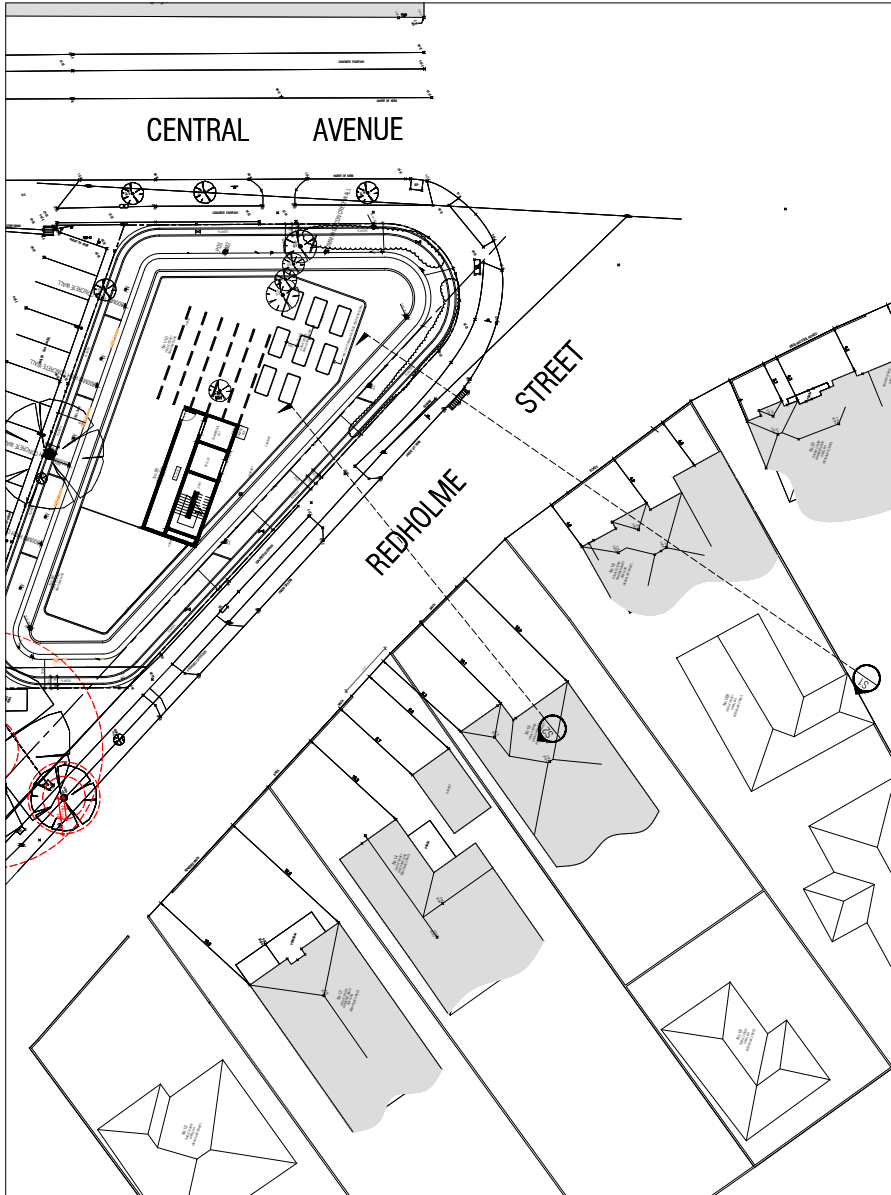
PROJECT
 CENTRAL AVENUE DEVELOPMENT
 10 CENTRAL AVENUE
 MCCORMACK
 VIC 3189

TOWN PLANNING DRAWINGS

DRAWING TITLE
 COMPARISON SHADOW DIAGRAM - 3PM 22 SEPT
 SCALE 1:400
 PAGE 01
 DRAWN JF
 PROJECT NO
 M21120

DRAWING ISSUE
 TOWN PLANNING

DRAWING NO
TP-903 C



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| REV. | DATE | DESCRIPTION | CHECKED | REV. | DATE | DESCRIPTION | CHECKED |
|------|----------|------------------------|---------|------|------|-------------|---------|
| 1 | 13/05/23 | EDGE FOR TOWN PLANNING | TR | | | | |
| 2 | 21/07/23 | EDGE FOR TOWN PLANNING | TR | | | | |
| 3 | 13/08/24 | EDGE FOR TOWN PLANNING | TR | | | | |

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PROJECT
 CENTRAL AVENUE DEVELOPMENT
 10 CENTRAL AVENUE
 MOORABBIN
 VIC 3189

| TOWN PLANNING DRAWINGS | |
|--|------------------------------|
| DRAWING TITLE SECTIONAL SHADOW DIAGRAMS | DATE PROJECT NO. M1120 |
| SCALE 1:200 | PAGE 41 |
| DRAWN TR JP | DRAWING NO. TP-950 |
| TOWN PLANNING | |

| Date 13.02.2024 | | Issue: | | TOWN PLANNING | | | | Rev D | |
|---|-----------------------------|----------------------------|-------------------------------------|---------------|--------------------------------------|---------------------------------------|-------------------|------------|----------------|
| Area Schedule: 10 CENTRAL AVE MOORABBIN | | | | | | | | | |
| | Commercial(m ²) | Apartment(m ²) | Private Open Space(m ²) | Beds | Communal Open Space(m ²) | Total Per Floorplate(m ²) | Motorcycle Spaces | Car Spaces | Bicycle Spaces |
| Level Ground | | | | | | | | | |
| Retail 1 | 214 | | | | | 214 | | 3 | 2 |
| Retail 2 | 297 | | | | | 297 | | 3 | 2 |
| Level 1 | | | | | | | | | |
| Commercial | 930 | | | | | 930 | | 18 | 5 |
| Level 2 | | | | | | | | | |
| Commercial | 930 | | | | | 930 | | 18 | 5 |
| Visitor | | | | | | | | | 5 |
| TOTAL COMMERCIAL | | | | | | | | | |
| | 2371 | | | | | | 6 | 42 | 19 |
| Level 3 | | | | | | | | | |
| Apt 01 | | 87 | 76 | 2 | | 163 | | 1 | 1 |
| Apt 02 | | 55 | 36 | 1 | | 91 | | 1 | 1 |
| Apt 03 | | 55 | 36 | 1 | | 91 | | 1 | 1 |
| Apt 04 | | 84 | 62 | 2 | | 146 | | 1 | 1 |
| Apt 05 | | 84 | 90 | 2 | | 174 | | 1 | 1 |
| Apt 06 | | 89 | 43 | 2 | | 132 | | 1 | 1 |
| Level 4 - 7 | | | | | | | | | |
| Apt 01 | | 87 | 18 | 2 | | 105 | | 1 | 1 |
| Apt 02 | | 55 | 8 | 1 | | 63 | | 1 | 1 |
| Apt 03 | | 55 | 8 | 1 | | 63 | | 1 | 1 |
| Apt 04 | | 84 | 16 | 2 | | 100 | | 1 | 1 |
| Apt 05 | | 84 | 38 | 2 | | 122 | | 1 | 1 |
| Apt 06 | | 89 | 12 | 2 | | 101 | | 1 | 1 |
| Level 8 (Roof Terrace) | | | | | | | | | |
| | | | | | 386 | | | | |
| Visitor | | | | | | | | | 10 |
| TOTAL RESIDENTIAL | | | | | | | | | |
| | | 2270 | 743 | 50 | 386 | 3013 | - | 30 | 40 |
| TOTAL | | | | | | | | | |
| 30 | 2371 | 2270 | 743 | | 386 | 5384 | 6 | 72 | 59 |
| | | | | | | | | | m2 |
| Average Apartment Size: | | | | | | | | | 76 |
| Site Area: | | | | | | | | | 1045 |
| Basement Site Coverage: | | | | | | | | | 1035 99 |
| Building Site Coverage : | | | | | | | | | 1031 99 |
| Permeability | | | | | | | | | 10 1 |

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Planning Committee Meeting

20 March 2024

Agenda Item No: 4.3

KP-2023/574 - 1-7 WELLS ROAD AND JACK GRUT RESERVE, MORDIALLOC

Contact Officer: Beau McKenzie, Principal Planner

Purpose of Report

This report is for the Planning Committee to consider Planning Permit Application No. KP-2023/574 - 1-7 Wells Road and 60-68 Governor Road (Jack Grut Reserve), Mordialloc.

Disclosure of Officer / Contractor Direct or Indirect Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

RECOMMENDATION

That the Planning Committee determine to support the proposal and issue a Planning Permit to **Use and develop the land for a leisure and recreation facility (Aquatic Centre), removal of easements, removal of native vegetation and associated works** at 1-7 Wells Road and 60-68 Governor Road (Jack Grut Reserve), Mordialloc, subject to the conditions contained within this report.

This application requires a decision by Council as the applicant and owner of the land is the City of Kingston.

EXECUTIVE SUMMARY

| | |
|--------------------------|--|
| Address | 1-7 Wells Road and 60-68 Governor Road (Jack Grut Reserve), Mordialloc |
| Legal Description | Lot 114 on Title Plan 714562M (1-7 Wells Road) Lot 115 on Title Plan 714557E (1-7 Wells Road) Lot 1 on Title Plan 819744V (1-7 Wells Road) Crown Allotment 20A, Section 23 Parish of Mordialloc (Jack Grut Reserve) |
| Applicant | City of Kingston C/- Town Planning & Co |
| Planning Officer | Beau McKenzie |

PLANNING REQUIREMENTS

| | |
|------------------------------|---|
| Planning Scheme | Kingston |
| Zoning | Clause 33.01 – Industrial 1 Zone Clause 36.02 – Public Park and Recreation Zone |
| Overlays | Clause 44.04 – Land Subject to Inundation Overlay |
| Particular Provisions | Clause 52.02 – Easements, restrictions and reserves Clause 52.05 – Signs Clause 52.06 – Car Parking Clause 52.17 – Native Vegetation |

**City of Kingston
Planning Committee Meeting**

Agenda

20 March 2024

| | |
|-------------------------|--|
| Permit Trigger/s | <p>Clause 52.31 – Local Government Projects Clause 52.34 – Bicycle Facilities Clause 53.18 – Stormwater Management in Urban Development Clause 33.01-1 – Use the land for a leisure and recreation facility in the Industrial 1 Zone Clause 33.01-4 – Construct a building and construct or carry out works in the Industrial 1 Zone Clause 44.04-2 – Construct a building and construct or carry out works in the Land Subject to Inundation Overlay Clause 52.02 – Remove an easement Clause 52.17-1 – Remove native vegetation</p> |
|-------------------------|--|

APPLICATION / PROCESS

| | | | |
|------------------------------|--|------------------------------|---|
| Proposal | Use and develop the land for a leisure and recreation facility (Aquatic Centre), removal of easements, removal of native vegetation and associated works | | |
| Reference No. | KP-2023/574 | RFI Received | 26/11/2023 |
| App. Received | 26/10/2023 | App. Amended | 22/11/2023 (s50 amendment) 13/02/2024 (s57a) |
| Site Inspection | Yes | Advertising Completed | 18/12/2023 |
| Advertising commenced | 30/11/2023 | | |
| S.55 Referrals | Melbourne Water, DEECA | | |
| Internal Referrals | Yes | | |
| Objection(s) | One (1) which was later withdrawn (TRIM checked on 26/02/2024) | | |
| ESD Summary | <p>The proposal achieves a BESS score of 71 which is considered as 'Excellence'. The proposal also incorporates:</p> <ul style="list-style-type: none"> • Commitment to an all-electric, net-zero carbon emission ready, development • Solar PV system of at least 331kW • High performance low-E double glazing • Optimised external shading system to reduce solar gain, especially on the north and west facades. • Rainwater harvesting and re-use system with total capacity of 150,000L connected to toilets and pool top up • Significant landscaping, raingardens and permeable paving areas which contributes to urban cooling on-site and improved stormwater quality • EV charging stations to 5% of car spaces, with provision to extend to 25% of car spaces • 42 bicycle parking spaces for visitors, and 10 for staff • Innovations of: <ul style="list-style-type: none"> ○ Reclaimed pool water used for toilet flushing ○ eWater system for cleaning ○ 90% of construction and demolition waste to be diverted from landfill ○ Building designed and tested for airtightness ○ 'Acoustic Comfort Strategy' developed ○ Adopting inclusive construction practices ○ Conducting air-quality testing ○ 20% of all interior finishes will be supplied with a verified industry-wide or third party environmental certification | | |

**City of Kingston
Planning Committee Meeting**

Agenda

20 March 2024

| | | | | |
|---|---|---------------|---|----|
| Vegetation | Trees > 8m | Yes | No. of Trees to be Removed (110cm circumference) | 17 |
| Delegation | It was resolved by Council through a Notice of Motion in 2020 that any planning application that involves the removal of tree(s) exceeding 8 metres in height must be reported to a Councillor Information Session (CIS). This application was reported to the CIS in accordance with Council's resolution. The application requires a decision by Council as the owner of the land and applicant is the City of Kingston. | | | |
| LEGISLATIVE | | | | |
| Covenant/Other Restriction | No | Complies: N/A | | |
| Aboriginal Cultural Sensitivity Area | Yes | | | |
| CHMP | Yes – CHMP prepared by 'Ecology & Heritage Partners', number 18877, approved by the Bunurong Land Council Aboriginal Corporation on 14 June 2023 | | | |
| Considered Plans | <p><u>Architectural plans</u> prepared by 'Co-Op Studio', project no. 100329, submitted to Council on 22/11/2023 and comprising:</p> <ul style="list-style-type: none"> • Revision 1 (dated 19/10/2023) – TP000, TP402, TP406, TP501, TP991-996 inclusive • Revision 2 (dated 21/11/2023) – TP100-102 inclusive, TP201-203 inclusive, TP401, TP997 <p><u>Landscape Plan Set Zones1-6 LSD000- LSD219: Site Image</u> Landscape Architects (<i>Date: 20.11.2023, Rev. D</i>)</p> <p><u>Sustainability Management Plan</u> prepared by 'Introba', issue 03, dated 19/01/2024</p> | | | |

DISCLOSURE OF OFFICER / CONTRACTOR DIRECT OR INDIRECT INTEREST

No Council officer/s and/or contractor/s who have provided advice in relation to this report have declared a conflict of interest regarding the matter under consideration.

1.0 KEY ISSUES

1.1 The main issues arising from this proposal relate to:

- Appropriateness of use.
- Design and built form.
- Amenity considerations.
- Vegetation and landscaping considerations.
- Environmental Sustainable Design.
- Car parking and traffic considerations.
- Easement removal.
- Flooding impacts and stormwater management.
- Native vegetation removal.

2.0 SITE AND SURROUNDS



Subject site from Governor Road (photo by Planning Officer)



Subject site (1-7 Wells Road) from Governor Road (photo by Planning Officer)



Subject site (1-7 Wells Road) from Wells Road (photo by Planning Officer)



Subject site (Jack Grut Reserve) looking south along the shared boundary (photo by Planning Officer)



Figure 1 – Aerial photo of subject site including 1-7 Wells Road highlighted in blue and Jack Grut Reserve highlighted in green (source – Nearmaps, 29 October 2023)

**Allotment
Placement and
Size**

The subject site encompasses two properties including 1-7 Wells Road and Jack Grut Reserve. The former is irregular in shape and is made up of three titles including Lot 114 on TP714562M, Lot 115 on TP714557E and Lot 1 on TP819744V. Jack Grut Reserve is triangular in shape and is on Crown land, identified as Crown Allotment 20A, Section 23 Parish of Mordialloc. City of Kingston is the owner of the land at 1-7 Wells Road and land manager of the Crown Land at Jack Grut Reserve.

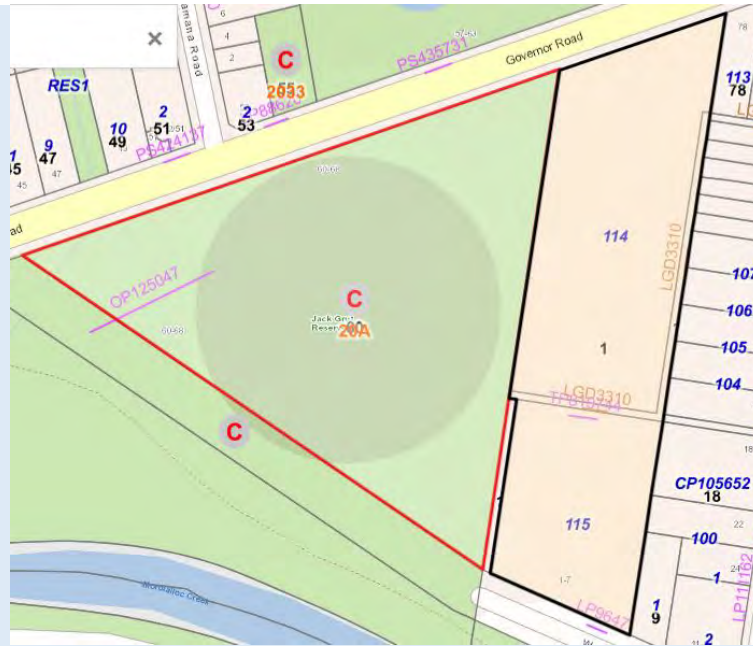


Figure 2 – Cadastral map of subject site (source – Land and Survey Spatial Information, Department of Transport & Planning)

1-7 Wells Road has dual road frontages, Governor Road to the north and Wells Road to the south. Both roads are identified as significant municipal roads and are in the Transport Zone 3. The site’s Governor Road and Wells Road frontage is 71.96 metres (m) and 62.81 m wide respectively. Jack Grut Reserve has a single road frontage to Governor Road for 233.35 m.

Both properties share a boundary for a distance of 136 m before a small slither of land (in private ownership) separates the two properties for a distance of 72 m.

| | |
|-----------------------------|--|
| Size (m²) | <p>1-7 Wells Road – 1.45 hectares (ha)</p> <p>Jack Grut Reserve – 2.14 ha</p> |
| Land use/built form | <p>1-7 Wells Road – vacant. The previous industrial buildings on the land were demolished in the past 6 months.</p> <p>Jack Grut Reserve – public reserve containing formal sporting infrastructure including oval, cricket nets, pavilion and club facilities. Sporting clubs that operate from this reserve include Parkdale United Cricket Club and Aspendale Soccer Club. There is a path that runs parallel with the reserve’s shared east boundary with 1-7 Wells Road. The path provides a link between the Shared User Path (SUP) on Governor Road and Mordialloc Creek.</p> |
| Topography | The land is generally flat. |
| Fencing | Cyclone wire mesh fencing runs along each boundary of 1-7 Wells Road including its reserve and road frontages. |
| Vegetation | <p>1-7 Wells Road – most vegetation on the land is clustered in the north-east and south-east corners of the site. The vegetation is a mix of exotic and native vegetation and are mostly planted albeit for one <i>Pittosporum undulatum</i> (Sweet Pittosporum) in the south-east corner of the site.</p> <p>Jack Grut Reserve – vegetation on the land is generally sparse albeit for the eastern boundary which is densely vegetated. The vegetation is generally a mix of naturally occurring or planted native vegetation.</p> |

The following maps illustrate the existing vegetation across the site and their Arboricultural Value.

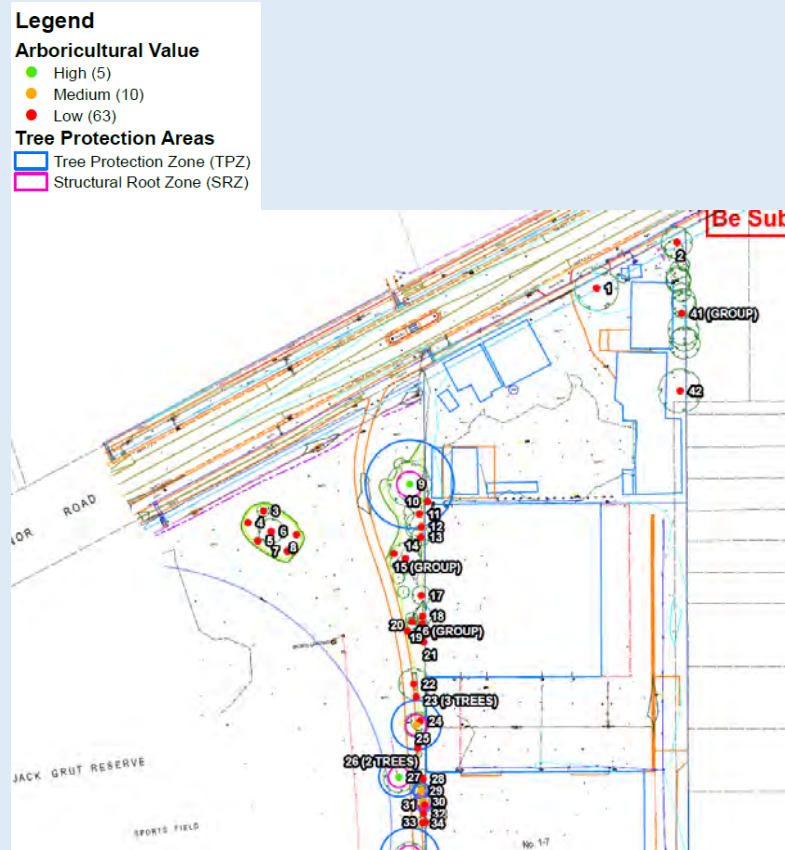


Figure 3 – Northern portion of site (source – Arboricultural Assessment prepared by 'ArborSurvey')

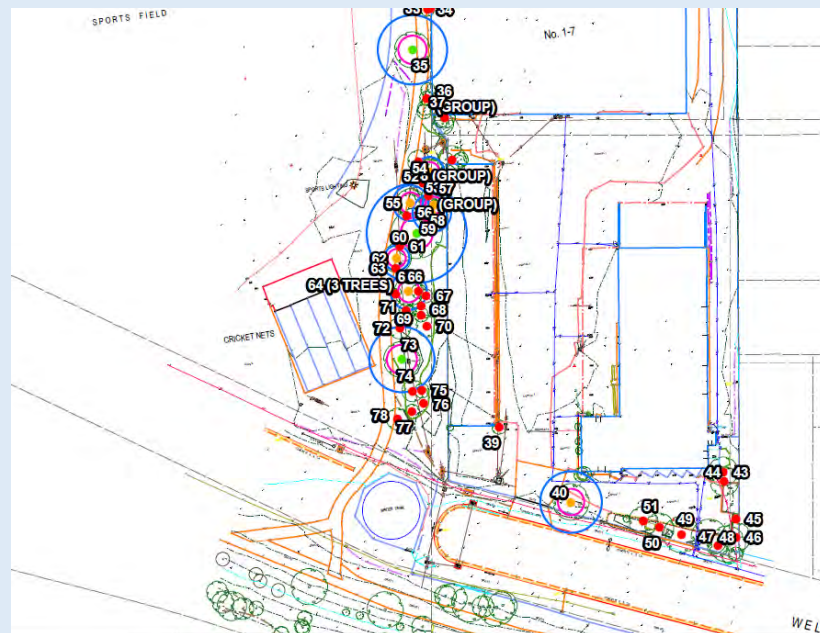


Figure 4 – Southern portion of site (source – applicant submission, prepared by 'ArborSurvey')

Easement(s)

There are two (2) drainage easements (E-1 and E-2) encumbering 1-7 Wells Road as detailed on the below plan:



Figure 5 – Existing easement plan (source – applicant submission, prepared by ‘Speedie Development Consultants Pty Ltd’)

There are no easements on Jack Grut Reserve.

**Footpath
 Assets /
 Access**

Vehicle access to 1-7 Wells Road is provided via double width crossovers on each road frontage. Other assets along the road frontages include traffic signs, infrastructure pits, electricity poles and overhead lines, Governor Road SUP and Jack Grut Reserve bus stop on Governor Road.

3.0 SURROUNDING LAND

3.1 The following aerial image illustrates the subject site in its surrounding context.



Figure 6 – Aerial image of surrounding land (source – Nearmaps, dated 29 October 2023)

- 3.2 The surrounding area of the site is highly varied given its position on the western peripheral of the Mordialloc/Braeside industrial area. The area comprises of industrial, residential, public open space and natural waterways.
- 3.3 On its eastern side, the site has a direct interface with multiple industrial properties which have their frontage to Beach Avenue except for the southernmost abutting land which fronts Wells Road. These properties consist of materials supply, light industry and manufacturing uses and are generally contained within post-war style brick factories. The industrial area extends eastward towards Boundary Road and is bordered by Governor Road to the north and Wells Road to the south.
- 3.4 Land to the south-west of the site is Jack Grut Reserve car park and George Woods Reserve. Land to the south comprises of Mordialloc Creek and its environs. A SUP runs alongside the creek. Directly to the south of the proposed Aquatic Centre is the no through end of Wells Road. There is on-street parking on the north side of Wells Road and perpendicular gravel parking on its south side. The Long Island Point LPG pipeline runs under the southern side of Wells Road and into George Woods Reserve.
- 3.5 The land to the north varies significantly from east to west. Directly opposite the proposed Aquatic Centre is a residential area (“Epsom Estate”) separated from Governor Road by a high planted embankment/bund. Opposite Jack Grut Reserve is the Epsom Wetlands and a small industrial estate that is generally comprised of light industry and non-industrial uses (i.e. food and drink premises, brewery and gym).

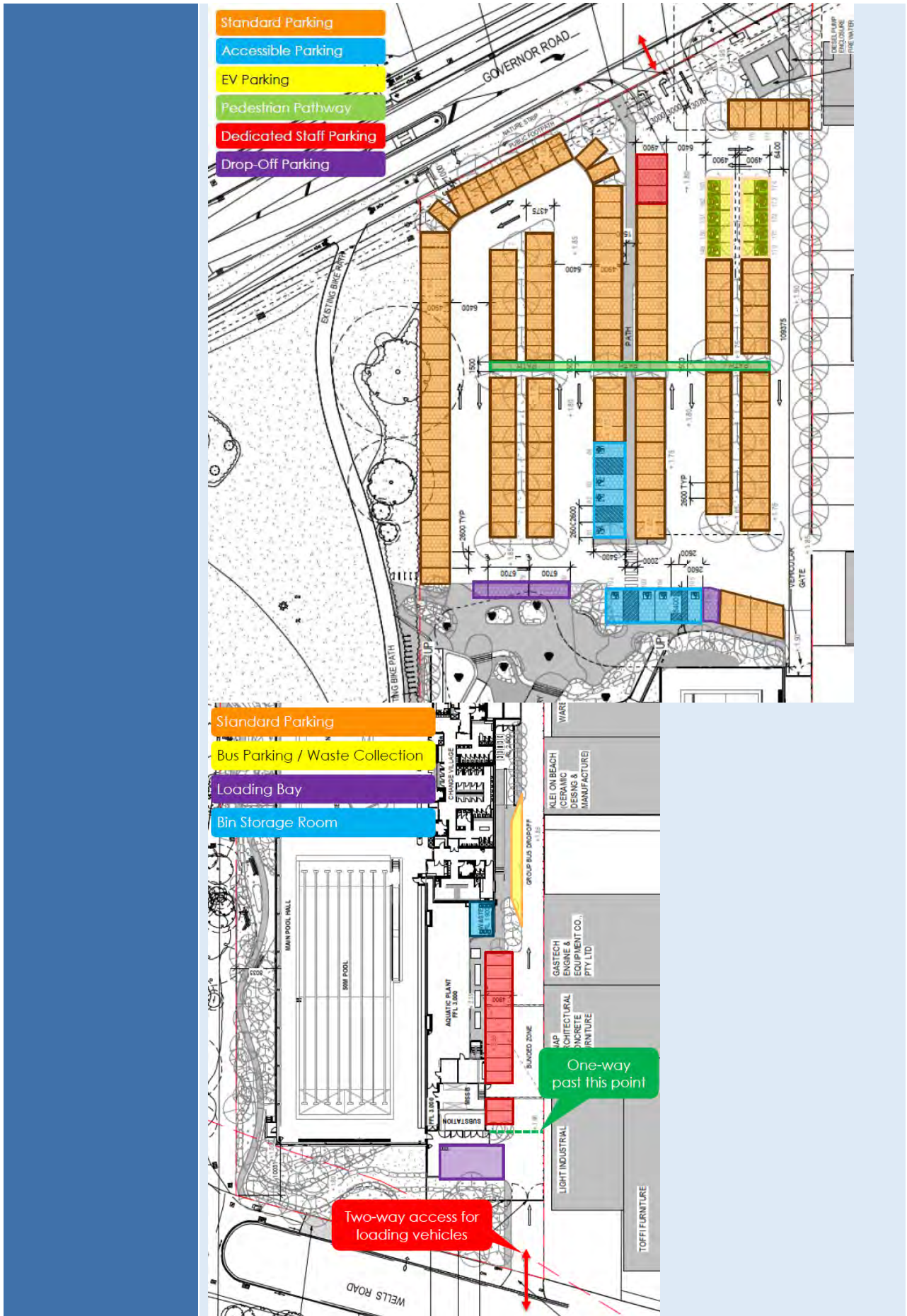
4.0 PROPOSAL

**City of Kingston
Planning Committee Meeting**

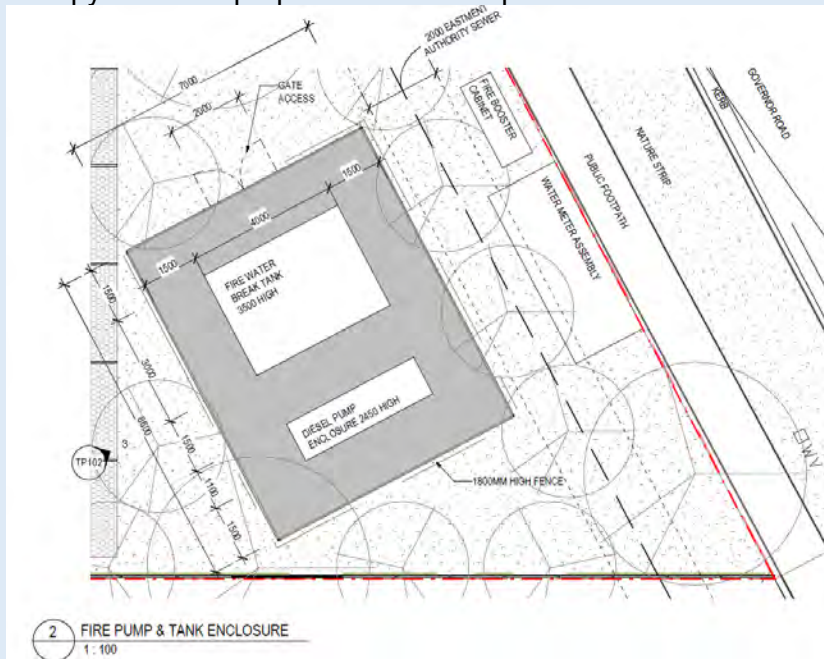
Agenda

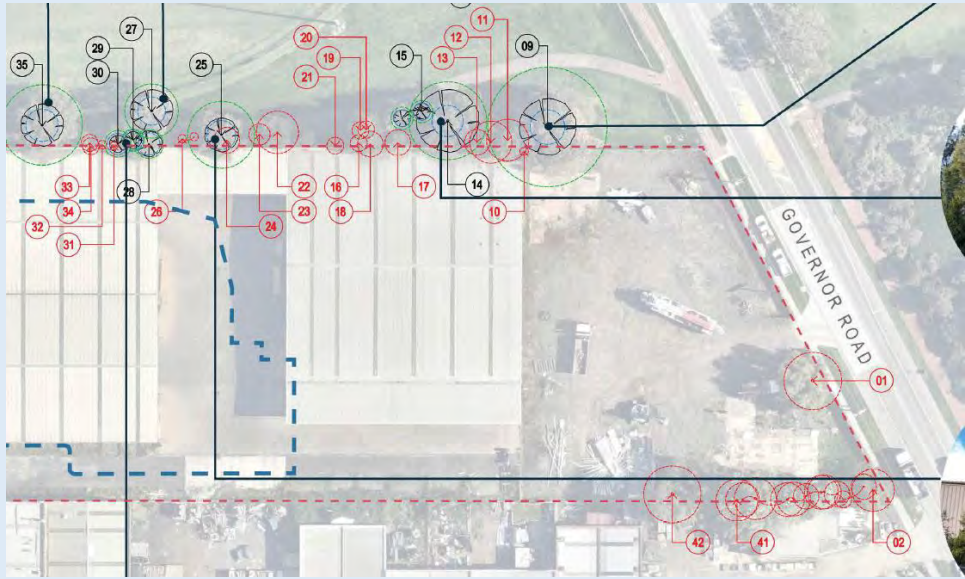
20 March 2024

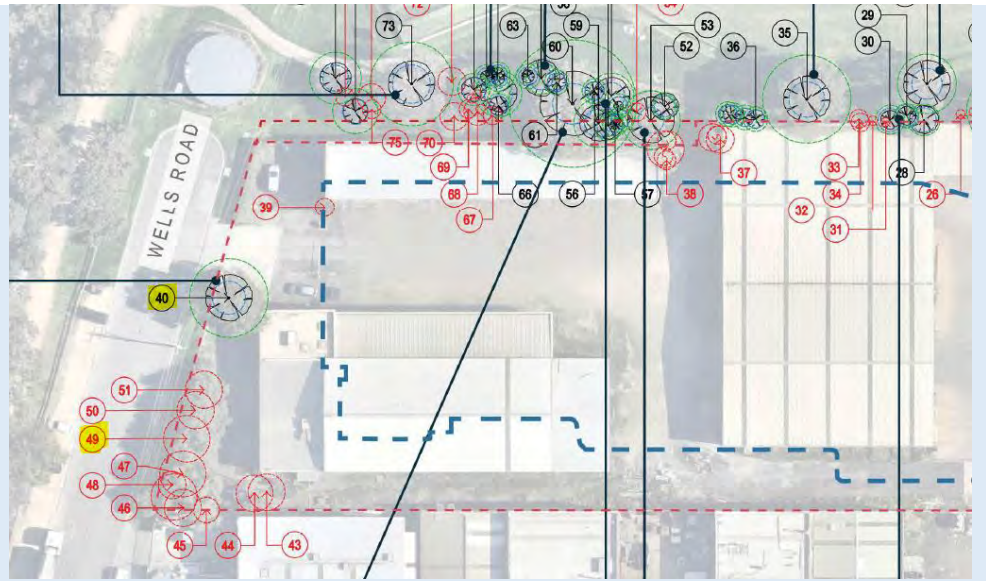
| | |
|--------------------------------|---|
| General description | <p>It is proposed to use and develop the land for the new Kingston Aquatic and Leisure Centre (KALC), remove easements and remove native vegetation from the land.</p> <p>As detailed in the plans, the proposal comprises of the main facility building on the southern half of the site (1-7 Wells Road) and car park in the front portion of the site. The main entry to the building is located on the north-west corner of the building which includes an under-croft plaza and outdoor decked café terrace. The western and southern setback of the building is proposed to be landscaped whereas the eastern side of the building will operate as the 'back of house' area comprising of the loading dock, staff parking, waste storage, utilities, bus drop off and group entry. This zone will be gated.</p> |
| Building setbacks | <p>Ground floor – the ground floor will be set back approximately minimum 96 m from the north (Governor Road) boundary, 4.44 m from the east (side) boundary, 12 m from the south (Wells Road) boundary and 8 m from the west (side) boundary.</p> <p>First floor – the first floor will be set back a minimum 72 m from the north (Governor Road) boundary, 22.95 m from the east (side) boundary, 87 m from the south (Wells Road) boundary and 2.2 m from the west (Jack Grut Reserve) boundary.</p> |
| Floor area | 4944 m ² at ground level and 1647 m ² on the upper level, equating to a total floor area of 6591 m ² . |
| Internal layout | <p>Ground level – from the main building entry the facility will comprise of a reception desk and café with indoor and outdoor seating, a 50 m swimming pool, a leisure pool, learn to swim pool, warm water pool, steam room, sauna, a change village (change room facilities) and plant/utility rooms.</p> <p>Upper level – the upper level will mostly comprise of the gymnasium including open fitness area, three (3) individual ground fitness rooms and change facilities. This level will also contain offices associated with the overall facility.</p> |
| Operating hours | <p>Monday to Friday, 6:00am to 9:00pm Saturday and Sunday, 7:00am to 7:00pm</p> <p>The above hours apply to the swimming pools, café and gymnasium.</p> |
| Staff / Employees | The facility will employ up to 40 staff at any one time. |
| Visitors | 420,000 projected annual visitors |
| Maximum Building Height | 13 m to the top of the sloping roof on the north-west side of the building. The remaining part of the building mostly sits below 11 m. |
| Site coverage | 38.5%. |
| Car Parking | A total of 179 car spaces are to be provided on-site including 12 spaces to the eastern side of the building and 167 spaces in the front setback. As part of this parking provision, there will be 143 standard spaces, 15 dedicated for staff, 8 for accessible parking, 3 drop off spaces and 10 electric vehicle charging spaces. |



| | |
|-------------------------------|---|
| Vehicle access | <p>Access to the site will be provided from both Wells Road and Governor Road.</p> <p>Governor Road – access will be provided via a new crossover to the east of the existing crossover. This access point will be the main entry and exit for visitors to the facility. Ingress to the site will be via a single lane whereas egress will be via a left and right exit lane. Modifications will be undertaken to the line-marking on Governor Road, providing a short right-turn lane.</p> <p>Wells Road – access will be provided via a new crossover on the eastern boundary of the site’s road frontage. This access will be restricted to staff and authorised vehicles only (i.e. loading vehicles, waste vehicles and buses). This access point will provide two-way movement up to the loading bay. Past this point along the eastern side of the building will be for one way traffic only. Therefore, loading trucks will enter and exit the site via Wells Road whereas waste collection vehicles and buses will enter via Wells Road and exit via the front car park and Governor Road. There will be a designated bay for group bus drop-off and waste collection just to the north of the staff car parking area.</p> |
| Pedestrian access | <p>A central pedestrian pathway will be provided within the front car parking area, linking the Governor Road frontage to the main entry of the building. A secondary link for pedestrians and cyclists will be provided via the adjacent SUP on Jack Grut Reserve. Further, a nature play based walkway will run along the landscaped area along the western side of the building, providing a connection between Wells Road and the main entry plaza.</p> |
| Loading and Unloading | <p>Loading and unloading will occur in the dedicated bay to the south-east rear of the building. The loading area can accommodate vehicles of up to 12.5 m heavy rigid vehicle (HRV).</p> |
| Services and utilities | <p>Services and plant to support the facility will be located within the south-east corner of the building at ground level and on a roof deck along the eastern side of the building. In addition, a water meter assembly, fire booster cabinet and fire pump and tank enclosure are proposed in the front north-east corner of the site. A 1.8 m high chain wire mesh fence will enclose this area and canopy trees are proposed around its perimeter.</p> |



| | |
|---------------------------------------|--|
| Waste management | Waste will be stored within a dedicated waste room on the eastern 'back of house' side of the building. Waste will be collected by a private contractor, 3 times a week. |
| Vegetation Removal / Retention | <p>It is proposed to remove most vegetation at 1-7 Wells Road. These trees have been determined to be 'planted' as the species are not naturally occurring and are positioned along the boundaries of the site. However, there is a <i>Pittosporum undulatum</i> (Sweet Pittosporum) proposed to be removed that is a Victorian native and likely self-sown. The tree is therefore subject to the provisions of Clause 52.17 (Native vegetation). The tree is in the south-east corner of the site (refer to highlighted tree no. 49 on below plans). It is proposed to retain the 9 m high <i>Eucalyptus botryoides</i> (Southern Mahogany) centrally positioned along the Wells Road frontage of the site (refer to highlighted tree no. 40 on below plans).</p> <p>Whilst it was originally proposed to remove vegetation on Jack Grut Reserve adjacent to the boundary, this is no longer proposed and all vegetation is now to be retained (see section 9).</p> <p>The below tree removal plan indicates in red, the trees proposed to be removed at 1-7 Wells Road. The trees shown to be removed on Jack Grut Reserve is no longer proposed as outlined above.</p>  <p style="text-align: left; margin-left: 20px;">Northern portion of site</p> |



Southern portion of site

Bicycle Spaces

The proposal will provide 40 (42 as per SMP) bicycle parking spaces for visitors near the main entrance and 10 spaces for staff near the staff parking area along the eastern side of the building. End of trip facilities include change rooms and 47 showers available for both visitors and staff.

Architecture and materials/finishes



Side view from Jack Grut Reserve



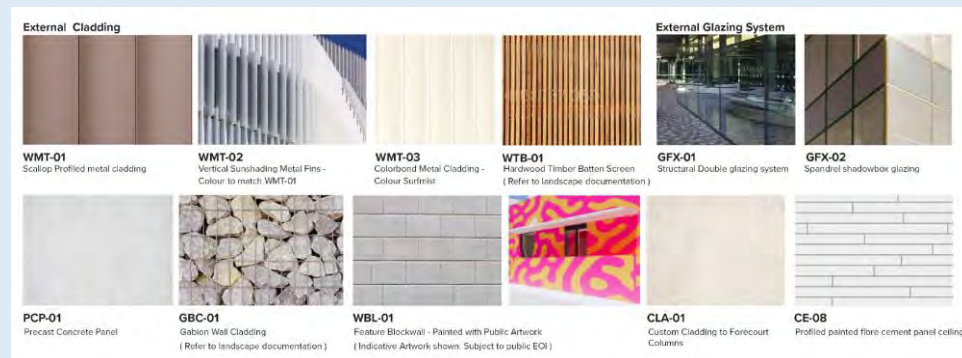
Side view from Jack Grut Reserve



Side view from Jack Grut Reserve



Front view from Governor Road/car park



Material/finish palette

Landscaping

Landscaping is proposed throughout the site in various zones including along each road frontage, throughout the car parking areas and along the western building setback. Key features of the landscaping layout includes:

- Canopy tree planting throughout the car parking area and along the Governor Road frontage. Permeable paving is proposed to parking spaces).
- Entry plaza providing all abilities accessibility, rockwork garden beds, play design features (rope play net), climbers to the undercroft columns, raised terrace and café deck offering views toward Jack Grut Reserve.
- Terraced landscape area along the western side of the building, providing a north-south pedestrian link, visual connections to Jack

| | |
|--------------------------------|---|
| <p>Easement removal</p> | <p>Grut Reserve, Water Sensitive Urban Design (WSUD), fixed seating, rockwork, natural log and nature play design features.</p> <ul style="list-style-type: none"> Wells Road setback designed to integrate with the adjacent Mordialloc Creek, featuring WSUD, dense vegetation, rockwork and natural log features. <p>The application also seeks the removal of the two (2) easements encumbering the land as highlighted in blue below. The easements are for drainage purposes.</p> <div style="text-align: center;"> </div> <p><small>NOTATIONS E-1 AND E-2 DENOTE DRAINAGE EASEMENTS PROPOSED FOR REMOVAL. THIS PLAN SUBJECT TO SURVEY AND THE CONSENT OF STATUTORY AUTHORITIES.</small></p> |
|--------------------------------|---|

5.0 PLANNING CONTROLS

| Zone / Overlay / Particular Provisions | Rationale |
|---|--|
| <p>Clause 33.01 – Industrial 1 Zone (IN1Z)</p> | <p>The proposed site of the Aquatic Centre is in the IN1Z.</p> <p>In accordance with Clause 33.01-1, a planning permit is required to use the land for ‘leisure and recreation’ in the IN1Z. A planning permit is not required for the proposed café as it is ancillary to the primary use of land for a ‘leisure and recreation’ facility.</p> <p>In accordance with Clause 33.01-4, a planning permit is required to construct a building and construct and carry out works in the IN1Z.</p> |

| Zone / Overlay / Particular Provisions | Rationale |
|--|---|
| | <p>The purpose of the Industrial 1 Zone is described as follows:</p> <ul style="list-style-type: none">• <i>To implement the Municipal Planning Strategy and the Planning Policy Framework.</i>• <i>To provide for manufacturing industry, the storage and distribution of goods and associated uses in a manner which does not affect the safety and amenity of local communities.</i> <p>Before deciding on an application in the Industrial 1 Zone, the responsible authority must consider, as appropriate:</p> <p>Use</p> <ul style="list-style-type: none">• <i>The Municipal Planning Strategy and the Planning Policy Framework.</i>• <i>The effect that the use may have on nearby existing or proposed residential areas or other uses which are sensitive to industrial off-site effects, having regard to any comments or directions of the referral authorities.</i>• <i>The effect that nearby industries may have on the proposed use.</i>• <i>The drainage of the land.</i>• <i>The availability of and connection to services.</i>• <i>The effect of traffic to be generated on roads.</i>• <i>The interim use of those parts of the land not required for the proposed use.</i> <p>Buildings and works</p> <ul style="list-style-type: none">• <i>The Municipal Planning Strategy and the Planning Policy Framework.</i>• <i>Any natural or cultural values on or near the land.</i>• <i>Streetscape character.</i>• <i>Built form.</i>• <i>Landscape treatment.</i>• <i>Interface with non-industrial areas.</i>• <i>Parking and site access.</i>• <i>Loading and service areas.</i> |

| Zone / Overlay / Particular Provisions | Rationale |
|---|--|
| | <ul style="list-style-type: none"> • <i>Outdoor storage.</i> • <i>Lighting.</i> • <i>Stormwater discharge.</i> |
| Clause 36.02 – Public Park and Recreation Zone (PPRZ) | <p>Jack Grut Reserve is in the PPRZ. There will be some minor surface works, landscaping and installation of bicycle racks within the reserve as part of the reserve's integration with the Aquatic Centre.</p> <p>In accordance with Clause 36.02-1, a planning permit is not required to use the land for 'leisure and recreation' in the PPRZ as the use meets the following condition:</p> <ul style="list-style-type: none"> • <i>A use conducted by or on behalf of a public land manager, Parks Victoria or the Great Ocean Road Coast and Parks Authority, under the relevant provisions of the Local Government Act 1989, the Reference Areas Act 1978, the National Parks Act 1975, the Fisheries Act 1995, the Wildlife Act 1975, the Forest Act 1958, the Water Industry Act 1994, the Water Act 1989, the Marine Safety Act 2010, the Port Management Act 1995, or the Crown Land (Reserves) Act 1978.</i> <p>In accordance with Clause 36.02-2, a planning permit is not required to construct a building or construct or carry out works in the PPRZ as the proposal meets the following exemptions:</p> <ul style="list-style-type: none"> • <i>Pathways, trails, seating, picnic tables, drinking taps, shelters, barbeques, rubbish bins, security lighting, irrigation, drainage or underground infrastructure.</i> • <i>Planting or landscaping.</i> • <i>A building or works carried out by or on behalf of a public land manager, Parks Victoria or the Great Ocean Road Coast and Parks Authority, under the Local Government Act 1989, the Reference Areas Act 1978, the National Parks Act 1975, the Fisheries Act 1995, the Wildlife Act 1975, the Forest Act 1958, the Water Industry Act 1994, the Water Act 1989, the Marine Safety Act 2010, the Port Management Act 1995 or the Crown Land (Reserves) Act 1978.</i> |
| Clause 44.04 – Land Subject to Inundation Overlay (LSIO) | A planning permit is required to construct a building and construct and carry out works in the LSIO pursuant to Clause 44.04-2. This includes the works on Jack Grut Reserve. |
| Clause 52.02 – Easements, restrictions and reserves | A planning permit is required to remove easements pursuant to Clause 52.02. |
| Clause 52.05 – Signs | <p>In accordance with Clause 52.05-10, a planning permit is not required to construct or put up for display signs for the proposed Council run Aquatic Centre as it meets the following exemption:</p> <ul style="list-style-type: none"> • <i>A sign identifying the functions or property of a government department, public authority or municipal council, but not a promotion sign displayed at the direction of any of these bodies.</i> |

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| Zone / Overlay / Particular Provisions | Rationale | | | | | | | | | | | | | | |
|--|--|----------|---------------|------------------------------------|----------|--------------------|----------|----------|--------------------------------------|-------------------|----|----|------------------------------------|----|--------------------|
| Clause 52.06 – Car Parking | The proposed use of land for ‘leisure and recreation’ is not listed within the Table at Clause 52.06-5 and therefore does not have a specified car parking rate. Therefore, car parking must be provided to the satisfaction of the Responsible Authority in accordance with Clause 52.06-6. | | | | | | | | | | | | | | |
| Clause 52.17 – Native Vegetation | A planning permit is required under Clause 52.17-1 to remove native vegetation. | | | | | | | | | | | | | | |
| Clause 52.31 – Local Government Projects | The planning permit exemptions for local government projects as specified under Clause 52.31 does not apply to this application as the development has an estimated cost in excess of \$10 million. | | | | | | | | | | | | | | |
| Clause 52.34 – Bicycle facilities | <p>The following table provides a summary of the bicycle car parking requirement and proposed provision in accordance with Table 1 of Clause 52.34-5:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Use</th> <th>Employee rate</th> <th>Required</th> <th>Proposed</th> <th>Visitor rate</th> <th>Required</th> <th>Proposed</th> </tr> </thead> <tbody> <tr> <td>Minor sports and recreation facility</td> <td>1 per 4 employees</td> <td>10</td> <td>10</td> <td>1 to each 200sqm of net floor area</td> <td>33</td> <td>40 (42 as per SMP)</td> </tr> </tbody> </table> <p>As the required number of bicycle spaces have been provided, a planning permit to waive the requirements under Clause 52.34 is not required.</p> | Use | Employee rate | Required | Proposed | Visitor rate | Required | Proposed | Minor sports and recreation facility | 1 per 4 employees | 10 | 10 | 1 to each 200sqm of net floor area | 33 | 40 (42 as per SMP) |
| Use | Employee rate | Required | Proposed | Visitor rate | Required | Proposed | | | | | | | | | |
| Minor sports and recreation facility | 1 per 4 employees | 10 | 10 | 1 to each 200sqm of net floor area | 33 | 40 (42 as per SMP) | | | | | | | | | |
| Clause 53.18 – Stormwater Management in Urban Development | The purpose of this provision is <i>to ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.</i> In accordance with this Clause the proposal <u>must</u> meet all of the objectives and <u>should</u> meet all of the standards under Clause 53.18-5 and Clause 53.18-6. | | | | | | | | | | | | | | |

An assessment of the proposal against the relevant planning controls is discussed in detail under section 11 of this report.

6.0 REFERRALS

External Referrals

6.1 The application was referred to the following external authorities pursuant to Section 55 of the *Planning and Environment Act 1987*.

| Department | Section 52/55 | Determining / Recommending | Objection | Comments |
|--|---------------|----------------------------|-----------|---|
| Department of Energy, Environment and Climate Action (DEECA) | 55 | Determining | No | The application was initially referred to DEECA due to the original proposal seeking to remove native vegetation on Crown Land (Jack Grut |

| | | | | |
|---|------------------|-------------|-----|---|
| | | | | Reserve) as required by Clause 66.02-2. DEECA responded with no objection subject to permit conditions. However, following the amended application which now retains the native vegetation on the reserve, a referral to DEECA and their conditions are no longer required. A letter confirming this was provided from DEECA on 13 February 2024. |
| Melbourne Water | 55 | Determining | No | Subject to conditions included verbatim within the recommendation section of this report. Refer to conditions 6 to 14. |
| Department of Transport and Planning | 52 (notice only) | N/A | No | The authority responded with no concerns raised and no recommended conditions. |
| Moorabbin Airport | 52 (notice only) | N/A | N/A | No response provided. |
| South East Water | 52 (notice only) | N/A | No | Subject to conditions included verbatim within the recommendation section of this report. Refer to conditions 15 to 18. |
| Esso Australia/ExxonMobil | 52 (notice only) | N/A | No | Subject to conditions included verbatim within the recommendation section of this report. Refer to conditions 19 to 25. |

Internal Referrals

6.2 The application was referred to the following Council departments for comment:

| Department / Area | Comments / Rationale / Recommended Conditions |
|------------------------------------|---|
| ESD Specialist | No objection raised. The Officer confirmed that the proposal achieves a BESS score of 71% which is deemed as 'excellence'. |
| Development Advice Engineer | No objection raised, subject to conditions included on any permit issued relating to integrated stormwater management addressing both flooding and water sensitive urban design aspects and stormwater drainage. Refer to conditions 1 k), 30 and 31. |

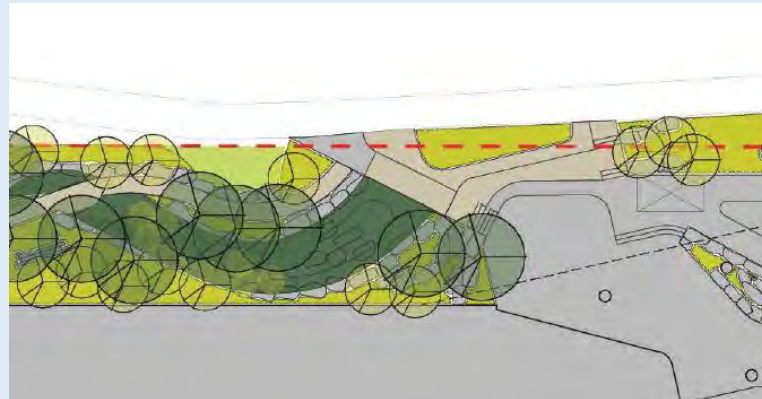
**City of Kingston
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| | |
|---|---|
| Roads and Drains | No objection raised, subject to conditions relating to crossover and related works within the adjoining Council road reserves. Refer to conditions 47 to 52. |
| Construction Management | No objection raised subject to the provision of a Construction Management Plan as a condition on any permit issued. Refer to condition 40. |
| Waste Management | No objection raised, noting the waste management plan submitted with the application is satisfactory. Nonetheless, a condition has been included should a permit issue to require the WMP to form part of the endorsed plans. Refer to conditions 41 and 42. |
| Vegetation Management Officer | <p>No objection raised, including in relation to the proposed vegetation removal (native and non-native). However, further changes to the landscape layout have been recommended to ensure the development is at the forefront of its landscaping response including urban heat mitigation. These changes include:</p> <ul style="list-style-type: none"> • Planting along the eastern boundary between the north-east corner of the building and the Wells Road boundary. • Additional canopy trees (50+) to be planted throughout the front car parking area. • An additional three (3) indigenous canopy trees to be planted adjacent to the staff car park on the eastern side of the building. • Tree protection requirements for the Southern Mahogany tree in the Wells Road setback. <p>The above changes are accepted and have been included as conditions on any permit issued (refer to conditions 1 l), m), n), 26 and 27 to 29).</p> |
| Urban Design (external consultant - Urbis) | <p>An independent review of the proposal was undertaken by an external Urban Design consultant (Urbis). The review offered support to the overall site layout, however some adjustments have been recommended. Each of these recommendations are listed below which have been responded to by the Planning Officer:</p> <ul style="list-style-type: none"> • <i>Landscaping density reduced in Zone 2 (western building setback) to enable clear sightlines to Jack Grut Reserve;</i> <p style="margin-left: 40px;">The proposed landscaping density within the western setback of the building is considered acceptable as several factors have informed this outcome. There is an expectation that the proposal provides extensive planting to mitigate urban heat together with enhancing biodiversity and landscape values of its open space surrounds. This is supported by planning policy and Council's own adopted policies for urban cooling. The planting within this setback contributes to the optimal green factor rating of 0.71. Further, the applicant has advised that the vegetation will provide a level of privacy that is expected from together with ensuring user comfort and amenity particularly from the glare and heat from the afternoon sun. The proposed vegetation will provide a balance of achieving sightlines to Jack Grut Reserve and being responsive to the needs of the proposed facility.</p> • <i>Better integrate the nature play space and path with the existing path on Jack Grut Reserve;</i> <p style="margin-left: 40px;">Due to the flooding impacts on the land, there is no further opportunity to integrate the nature play space with the existing</p> |

path on Jack Grut Reserve. There is also a privately owned slither of land between the aquatic centre and reserve on the southern portion of the proposed pathway which limits opportunities to integrate. The proposed elevated path will also provide an alternative means of travel between Mordialloc Creek and Jack Grut Reserve when the existing path is inundated by floodwaters. The nature play space and path will not be completely detached from this existing pathway as it will connect near the café terrace:



- **Further integrate the lobby and forecourt with the open space;**
It is considered that the proposed entry and forecourt layout provides acceptable integration with the adjoining open space. This area incorporates bicycle and pedestrian connections to the existing pathway, an outdoor café terrace, play based landscaping and ground/upper level glazing all with aspects towards the open space.
- **Extend forecourt and lobby towards the western boundary;**
Extending the forecourt and lobby towards the western boundary would result in a sharp drop in levels between the site and adjoining reserve given the flood freeboard requirements for the development. This drop in level would not allow for a seamless integration and accessibility between Jack Grut Reserve and centre. It is also noted that the north-west corner of the building has been deliberately splayed to enable sightlines between the carpark and western building setback to avoid obstructed and poorly surveyed areas. An extension to this corner will create hidden pockets of land, compromising on-site safety.
- **Increase universal access and legibility of ramps at the entry;**
Due to flood freeboard requirements, the proposed building will sit between 1-1.5m above natural ground level. As a result, access ramps are relatively long due to the significant level differences. The proposal is considered to provide sufficient legibility through its emphasised access integration with the overall landscape design rather than of utilitarian DDA appearance.
- **Increase activation / passive surveillance of warm water pool with modified screening;**
The applicant has indicated a preference to provide privacy and visual separation of the warm water pool to the car park. These

pools are generally used as a sanctuary of sorts where passive pool use in a peaceful and relaxing environment is preferred. Therefore, it is accepted that increased activation and surveillance is not warranted for this part of the building.

- ***The undercroft be reduced by 8m and floor to ceiling increased to 5m; and***

The applicant has responded outlining that changes to the undercroft is cost prohibitive and will impact on the operational objectives of the proposed facility, including an undesirable relocation of the gym. It is considered that the under-croft area, whilst extensive, will provide shading benefits to the café terrace, play based landscaping areas and indoor entry lobby. Therefore, its current layout is accepted.

- ***Further articulate the western elevation with vertical recesses and varied design elements.***

The applicant has provided further rationalisation for the architectural response outlining that the pool hall has been designed to be as efficient as possible with a focus on simplicity of the building envelope to avoid thermal bridging and condensation risk. It has also been noted that budget limitations have imposed the requirement for a streamlined design approach. This reasoning is accepted and is discussed in more detail under section 11.

- ***Elements like the highlight arches and vertical cladding with glazing behind in the northern portion of the building should be incorporated into the southern portion of the building.***

Incorporating these elements to the southern part of the building is considered unnecessary. These features on the northern part of the building assist in highlighting the main entry and forecourt area when viewed from Jack Grut Reserve.

- ***Colorbond cladding at the southern end of the building (sitting above and behind the scallop cladding) is recommended to be changed to a darker colour to be recessive in views.***

It is recommended that this change be incorporated via a permit condition (see condition 1 e)).



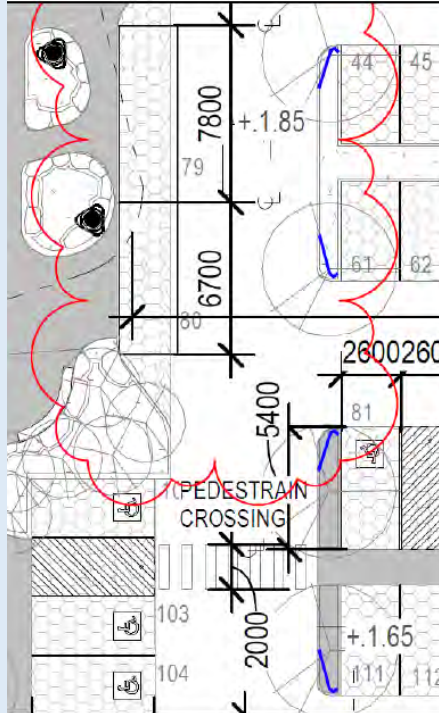
Southern end of western elevation

In addition to the responses provided above, a detailed discussion of the proposed design response is provided under section 11 of the report.

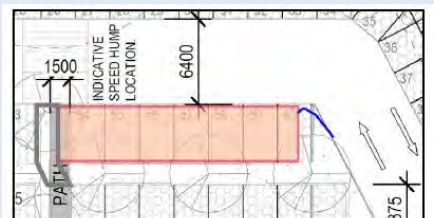
Traffic Engineering
 (external consultant - Salt3)

No objection, subject to conditions relating to post-development monitoring of parking overflows and traffic distribution. Additionally, design modifications to improve movements on-site have been recommended and responded to by Council Officers as follows:

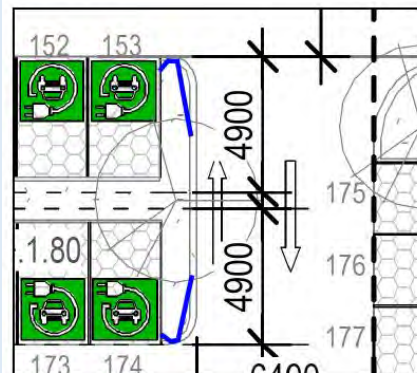
- **Increase radii of kerbs to allow vehicle passing around bends as depicted in the below diagrams:**



Longer tapers



Realign path, shift parking and provide curve radii



Longer tapers

| | |
|---|--|
| | <p>The above changes are accepted and have been conditioned accordingly on any permit issued (refer to condition 1 g).</p> <ul style="list-style-type: none"> • <i>Increase the scope of the drop off facility to improve circulation and provide further drop off bays.</i> <p>There is no further scope to provide further drop off bays without having implications to the design and layout of the proposed centre building.</p> <ul style="list-style-type: none"> • <i>Provision of vehicle overhang areas adjacent to the central pedestrian pathway to avoid the need for wheel stops and provide less chance of vehicles overhanging the main vehicle accessway.</i> <p>There is no further scope to provide vehicle overhang areas without significant implications to the car parking layout and garden beds. The current arrangement is therefore considered acceptable on balance.</p> <ul style="list-style-type: none"> • <i>Further detailed design for the proposed speed humps.</i> <p>This has been reflected as a condition on any permit issued (refer to condition 1 f).</p> |
| Ecologist (external consultant - Biosis) | <p>An independent review of the initial Native Vegetation Report was undertaken by an external Ecologist (Biosis). The peer review confirmed that the Sweet Pittosporum tree at 1-7 Wells Road does not form part of a 'patch' or 'scattered' tree and subsequently no offset requirements. No concerns were raised with respect to this tree's removal. The Ecologist highlighted that another tree (Crimson Bottlebrush) on the site is a Victorian native, however it is likely to be planted and therefore exempt from the considerations of Clause 52.17.</p> <p>It is noted that the scope of the peer review also included the native vegetation removal on Jack Grut Reserve which is no longer proposed. Nevertheless, no concerns were raised with the removal of this vegetation.</p> |

7.0 ADVERTISING

- 7.1 The proposal was advertised by sending notices to adjoining and opposite property owners and occupiers and by maintaining several notices on site for at least fourteen (14) days. This is further detailed in the below maps:



Location of signs placed on-site



Extent of properties that were sent a notice

7.2 Although separate from formal notice, the applicant sent out a communications bulletin to the project mailing list for interested community members. This was circulated during the advertising period.

7.3 Following notice, one objection was received which was latter unconditionally withdrawn. As such there are no objections to the application.

8.0 PLANNING CONSULTATION MEETING

8.1 In accordance with Council’s Planning Consultation Meeting Policy, no meeting was required as (less than 6) objections to the application were received. However, as required by the Policy, Council’s Planning Officer contacted the objector via email with their concerns relayed back to the applicant. The applicant arranged a meeting with the objector to discuss their concerns which was followed by a written response to the concerns raised. Following these discussions and written response, the objector responded and subsequently withdrew their objection on 18 January 2024.

9.0 AMENDMENTS UNDER SECTION 50 / 50A / 57A OF THE ACT

9.1 The application was amended on 22 November 2023 pursuant to Section 50 of the *Planning and Environment Act 1987*. The amended application was lodged in response to Council’s RFI letter and comments from Council’s Vegetation Officer and Traffic Engineer peer review including:

- Amendments to kerb alignments including bus drop-off kerb alignment.
- Additional short stay/drop-off car space adjacent to accessible parking bays.
- The 3 parking spaces nearest to the Governor Road access point dedicated for staff parking only.
- The Wells Road access point changed from a one way to two way access arrangement.
- Location of pool blankets.
- Inclusion of lightweight canopies over the ground entrance and staff bicycle storage area.
- 300mm increase to the parapet height along the eastern façade of the warm water pool.

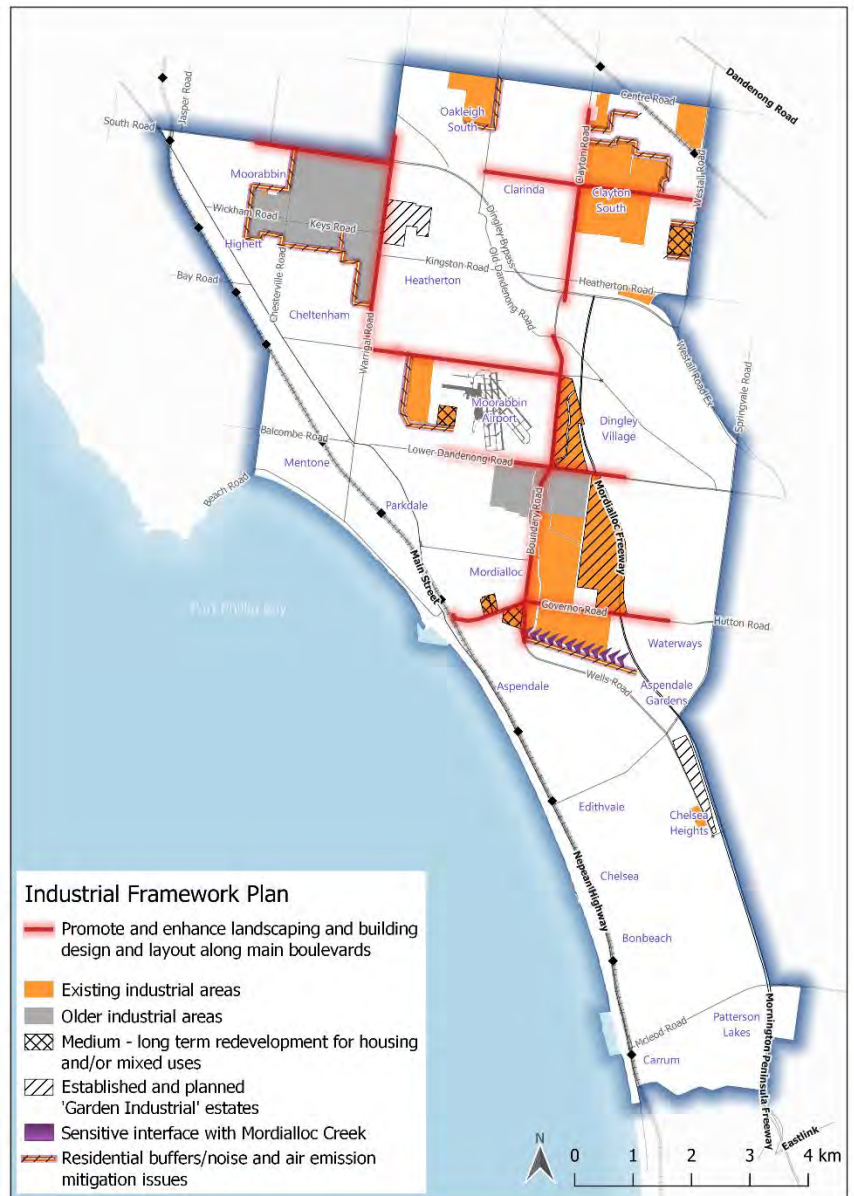
9.2 The application was amended on 13 February 2024 pursuant to Section 57a of the *Planning and Environment Act 1987*. The amended application was lodged in response to concerns raised from Council’s Vegetation Officer with the extent of vegetation removal on Jack Grut Reserve. The amended application now seeks to retain all vegetation on Jack Grut Reserve. Consequently, the only native vegetation to be removed is the sole Sweet Pittosporum on 1-7 Wells Road.

10.0 PLANNING POLICY

| PPF / LPP policy | Clause | Policy outline |
|-----------------------------|--|---|
| Municipal planning strategy | Clause 02.03 – Strategic directions | Clause 02.03 outlines the strategic directions for various land uses and development throughout Kingston including issues of settlement, environmental and landscape values, environmental risks and amenity, natural resource management, built environment and heritage, economic development, transport and infrastructure. These issues are detailed within the relevant policy of the Planning Policy Framework. |

Clause 02.04 – Strategic framework plans

Under this Clause, the City of Kingston's Industrial Framework Plan identifies the subject site within an existing industrial area earmarked for medium-long term redevelopment for housing and/or mixed use. The Plan also seeks improvements to the Governor Road interface through enhanced landscaping and building design/layout.



Response: The proposal is consistent with the medium to long term mixed use vision for the industrial area as identified in the Industrial Framework Plan. The proposal has also adequately responded to its street interface with Governor Road via its high quality landscaping.

Planning Policy Framework

Clause 11 – Settlement

Clause 11 broadly seeks to ensure planning anticipates and responds to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure. Planning is to prevent environmental and amenity problems created by siting incompatible land uses close together. Planning is to facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services.

**Clause 12 –
Environmental
and Landscape
values**

Clause 11.03-1L-01 (Activity Centres – Kingston) applies to all activity centres throughout Kingston including Mordialloc Activity Centre. Under this policy, it is sought to consolidate a mix of land use and development including cultural, social and commercial land use within the borders of existing activity centres.

Response: Although the proposed facility will be located outside of the Mordialloc Activity Centre, it is generally located along its perimeter. The subject land has been selected due to its large size, limited sensitive abuttals and adjacent open space networks. These opportunities are generally not available within established activity centres. Therefore, the proposal is appropriately located and will support the ongoing function of nearby Mordialloc Activity Centre.

Clause 12.01-1S – Protection of biodiversity seeks to assist the protection and conservation of Victoria's biodiversity. *Clause 12.01-1L – Protection of biodiversity – Kingston* and *Clause 12.01-2L – Native vegetation management – Kingston*. A strategy under Clause 12.01-1L is to retain and replant vegetation cover where possible and under Clause 12.01-2L to retain existing native vegetation wherever possible.

Clause 12.01-2S – Native vegetation management seeks 'To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation'. Further to this, the strategies in achieving this objective are detailed as follows:

Ensure decisions that involve, or will lead to, the removal, destruction or lopping of native vegetation, apply the three-step approach in accordance with the Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, 2017):

- *Avoid the removal, destruction or lopping of native vegetation.*
- *Minimise impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.*
- *Provide an offset to compensate for the biodiversity impact from the removal, destruction or lopping of native vegetation.*

Clause 12.03-1S (River and riparian corridors, waterways, lakes, wetlands and billabongs) seeks to protect and enhance waterway systems with several strategies incorporated to support this objective including (as relevant):

- *Protect the environmental, cultural, landscape values of all waterway systems as significant economic, environmental and cultural assets.*
- *Conserve waterway systems and the landscapes and environmental values surrounding them by protecting ecological values, indigenous vegetation, terrestrial and aquatic habitats and encouraging biodiversity.*
- *Sensitively design and site development to maintain and enhance the waterway system and the surrounding landscape setting, environmental assets, and ecological and hydrological systems.*

- *Address the impacts of use and development on drought and flooding events at a catchment and site scale to protect the health and natural function of waterway systems and their surrounding landscape and environment.*
- *Protect geomorphology, bank stability and flood management capacity to strengthen the environmental value and health of waterway systems by:*
 - *Retaining, enhancing and re-establishing indigenous riparian vegetation along waterway systems, ensuring it responds to the bushfire risk of a location.*
 - *Enhancing and re-establishing both terrestrial and aquatic habitats and their linkages along and surrounding waterway systems.*
 - *Limiting earthworks in proximity to waterway systems to minimise alterations to geomorphology, natural drainage, natural flows and water quality.*
- *Facilitating the restoration of waterway systems through the removal of weeds, invasive species and pests.*

Enhance a sense of place and landscape identity by:

- *Conserving areas of identified Victorian Aboriginal cultural heritage significance relating to waterway systems.*
- *Retaining and re-establishing vegetation, including grasslands and canopy trees, surrounding waterway systems to enhance and connect to the landscape setting, ensuring it responds to the bushfire risk of a location.*
- *Protecting existing topographic features and maintaining a sense of naturalness through sensitive design and siting.*

Retain and enhance the recreation and amenity values along waterway systems by:

- *Planning for surrounding green spaces as recreation and tourism resources without adversely impacting environmental values and flood management capacity.*
- *Protecting and enhancing parklands for their economic, social and environmental values.*
- *Protecting and enhancing public access to waterway systems and surrounding parklands.*
- *Enhancing existing and providing new green links, pedestrian and cycle connections and open space.*
- *Discouraging privatisation of spaces that interface with or provide access to waterway systems.*

- *Avoiding overshadowing of waterway systems, their banks and adjacent public open space.*
- *Promoting safety by maximising visibility and passive surveillance and providing good connections and access.*

Design and site development to maintain and enhance the natural environment of waterway systems by:

- *Minimising the visual intrusion of development on the natural landscape views from major roads, bridge crossings, public open space, recreation trails and within waterway systems themselves.*
- *Ensuring development is visually subordinate to the local landscape setting, including through the use of vegetation to filter views of development.*
- *Ensuring development adjacent to waterways adopts high quality materials and respectful design and siting.*
- *Avoiding impeding the natural flow of waterways and future flood events.*
- *Directing growth to established settlements where water and wastewater can be managed.*

Clause 12.05-1S (Environmentally sensitive areas) and Clause 12.05-2S (Landscapes) together seek to protect and enhance areas of environmental sensitivity and significant landscapes and open space particularly those that contribute to character and recreational values. This includes Port Phillip Bay and its foreshore.

Response: The proposed removal of native vegetation (one tree) will have a negligible impact on the biodiversity and landscape values of the site and surrounding land. The proposal has also adequately demonstrated that it has avoided and minimised native vegetation removal through its retention of vegetation in Jack Grut Reserve and the Southern Mahogany tree in the Wells Road frontage. It is noted that there are no offset requirements for the proposed removal.

The proposal will feature a significant replanting scheme, enhancing existing ecological and landscape outcomes for the land and adjacent reserve and Mordialloc Creek. This replanting scheme has been designed to integrate with existing landscape themes effectively creating an extension to the creek and reserve. A new pedestrian link will also be provided along the western side of the site, improving connections between Mordialloc Creek and Jack Grut Reserve. The built form has also been designed to complement its surrounds and avoid visual intrusion on surrounding land.

**Clause 13 –
Environmental**

Clause 13 aims to ensure that planning adopts a best practice environmental management and risk management approach which

**Risks and
Amenity**

aims to avoid or minimise environmental degradation and hazards. Further, planning should identify and manage the potential for the environment, and environmental changes, to impact upon the economic, environmental or social well-being of society. Planning should ensure that development and risk mitigation does not detrimentally interfere with the important natural process as well as preparing for and responding to the impacts of climate change.

Clause 13.01-1S (Natural hazards and climate change) seeks to minimise the impacts of hazards and adapt to the impacts of climate change through risk-based plan. Relevant strategies to achieve this objective include:

- *Respond to the risks associated with climate change in planning and management decision making processes.*
- *Site and design development to minimise risk to life, health, property, the natural environment and community infrastructure from natural hazards.*

Clause 13.01-2S (Coastal inundation and erosion) recognises the need to plan for and manage sea level rises and its risk and impact to coastal regions. As part of this planning, new land use and development at risk should be appropriately designed and managed to mitigate this impact and ensure such development does not cause detrimental impact on coastal processes.

Clause 13.03-1S (Floodplain management) seeks to assist in the protection of:

- *Life, property and community infrastructure from flood hazard.*
- *The natural flood carrying capacity of rivers, streams and floodways.*
- *The flood storage function of floodplains and waterways.*
- *Floodplain areas of environmental significance.*

Under this provision, flood risk is required to be considered in land use planning decisions, to avoid intensifying the impacts of flooding through inappropriately located uses and/or developments. The provisions of this Clause effect through the LSIO controls of the site.

Clause 13.05-1S (Noise management) seeks to protect sensitive land uses from noise impacts of new development. This is achieved through avoidance or siting and design to minimise such impacts.

Clause 13.07-1S (Land use compatibility) seeks to protect health, safety and amenity from new land use and development and to ensure new proposals are appropriately designed and located to be compatible with other nearby uses.

Response: The proposal has been designed to respond to the challenges associated with climate change including achieving exemplary sustainable design, promoting urban cooling via extensive landscaping and canopy tree planting and mitigating

**Clause 14 –
Natural
Resource
Management**

against flooding risks including rising sea levels. Due to physical buffers and land use separation, the proposal will not have a detrimental impact on sensitive land uses. The proposal will significantly improve the amenity of the land and surrounding area and will provide a more suitable transition between industrial land and open space.

Clause 14.02-1L (Catchment planning and management – Kingston), the strategies contained within this clause are specific to Kingston. The need to provide adequate flood storage and improve stormwater management practices is a key objective in Kingston's land use planning as there are significant urban and non-urban areas in Kingston which are affected by flood risk. The limitations of the existing drainage system make it imperative that flood risk is considered in land use planning to avoid intensifying the impacts of flooding through inappropriately located uses and/or development. Strategies to achieve this includes (as relevant to this application):

- Avoid use and development that may generate significant adverse impacts on the performance of local waterways and the capacity of the local drainage system.
- Support water sensitive urban design treatment measures along
 - Braeside Park, the Edithvale wetlands, Mordialloc Creek and Patterson River estuary.
 - Industrial precincts including Moorabbin, Braeside and Clayton South.

Response: The design response has considered flooding impacts by allowing for both the passage of floodwaters whilst protecting the facility against flooding impacts through its setback to the creek and high floor levels. Water sensitive urban design is also incorporated into the landscape design along the Mordialloc Creek interface.

**Clause 15 –
Built
Environment
and Heritage**

In a broad sense, Clause 15 aims to ensure the role of urban design, building design, heritage and energy and resource efficiency in delivering liveable and sustainable cities, towns and neighbourhoods. Furthermore, it aims that all new land use and development appropriately responds to its landscape and character, valued built form and cultural context, and protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.

Clause 15.01-1S (Urban Design) aims to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity. The objectives of *Clause 15.01-2S (Building Design)* seek to achieve building design outcomes that contribute positively to the local context and enhance the public realm. The provisions of *Clause 15.02-1S* encourage land use and development that is energy and resource efficient through improved building design, urban consolidation and promotion of sustainable transport.

Clause 15.01-2L (Environmentally Sustainable Development) policy applies to the consideration of non-residential development with a gross floor area of more than 2499 square metres (refer to Table 1 – ESD Application requirements). As required, the application for

planning permit was accompanied by a Sustainability Management Plan/Green Travel Plan (Bess/Green Star/MUSIC/STORM).

Clause 15.03-2S (Aboriginal Cultural Heritage) seeks to ensure the protection and conservation of places of Aboriginal cultural heritage significance.

Response: The proposal achieves high quality urban design that is responsive to its physical and policy context and its community focus. The facility will achieve exemplary sustainable design, exceeding minimum requirements of BESS.

The Subject Land is identified in an area of Aboriginal Cultural Heritage Sensitivity. The proposed activity is not exempt under the *Aboriginal Heritage Regulations 2018* and therefore the permit applicant was required to prepare and submit a cultural heritage management plan (CHMP) to Council. Accordingly, a cultural heritage management plan has been prepared by a qualified cultural heritage advisor and submitted to Council. Importantly, the plan has been approved by the Registered Aboriginal Party (Bunurong Land Council Aboriginal Corporation). The approved plan contains the results of an assessment of the potential impact of the proposed activity on Aboriginal cultural heritage. Further, it outlines measures to be taken before, during and after the activity in order to manage and protect Aboriginal cultural heritage in the activity area.

**Clause 17 –
Economic
Development**

Clause 17 (Economic Development) strives to provide a strong and innovative economy with policy objectives focused on diversification, improving accessibility to employment opportunities, providing development that meets the community's needs for retail, entertainment, office and other commercial services.

The policies of *Clause 17.02-2S (Out-of-centre development)* seek to manage out-of-centre development including recreational facilities. Under this policy, it is discouraged for single use recreational facilities to be located outside of activity centres with a preference for these to be located in or on the border of an activity centre. Where out-of-centre development is proposed, it must be ensured that such proposals will provide a net community and regional benefit.

Clause 17.03-1L (Industrial land supply in Kingston) applies to the land identified within the Industrial Framework Plan at Clause 02.04. The policy emphasises the protection of industrial land in Kingston from inappropriate and incompatible land uses and development.

Response: The facility will provide significant economic, social and community benefits to the local and regional area. Although located within an industrial area and will be 'out-of-centre', the proposal is well suited for its location particularly given its direct connection to existing open space and in an area earmarked for mixed use in the medium to long term future.

**Clause 18 –
Transport**

Clause 18.01 (Land use and transport) broadly aims to improve access to social, cultural and economic opportunities by integrating land use planning and transport. Emphasis is given to the provision of sustainable transport and designing to new development to encourage

the use of walking, cycling and public transport to minimise car dependency. This is further emphasised under the walking, cycling and public transport network policies of *Clause 18.02 (Movement networks)*.

Also relevant is the policy under *Clause 18.02-4S (Roads)* which seeks to facilitate an efficient and safe road network that integrates all movement networks and makes best use of existing infrastructure. Relevant strategies under this policy include planning an adequate supply of car parking based on anticipated demand and alternative transport modes, achieving high urban design standards, creating a safe environment for pedestrians and vehicles, role and capacity of nearby roads, efficient movement, protection of local amenity and encouraging the provision of electric charging facilities in public car parks.

Response: Sustainable transport is conveniently available to the site via bus routes on Governor Road and Boundary Road as well as pedestrian and bicycle networks along Jack Grut Reserve, Mordialloc Creek and Governor Road. With respect to private vehicles, the proposed facility will be primarily accessed via Governor Road which acts as an east-west connector between Mordialloc and Boundary Road and has the capacity for increased traffic generation. This connection will allow ease of access for visitors to the facility. It is acknowledged that car dependency should be discouraged under the policy, however it will be necessary to accommodate a large amount of parking on-site given the different user groups from a broader area. The car parking area has incorporated high quality urban design through landscaping, permeable surfaces and pedestrian treatments. Electric charging facilities are also to be provided within the car park.

**Clause 19 –
Infrastructure**

Clause 19-01-3S (Pipeline Infrastructure) is the relevant policy under the Scheme for the protection of existing pipeline infrastructure subject to the *Pipelines Act 2005*.

Response: The Long Island Point LPG Pipeline operated by Esso/ExxonMobil runs along the southern edge of Wells Road and into George Woods Reserve. The subject site sits within the buffer area to this pipeline. Esso/ExxonMobil were notified of the application and have responded with no objection subject to permit conditions (refer to conditions 19 to 25).

Clause 19.02-3S (Cultural facilities) seeks to develop a strong cultural environment and increase access to arts, recreation and other cultural facilities.

Clause 19.02-4S (Social and cultural infrastructure) seeks to provide fairer distribution and access to social and cultural infrastructure. Such strategies to support this objective include:

- *Identify and address gaps and deficiencies in social and cultural infrastructure, including additional regionally significant cultural and sporting facilities.*
- *Encourage the location of social and cultural infrastructure in activity centres.*
- *Ensure social infrastructure is designed to be accessible.*
- *Plan and design community places and buildings so they can adapt as the population changes and different patterns of work and social life emerge.*

Clause 19.02-6S (Open space) is the principal policy for open space in the Planning Scheme. The policy's objective to provide for and enhance public open space networks to meet the needs of the community. As relevant to the application, the strategies to support this objective include:

- *Ensure that open space networks:*
 - *Are linked, including through the provision of walking and cycling trails.*
 - *Incorporate, where possible, links between major parks and activity areas, along waterways and natural drainage corridors, connecting places of natural and cultural interest.*
 - *Maintain public accessibility on public land immediately adjoining waterways and coasts.*
- *Create opportunities to enhance open space networks within and between settlements.*
- *Ensure that land use and development adjoining regional open space networks, national parks and conservation reserves complements the open space in terms of visual and noise impacts, preservation of vegetation and treatment of waste water to reduce turbidity and pollution.*
- *Improve the quality and distribution of open space and ensure long-term protection.*
- *Ensure that urban open space provides for nature conservation, recreation and play, formal and informal sport, social interaction, opportunities to connect with nature and peace and solitude.*

- *Accommodate community sports facilities in a way that is not detrimental to other park activities.*
- *Ensure open space provision is fair and equitable with the aim of providing access that meets the needs of all members of the community, regardless of age, gender, ability or a person's location.*
- *Develop open space to maintain wildlife corridors and greenhouse sinks.*
- *Ensure exclusive occupation of parkland by community organisations is restricted to activities consistent with management objectives of the park to maximise broad community access to open space.*
- *Ensure the provision of buildings and infrastructure is consistent with the management objectives of the park.*
- *Ensure public access is not prevented by developments along stream banks and foreshores.*
- *Ensure public land immediately adjoining waterways and coastlines remains in public ownership.*
- *Plan open space areas for multiple uses, such as community gardens, sports and recreation, active transport routes, wildlife corridors and flood storage basins.*

Response: The proposed facility will fill the gap that was made following the closure of Dot Tatnell Leisure Centre in 2020. The facility will provide state of the art recreational and social infrastructure to the local and regional area. Together with this new infrastructure, the development has been sited and designed to integrate with adjacent existing open space, enhancing connectivity, activation and landscape and biodiversity values. The proposal effectively extends upon the existing open space and publicly accessible land.

Clause 19.03-3S (Integrated Water Management) sets out the objective of sustainably managing water supply and demand, water resources, wastewater, drainage and stormwater through an integrated water management approach. Strategies to achieve this include:

- *Plan and coordinate integrated water management, bringing together stormwater, wastewater, drainage, water supply, water treatment and re-use, to:*
 - *Take into account the catchment context.*
 - *Protect downstream environments, waterways and bays.*
 - *Manage and use potable water efficiently.*
 - *Reduce pressure on Victoria's drinking water supplies.*
 - *Minimise drainage, water or wastewater infrastructure and operational costs.*

- *Minimise flood risks.*
- *Provide urban environments that are more resilient to the effects of climate change.*
- *Manage stormwater quality and quantity through a mix of on-site measures and developer contributions at a scale that will provide greatest net community benefit.*

Clause 19.03-3L (Integrated water management) for Kingston encourages the use of water sensitive urban design, including stormwater re-use and to ensure new developments contribute to the upgrading of local drainage infrastructure, where the development will impact on the capacity of such infrastructure. Furthermore, it seeks to ensure that buildings and works do not increase or divert overland flows causing increased flooding on adjacent properties.

At a local level, *Clause 19.03-3L-02 (Stormwater Management)* is applicable to the consideration of large scale developments (new building gross floor area greater than 1000 square metres). This clause seeks to improve the quality and reduce the impact of stormwater run-off, incorporate the use of WSUD principles in development and to ensure that developments are designed to meet best practice performance objectives.

Response: The development has been designed to manage stormwater including through stormwater re-use, water sensitive urban design and water quality treatment. The application was referred to Melbourne Water and Council's Development Approvals Engineer who both offered support to the proposal, subject to permit conditions (see conditions 1 k, 6 to 14, 30 and 31).

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| General Provision | Clause 65 – Decision Guidelines <p>Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:</p> <ul style="list-style-type: none">• <i>The matters set out in section 60 of the Act.</i>• <i>Any significant effects the environment, including the contamination of land, may have on the use or development.</i>• <i>The Municipal Planning Strategy and the Planning Policy Framework.</i>• <i>The purpose of the zone, overlay or other provision.</i>• <i>Any matter required to be considered in the zone, overlay or other provision.</i>• <i>The orderly planning of the area.</i>• <i>The effect on the environment, human health and amenity of the area.</i>• <i>The proximity of the land to any public land.</i>• <i>Factors likely to cause or contribute to land degradation, salinity or reduce water quality.</i>• <i>Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.</i>• <i>The extent and character of native vegetation and the likelihood of its destruction.</i>• <i>Whether native vegetation is to be or can be protected, planted or allowed to regenerate.</i>• <i>The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.</i>• <i>The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.</i>• <i>The impact the use or development will have on the current and future development and operation of the transport system.</i> <p>Response: The proposal adequately addresses the above decision guidelines as outlined throughout this report.</p> |
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11.0 ASSESSMENT

Appropriateness of use

11.1 The proposal will provide a significant community benefit to the local and broader Kingston area, offering a district level recreational and leisure facility incorporating a 50 m pool, leisure pool, learn to swim pool, warm water pool, sauna and steam rooms and gym. This centre

- will largely fill the gap formed after the 2020 closure of the 'Don Tatnell Leisure Centre' in Parkdale and complement the existing 'Waves Leisure Centre' in Highett.
- 11.2 Although the land is zoned for industrial purposes, the site's transformation from a warehouse/industrial use to a community leisure and recreation facility will improve the existing amenity of the area and offers a more complementary transition between the conflicting industrial land and open space. The centre will add to the recreational and leisure facilities that already exist on the adjoining Jack Grut Reserve and Mordialloc Creek corridor including formal sporting amenities and walking/cycling networks. In accordance with the Kingston Industrial Framework Plan under Clause 02.04 of the Kingston Planning Scheme, the site is identified within an industrial area earmarked for medium term redevelopment including for mixed uses (see section 10). The proposal is consistent with this strategic direction.
- 11.3 As detailed above, there will be negligible amenity impacts from the proposed use given its distance and buffers from the nearest sensitive land uses. The proposed use is also unlikely to experience any detrimental effects from the adjoining industrial land uses to the east. The proposed use has been designed to incorporate its back of house facilities and non-sensitive activities on the eastern side. The main entrance, pool and gym facilities are located on the opposite side of the building, away from the industrial interface. It is also likely that the surrounding industrial area will undergo land use changes to be more mixed as sought by the Industrial Framework Plan. This is already occurring within the industrial area to the north-west of the site, which comprises of food and drink premises, retail, indoor recreation facilities and office.
- 11.4 The proposed operating hours between 6am and 9pm are considered appropriate given the separation and buffer to the nearest sensitive land use. Given the flexibility required to operate a facility of this nature a condition will be added to the permit allowing the use to operate between the hours of 5am and 10pm 7 days a week. These hours and the level of activity generated by the proposed use will enhance user safety and surveillance to the area particularly along to the reserve and creek. The hours are generally consistent with the 'Waves Leisure Centre' in Kingston which also operates between these hours.
- 11.5 The use will be connected to services and where upgrades are required, this will be undertaken in accordance with the relevant service authority. Further, the drainage of the land and stormwater management has been considered by Council's Development Approvals Engineer who has offered support for the proposal subject to permit conditions including provision of a stormwater management plan and drainage strategy that addresses water sensitive urban design and flooding impacts (refer to conditions 1 k), 30 and 31).

Design response and urban design

- 11.6 The proposal has been designed to appropriately respond to its surrounding mixed context, particularly taking advantage of its abuttal to open space and biodiversity networks.
- 11.7 The north-south orientation of the land and the requirement to accommodate a range of facilities within the centre, limits the building footprint to a long continuous form and in part, reduced boundary setbacks where the undercroft extends to the west boundary. As a result, the proposal will be highly prominent when viewed from Jack Grut Reserve and to some extent, travelling west-ward on Governor Road. Although this prominence may create some visual bulk to the adjoining reserve, it is noted that the proposal has also been deliberately designed to play a central role in the surrounding landscape to support its purpose as a key community asset and landmark for the City of Kingston.

Mordialloc Creek and Jack Grut Reserve interface

- 11.8 As outlined under section 3 of the report, the site is uniquely situated adjacent to Jack Grut Reserve to the west and Mordialloc Creek to the south. These interfaces offer an opportunity for the proposal to interact and activate these spaces particularly as it forms contiguous public land. The proposal has appropriately considered these interfaces through the following design features:

- Orientation of the café, outdoor terrace, main entry, landscaped forecourt and upper level gym in the north-east part of the building/site, looking out towards Jack Grut Reserve and existing shared user path.
- Direct pedestrian and bike connections to the site from the existing shared user path in Jack Grut Reserve, including bicycle parking facilities.
- Extensive glazing along the western ground floor elevation providing views to and from Jack Grut Reserve.
- Elevated terrace and boardwalk within the western setback which offers visual and landscaped connections with the reserve.
- Southern landscaped setback which has been deliberately designed to provide flora and fauna connections to Mordialloc Creek.



Perspective from Jack Grut Reserve

Street interface

- 11.9 The proposal's street setback features the main car park and primary vehicle access point to the facility, taking advantage of its abuttal to Governor Road, which is identified as a significant municipal road (Transport Zone 3). The car park is extensive covering the entirety of the 72 m building setback from Governor Road, albeit necessary given the likely visitor demand of the proposed facility.
- 11.10 Ideally the car park would be sited so it is subordinate to the main building (i.e. side or to the rear) however given the unique opportunities to integrate the building and its associated landscaped setbacks with the adjoining reserve and creek, the positioning of the car park is considered acceptable.
- 11.11 Additionally, the car park has been designed to minimise its visual impact to the public realm together with promoting urban cooling through extensive canopy tree plantings between car spaces and along the front boundary and permeable paving to car spaces. Council's Vegetation Officer has also recommended additional plantings by way of permit conditions (refer to condition 1 l).
- 11.12 A large utility facility is proposed in the north-east corner of the land, directly adjacent to Governor Road. This facility includes water meter assembly, fire booster cabinet and a separate area consisting of a diesel pump and fire water break tank enclosed by a 1.8 m high chain wire mesh fence. Given these services are required to be positioned adjacent to the street frontage, it is considered acceptable in this location. Small and large tree planting is proposed around the perimeter of the enclosed diesel pump/fire tank area to screen its appearance from the street. To further minimise their visual impact, it is recommended that the chain wire mesh fence be replaced with an alternative screen fence designed to blend in with the proposed centre building. It is also recommended that any screens/cabinetry proposed for the water meter assembly and fire booster also be designed to blend in with the proposal. These recommended changes have been reflected as conditions any permit issued (refer to conditions 1 c) and d).

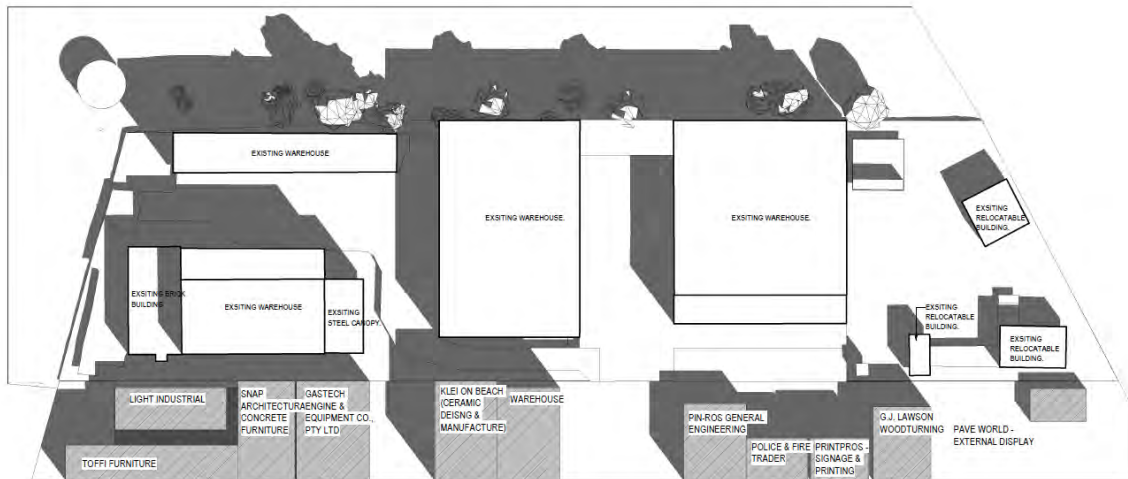
Industrial interface

- 11.13 The site's interface with industrial properties to the east enables the proposal to treat this side as the centre's 'back of house' area allowing for reduced boundary setbacks, access for loading vehicles, waste collection vehicles and buses, staff parking and services/utilities. The location of these facilities along the eastern side of the building ensures they will not be publicly visible.
- 11.14 A large rooftop plant area is also proposed on this side of the building. Although this plant area is in proximity to the eastern boundary, this interface comprises of non-sensitive industrial properties which mostly feature buildings on the shared boundary. Nevertheless, if any part of the plant area will be visible from these properties, it will have a negligible effect on the already reduced visual amenity of the industrial estate.
- 11.15 The application highlights the possibility for public artwork along the eastern elevation. Council Officer's consider the artwork to not be necessary from an urban design and planning perspective given the limited public visibility and non-sensitive industrial interface. However, if the operator wishes to voluntarily install the artwork, Council Officers have no objection.

Overshadowing

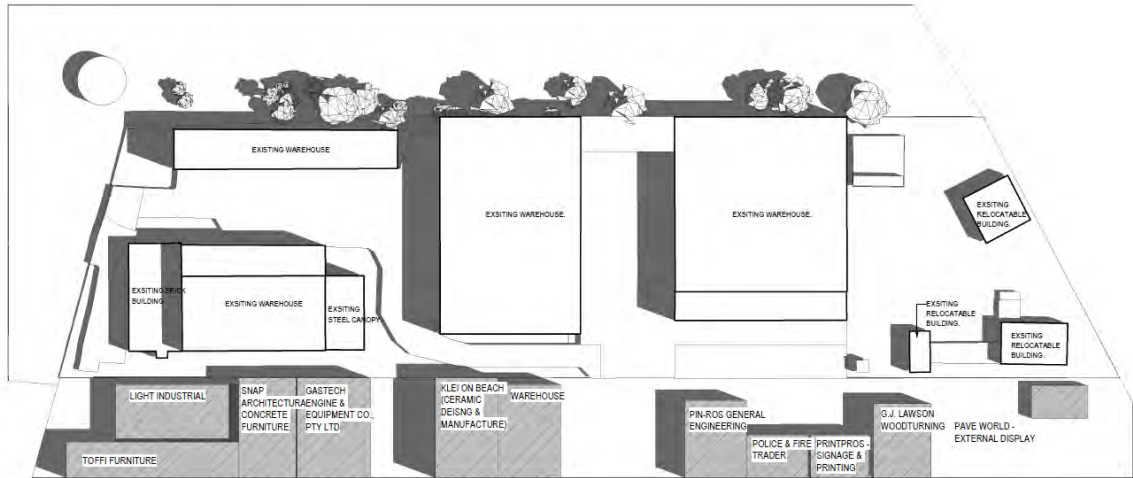
- 11.16 The proposal will not create any unreasonable overshadowing impacts to Jack Grut Reserve. Overshadowing to the reserve will be limited in the early to mid-morning before being unaffected after 11am. In the areas that will be impacted, these are already mostly shadowed by the existing dense vegetation on the eastern boundary of Jack Grut Reserve. It is also important to note that the previous industrial buildings on the land were built to the boundary and appeared to have created more shadows that what is proposed. It is further noted that there are no solar energy facilities on the rooftop of adjoining industrial buildings and proposed overshadowing would not prevent future facilities being installed.

Refer to the below shadow diagrams:



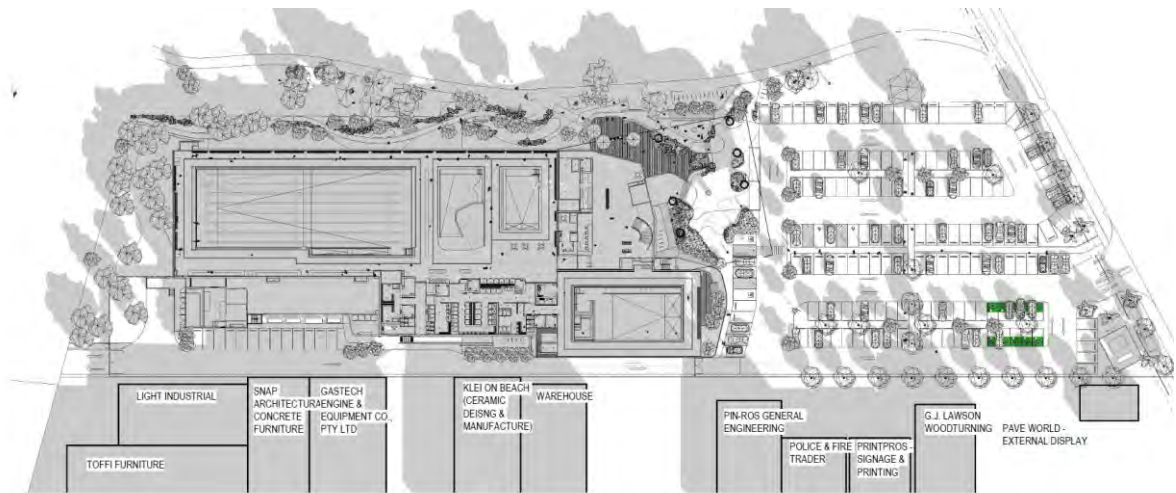
1 Existing Building Shadow Studies - Equinox 22 Sept - 9AM

9am (previous buildings)



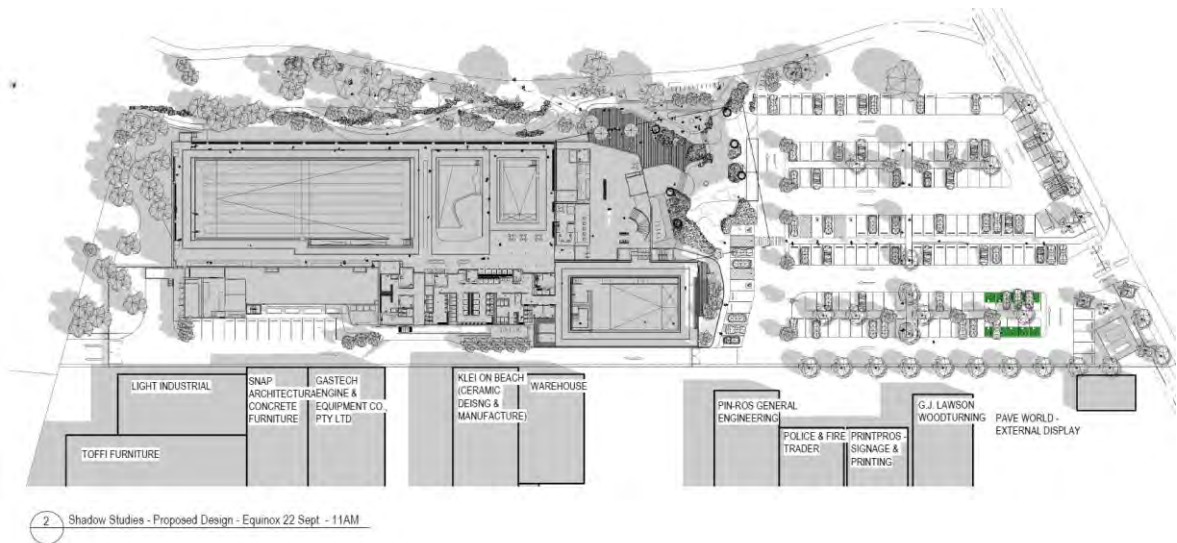
2 Existing Building Shadow Studies - Equinox 22 Sept - 11AM

11am (previous buildings)



1 Shadow Studies - Proposed Design - Equinox 22 Sept - 9AM

9am (proposed Aquatic Centre)



11am (proposed Aquatic Centre)

Building height

11.17 The development will reach 13 m at its highest point but will mostly sit under 11 m. The higher building elements are oriented to the west towards Jack Grut Reserve and will taper down on its eastern side towards the industrial properties. This proposed height is akin to a 3 storey building which is deemed proportionate for a site of 1.45 ha in area and of a scale with respect to the building's purpose.

Building setbacks

11.18 There are no sensitive land uses adjoining the site, allowing for reduced setbacks and a continuous building form along the length of the site. Boundary setbacks are mostly generous providing sufficient spacing and separation for visual relief as well as softening techniques through varied landscaping and outdoor treatments. Whilst the upper level/undercroft is setback only 2.27 m from the Jack Grut Reserve boundary, this is only for its north-west most point before it tapers in to a 10.8 m setback. The undercroft will accentuate the building entry whilst also offering a sheltered outdoor area for the landscaped forecourt and café terrace. Accordingly, the reduced setback is accepted and will positively contribute to the holistic architecture and design of the building.

Site coverage and landscaping

11.19 The development has a relatively low site coverage of 38.5%, noting that the nearby residential areas have a maximum coverage allowable of 50%. This low site coverage is complemented by extensive plantings within the front car parking area and each boundary setback, incorporating different landscaping themes and indigenous plantings to respond to its natural surrounds. The layout and extent of landscaping is supported by Council's Vegetation Officer subject to additional plantings within the front car parking area and along the eastern boundary (refer to condition 1 I). These changes will further mitigate against urban heat to the extensive parking and driveway areas.

Architecture

11.20 The proposal incorporates high quality architecture through its bronze 'scalloped' metal cladding profile creating articulation and visual interest whilst emphasizing its civic purpose. Its bronze finish will be sympathetic to its surrounding natural landscape. It is noted that the scalloped cladding has also deliberately considered passive solar design via the vertical shading fins.

Sustainable design

- 11.21 To respond to both the relevant Planning Scheme policy and Council's overarching *Climate and Ecological Emergency Response Plan (2021)*, the proposal has been designed to be achieve exemplary sustainable design. The proposal will achieve a BESS score of 71 which is rated as 'Excellence'. This has been achieved by incorporating the following sustainable features:
- Commitment to an all-electric, net-zero carbon emission ready, development
 - Solar PV system of at least 331kW
 - High performance low-E double glazing
 - Optimised external shading system to reduce solar gain, especially on the north and west facades.
 - Rainwater harvesting and re-use system with total capacity of 150,000L connected to toilets and pool top up.
 - Significant landscaping, raingardens and permeable paving areas which contributes to urban cooling on-site and improved stormwater quality. A green factor rating of 0.72 has been achieved, exceeding the generally accepted 0.55 desirable rating.
 - EV charging stations to 5% of car spaces, with provision to extend to 25% of car spaces.
 - 42 bicycle parking spaces for visitors, and 10 for staff.
 - Innovations of:
 - Reclaimed pool water used for toilet flushing;
 - eWater system for cleaning;
 - 90% of construction and demolition waste to be diverted from landfill;
 - Building designed and tested for airtightness;
 - 'Acoustic Comfort Strategy' developed;
 - Adopting inclusive construction practices;
 - Conducting air-quality testing; and
 - 20% of all interior finishes will be supplied with a verified industry-wide or third party environmental certification.
- 11.22 The application was referred to Council's ESD Specialist who responded with no objection, confirming that the proposal achieves exemplary sustainable design. Discussions with the ESD Specialist noted that additional bicycle parking may be required on-site to adequately claim the bicycle parking credit within BESS. This has been reflected as a condition on any permit issued (refer to conditions 32 and 33).

Amenity impacts

- 11.23 There will be minimal detrimental impacts to the amenity of the area from the proposed use and development and will instead improve the amenity of the area particularly given the zoning and previous use for industrial purposes.
- 11.24 The closest sensitive land use to the subject land is 'Epsom Estate' to the north opposite Governor Road. Although the estate is approximately only 50 m away from the subject site at its closest point, it is separated by Governor Road and a raised landscaped bund approximately 27 m wide at its narrowest. The proposed centre building is setback another 72 m resulting in a combined distance of 122 m to the residential properties. The distance together with the raised landscape and road buffers provides suitable protection to the residential area from any detrimental amenity impacts from the proposal.

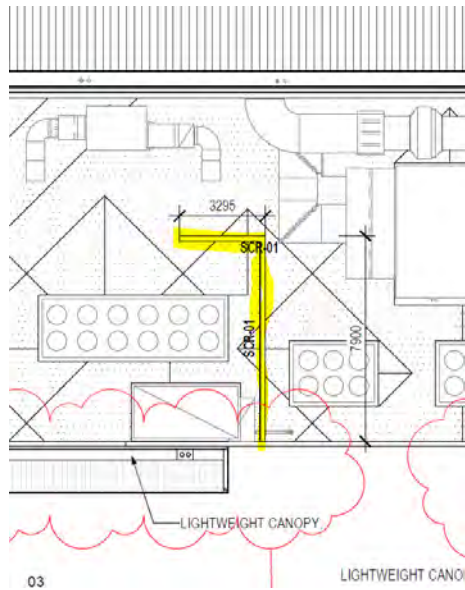


Distance between subject land and residential properties in red and minimum width of raised buffer in green (source – Nearmaps)

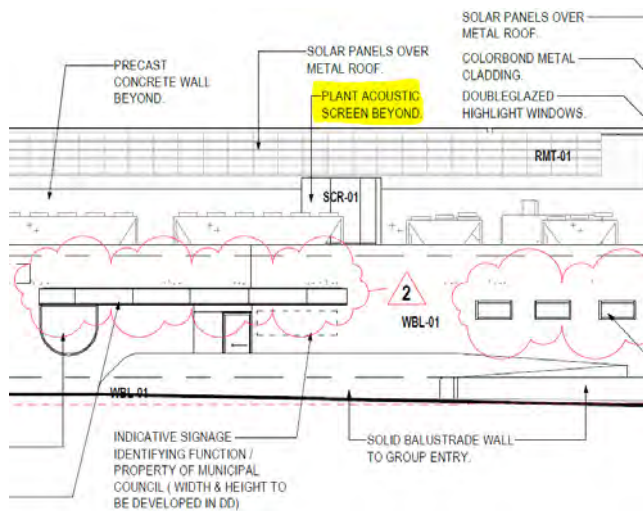


Existing raised vegetated buffer on the north side of Governor Road

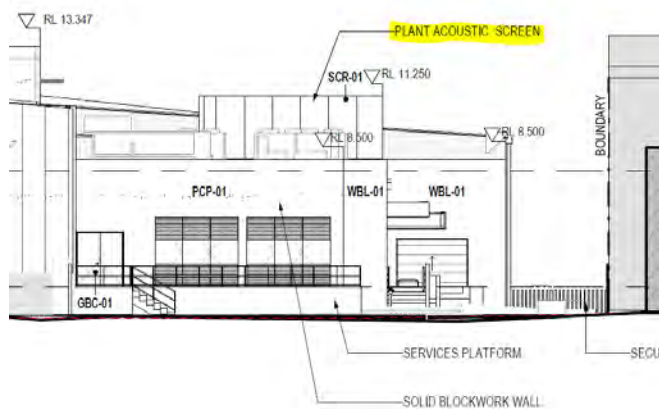
- 11.25 An environmental noise assessment accompanied the application and considered the potential noise impacts from proposed rooftop mechanical plant equipment, fire emergency utilities on the front boundary and delivery/waste collections. No issues were raised within this assessment with only minor mitigation measures recommended including provision of a 3.75 m high solid barrier near the heat pumps on the roof plant area. This has been reflected on the plans and is shown in the images below. It is recommended that the assessment form part of endorsed plans as a condition on any permit issued (refer to conditions 45 and 46).



Plan view



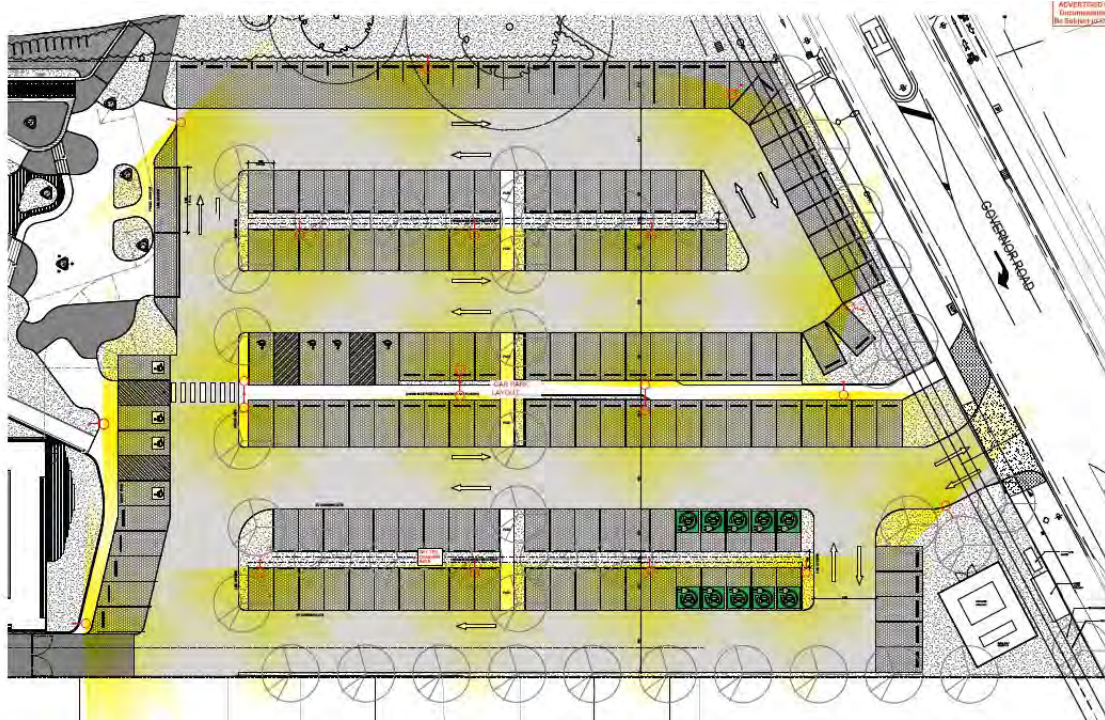
Eastern view



South view

11.26 External lighting is proposed throughout the front car parking area and building setbacks to the east, south and west boundaries, ensuring on-site safety and way finding for visitors and staff at night. The below plans illustrate the proposed lighting scheme and the lighting extent.

11.27 As detailed in the accompanying lighting assessment (prepared by 'Introba'), lighting will be designed so it does not cause glare and spillage to surrounding areas particularly to the residential interface to the north. Lighting temperatures, sensors, dimming control and positioning have also been carefully designed to minimise its impact to wildlife at night. A condition has been included to require the lighting assessment and plan to form part of endorsed plans. Refer to conditions 43 and 44.



Front lighting plan extracted from Lighting Assessment prepared by 'Introba'



Rear lighting plan extracted from Lighting Assessment prepared by 'Introba'

Car parking and traffic

- 11.28 As detailed under section 10 of the report, the proposal has no set car parking rate with parking to be provided to the satisfaction of the Responsible Authority. A total of 179 car spaces are to be provided on-site including 12 spaces to the eastern side of the building and 167 spaces in the front setback. As part of this parking provision, there will be 143 standard spaces, 15 dedicated for staff, 8 for accessible parking, 3 drop off spaces and 10 electric vehicle charging spaces.
- 11.29 The application was accompanied by a Transport Impact Assessment (TIA), prepared by 'OneMileGrid'. The TIA analysed case studies and empirical assessments of other gymnasiums and aquatic centres. The TIA concluded that the expected car parking demand generated from the proposal (combining the aquatic and gymnasium uses) is 192 spaces occurring in the late afternoons on a weekday. This would result in a shortfall of 13 spaces, necessitating a reliance on off-site parking. The TIA also evaluated available off-site parking to accommodate this overflow during peak periods. This found that at least 21 parking spaces were available in the 90 degree parking strip along Wells Road reviewed across 5 weekday dates.



Aerial image of Wells Road parking extracted from Traffic Impact Assessment prepared by OneMileGrid

- 11.30 It was also noted within the TIA that the proposed short channelised right-turn lane on Governor Road will remove 10 on-street parking on its northern side. However, it was determined that these spaces are not typically used and their removal is unlikely to cause a detrimental impact on the overall parking supply in the area.
- 11.31 The applicant's TIA has been reviewed by an external Traffic Engineer (Salt3) during the referral process of the application. The independent peer review has determined that the on-site parking provision is appropriate, considering the applicant's analysis and its own analysis of parking requirements at similar leisure centres (including Waves Leisure Centre) that generated parking demands in the range of 86-178 spaces. During busy periods, there might be some overflow onto Wells Road and Governor Road, but there is enough space to manage this overflow. It was also noted that ideally additional on-site parking spaces would alleviate congestion during peak hours when drivers struggle to find available spots. Strategies such as mandating off-site parking for staff through temporary parking restrictions could be implemented to address this issue and can be evaluated after the completion of the development. Accordingly, it is recommended that a condition be included on any permit

issued to require an evaluation of parking demands 6 months from the commencement of the use (refer to condition 54).

- 11.32 With respect to traffic generation and existing capacity of the road networks, the proposal raises no significant concerns. Modifications will be undertaken to the line-marking on Governor Road, providing a short right-turn lane into the site allowing for continued traffic flows on Governor Road. Detailed design of the line-marking and any associated works have not been provided with the application and as such it is recommended that a condition be included on any permit issued to require plans showing this further detail (refer to condition 1 a). These modifications will be required to be undertaken prior to the use commencing and accordingly has been reflected as a condition on the permit (refer to condition 53). It has also been raised through the peer review that motorists turning right out of the site are likely to face delays at peak times which would exceed recommended guidelines. As such, it has been recommended that traffic conditions be monitored post-development to ascertain the need for mitigating measures. This has been reflected as a condition on any permit issued (refer to condition 54).
- 11.33 Car parking and accessways have generally been designed in accordance with the design standards of Clause 52.06-9 of the Kingston Planning Scheme. It is recommended by way of permit conditions that detailed design be provided for the speed control devices and modifications made to accessways to improve vehicle movements (refer to conditions 1 f) and g).

Land Subject to Inundation Overlay (LSIO)

- 11.34 The purpose of this overlay control is:
- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
 - *To identify flood prone land in a riverine or coastal area affected by the 1 in 100 (1 per cent Annual Exceedance Probability) year flood or any other area determined by the floodplain management authority.*
 - *To ensure that development maintains the free passage and temporary storage of floodwaters, minimises flood damage, responds to the flood hazard and local drainage conditions and will not cause any significant rise in flood level or flow velocity.*
 - *To minimise the potential flood risk to life, health and safety associated with development.*
 - *To reflect any declaration under Division 4 of Part 10 of the Water Act, 1989.*
 - *To protect water quality and waterways as natural resources by managing urban stormwater, protecting water supply catchment areas, and managing saline discharges to minimise the risks to the environmental quality of water and groundwater.*
 - *To ensure that development maintains or improves river, marine, coastal and wetland health, waterway protection and floodplain health.*
- 11.35 Further to the above purpose, before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:
- *The Municipal Planning Strategy and then Planning Policy Framework*
 - *Any local floodplain development plan.*
 - *Any comments from the relevant floodplain management authority.*
 - *The existing use and development of the land.*
 - *Whether the proposed use or development could be located on flood-free land or land with a lesser flood hazard outside this overlay.*
 - *Alternative design or flood proofing responses.*
 - *The susceptibility of the development to flooding and flood damage.*
 - *The potential flood risk to life, health and safety associated with the development.*
 - *Flood risk factors to consider include:*
 - *The frequency, duration, extent, depth and velocity of flooding of the site and accessway.*

- *The flood warning time available.*
 - *Tidal patterns.*
 - *Coastal inundation and erosion.*
 - *The danger to the occupants of the development, other floodplain residents and emergency personnel if the site or accessway is flooded.*
 - *The effect of the development on redirecting or obstructing floodwater, stormwater or drainage water and the effect of the development on reducing flood storage and increasing flood levels and flow velocities.*
 - *The effect of the development on river, marine and coastal health values including wetlands, natural habitat, stream stability, erosion, environmental flows, water quality, estuaries and sites of scientific significance.*
 - *Any other matters specified in a schedule to this overlay.*
- 11.36 As required under the LSI0 controls, the application has been referred to the relevant floodplain management authority (Melbourne Water) and this authority has offered 'no objection' to the proposal subject to the following conditions:
- Prior to the endorsement of plans under this permit, amended documentation to the satisfaction of Melbourne Water must be submitted to and approved by Melbourne Water to include:
 - a) A Cut and Fill Balance Plan with a target for development to maintain 40% open space for flow storage (existing flood storage excludes footprints of existing buildings). The plan must include volume calculations for cut and fill demonstrating that earthworks achieve a volume of cutting within the floodplain that is equivalent to or greater than the volume of filling. When approved the Cut and Fill Balance Plan will form part of the permit. All earthworks must be carried out in accordance with the Cut and Fill Balance Plan.
 - b) The preparation of a Flood Emergency Response Plan to be endorsed under this permit.
 - The Finished Floor Levels (FFLs) of all ground floor areas, including all main entry, reception, kiosk, kitchen, pool rooms, change rooms, aquatic plant and storage, must be set no lower than 3.0 metres to Australian Height Datum (AHD), with the exception of transitional areas containing landings, steps or ramps to the satisfaction of Melbourne Water.
 - The layout of buildings and works as shown on the plans must not be altered without prior written consent from Melbourne Water.
 - The open space areas within the property must generally maintain similar levels to existing, so as not to adversely impact passage and storage of flood waters. Cut/fill must not result in a net loss of flood storage and follow the accepted cut and fill balance plan. No retaining walls or other similar obstructions are to be used in the development of this land with the exception of ramping to transitional areas to facilitate access.
 - All proposed decking, alfresco and/or stairs must be constructed with unenclosed foundations, remain open underneath for the life of the structure and steps contain no vertical risers, for the passage of overland flows.
 - Any new fencing or gates must be of an open/permeable style (minimum 50% permeable) to allow for the passage of floodwater.
 - Prior to the issue of an Occupancy Permit under the Building Act, 1993 the owner of the Land must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 with Melbourne Water. All costs associated with the setting up of the agreement must be borne by the owner/permit holder. The agreement must be registered on the title of the Land and must provide, to the satisfaction of the Responsible Authority for:

- a) the owner(s) of the land to implement the Flood Emergency Response Plan (or any updated version) endorsed under this permit, which has been approved by the Responsible Authority and Melbourne Water Corporation.
 - b) the owner(s) of the land to maintain all flood related measures identified in the Flood Emergency Response Plan and this permit in good working condition.
 - c) details of any works that are required on Jack Grut Reserve to balance the impacts of the proposed development to ensure any future ownership / exchange of the reserve does not alter the combined floodplain storage of both the subject site and the reserve.
- Prior to commencement of construction, a Site Environmental Management Plan (SEMP) must be produced and adopted on-site. The SEMP must address the following:
 - Sediment and silt management controls
 - Vegetation management techniques
 - Spoil stockpiling
 - Machinery/Plant locations
 - Exclusion fencing around native vegetation/habitat
 - Prior to the commencement of works, a separate application direct to Melbourne Water must be made for any new or modified storm water connection to Melbourne Water's drains or watercourses. Any modified connection to Mordialloc Creek must describe any changes to the volume and velocity of flow as a result of development so that this can be assessed.
- 11.37 The PPF objectives as set down in the Kingston Planning Scheme are satisfied by virtue of the land's identification as being affected by a LSIO and by obtaining referral comments and support from the floodplain management authority.
- 11.38 Considering the 'no objection' referral comments received, it is considered that the proposal is reasonable and warrants support (subject to the inclusion of the above permit conditions – refer to conditions 6 to 14).

Easement removal

- 11.39 The purpose of Clause 52.02 (Easements, restrictions and reserves) is as follows:
- To enable the removal and variation of an easement or restrictions to enable a use or development that complies with the planning scheme after the interests of affected people are considered.*
- 11.40 Before decision on an application, the responsible authority must consider the interest of affected people.
- 11.41 The application has been referred to Council's Development Approvals Engineer who manages drainage infrastructure. Council's Engineer held no objection to the removal of the easements as it was confirmed that there are no Council assets within the easements. All surrounding properties have their stormwater discharge to the existing Council drainage system on adjacent streets. It is further noted that no objections from adjoining properties were received during notice of the application.
- 11.42 In light of the above, the proposed easement removal satisfies the decision guidelines and purpose of Clause 52.02.

Native vegetation removal

- 11.43 The purpose of Clause 52.17 – Native Vegetation is described as follows:

*To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. This is achieved by applying the following three step approach in accordance with the **Guidelines for the removal, destruction or lopping of native***

vegetation (Department of Environment, Land, Water and Planning, 2017) (the Guidelines):

1. *Avoid the removal, destruction or lopping of native vegetation.*
2. *Minimise impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.*
3. *Provide an offset to compensate for the biodiversity impact if a permit is granted to remove, destroy or lop native vegetation.*

To manage the removal, destruction or lopping of native vegetation to minimise land and water degradation.

11.44 In accordance with Clause 52.17-1, a planning permit is required to remove native vegetation. An application to remove native vegetation must comply with the application requirements specified in the *Guidelines*.

11.45 It is noted that the applicant relies on the ‘planted’ exemption under Clause 52.17 for some of the native vegetation being removed on the land, namely the vegetation on the proposed Aquatic Centre site (1-7 Wells Road). This vegetation is considered ‘planted’ due to their planting location along the boundaries of the site and species not being naturally occurring. Therefore, this vegetation satisfies the exemption under Clause 52.17-7 which reads:

Native vegetation that is to be removed, destroyed or lopped that was either planted or grown as a result of direct seeding.

11.46 The submitted Native Vegetation Assessment (prepared by ArborSurvey) accompanying the application is considered to address the relevant application requirements. The permit applicant outlines the type of native vegetation to be removed, the condition score of native vegetation and confirms the assessment pathway required by the Guidelines.

11.47 The application requires a basic assessment pathway due to the site being located within Location 1 and the extent of vegetation removal is less than 0.5 ha (0.031 ha proposed).

Table 3: Determining the assessment pathway

| Extent of native vegetation | Location category | | |
|--|-------------------|--------------|------------|
| | Location 1 | Location 2 | Location 3 |
| Less than 0.5 hectares and not including any large trees | Basic | Intermediate | Detailed |
| Less than 0.5 hectares and including one or more large trees | Intermediate | Intermediate | Detailed |
| 0.5 hectares or more | Detailed | Detailed | Detailed |

11. If the native vegetation to be removed does not meet the definition of a patch or a scattered tree outlined in section 3.1, the application is considered in the Basic Assessment Pathway.

3. Location Risk Map



11.48 The permit applicant submitted a basic assessment pathway as required under the guidelines including the site-based data which generates a native vegetation removal report, an avoid and minimise statement and offset requirements under the Guidelines. It is noted offset requirements are not applicable under Clause 52.17-5.

11.49 The decision guidelines under Clause 52.17-4 states ‘before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider the decision guidelines specified in the Guidelines as appropriate.’ The applicable decision guidelines (*Guidelines for the removal, destruction or lopping of native vegetation*) together with the planning officer’s assessment is provided below:

| Number | Decision Guideline | Response |
|--------|---|---|
| 1 | <p><i>Efforts to avoid the removal of, and minimise the impacts on, native vegetation should be commensurate with the biodiversity and other values of the native vegetation and should focus on areas of native vegetation that have the most value. Taking this into account consider whether:</i></p> <ul style="list-style-type: none"> • <i>the site has been subject to a regional or landscape scale strategic planning process that appropriately avoided and minimised impacts on native vegetation</i> • <i>the proposed use or development has been appropriately sited or designed to avoid and minimise impacts on native vegetation</i> • <i>feasible opportunities exist to further avoid and minimise impacts on native vegetation without undermining the key objectives of the proposal.</i> | <p>The avoid and minimisation statement contained within the native vegetation report prepared by ‘ArborSurvey’ is sufficient. The applicant has satisfactorily demonstrated that efforts to avoid and minimise the loss of native vegetation has been undertaken. In particular, the application was amended to retain all vegetation on Jack Grut Reserve following concerns from Council’s Vegetation Officer with the extent of removal including that of high retention value trees. The loss of native vegetation is now contained to one (1) tree reducing the loss from previously 0.073 ha to now 0.031 ha. There are no feasible opportunities to avoid the removal of the tree without undermining the layout of the proposed facility. Significant replanting will occur within the setback to Wells Road, enhancing the site’s landscaping</p> |

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| Number | Decision Guideline | Response |
|----------|--|--|
| | | outcomes particularly to Mordialloc Creek. |
| 2 | <p><i>The role of native vegetation to be removed in:</i></p> <ul style="list-style-type: none"> • <i>Protecting water quality and waterway and riparian ecosystems, particularly within 30 metres of a wetland or waterway in a special water supply catchment area listed in the Catchment and Land Protection Act 1994.</i> • <i>Preventing land degradation, including soil erosion, salination, acidity, instability and water logging particularly:</i> <ul style="list-style-type: none"> - <i>where ground slopes are more than 20 per cent</i> - <i>on land which is subject to soil erosion or slippage</i> - <i>in harsh environments, such as coastal or alpine areas.</i> • <i>Preventing adverse effects on groundwater quality, particularly on land:</i> <ul style="list-style-type: none"> - <i>where groundwater recharge to saline water tables occurs</i> - <i>that is in proximity to a discharge area</i> - <i>that is a known recharge area.</i> | <p>The site is not within any special water supply catchment areas listed in the <i>Catchment and Land Protection Act 1994</i>.</p> <p>The removal of one tree will not have any impacts on soil erosion and groundwater quality.</p> |
| 3 | <p><i>The need to manage native vegetation to preserve identified landscape values.</i></p> | <p>Whilst the site does not have any identified landscape values within policy or legislation, such as a VPO or ESO, it is acknowledged that the land is effectively contiguous with Jack Grut Reserve and Mordialloc Creek which provides a riparian corridor and contains biodiversity and landscape values.</p> <p>The amount of native vegetation to be removed is 0.031ha which will have a negligible impact to Jack Grut Reserve and Mordialloc Creek. The proposed replanting of the site particularly within the southern and western setbacks of the centre will significantly enhance the biodiversity and landscape values for the reserve and creek. Over 200 trees are to be planted and indigenous species have been carefully selected to respect the surrounding environment.</p> |
| 4 | <p><i>Whether any part of the native vegetation to be removed, destroyed or lopped is protected under the Aboriginal Heritage Act 2006.</i></p> | <p>No vegetation subject to this application is protected under the <i>Aboriginal Heritage Act 2006</i>.</p> |
| 5 | <p><i>The need to remove, destroy or lop native vegetation to create defensible space to</i></p> | <p>Not applicable.</p> |

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| Number | Decision Guideline | Response |
|-----------|---|--|
| | <i>reduce the risk of bushfire to life and property, having regard to other available bushfire risk mitigation measures.</i> | |
| 6 | <i>Whether the native vegetation to be removed is in accordance with any Property Vegetation Plan that applies to the site.</i> | Not applicable. |
| 7 | <i>Whether an offset that meets the offset requirements for the native vegetation to be removed has been identified and can be secured in accordance with the Guidelines.</i> | There are no offset requirements from the proposed native vegetation removal as it does not meet the definition of a patch or scattered tree as set out under section 3.1 and 5.1 of the <i>Guidelines</i> . This has been confirmed from both the Ecologist peer review and Council's Vegetation Officer. |
| 8 | <p><i>For Clause 52.16 applications, consider in relation to the native vegetation to be removed:</i></p> <ul style="list-style-type: none"> • <i>The purpose and objectives of the Native Vegetation Precinct Plan.</i> • <i>The effect on any native vegetation identified for retention in the Native Vegetation Precinct Plan.</i> • <i>The potential for the effectiveness of the Native Vegetation Precinct Plan to be undermined.</i> • <i>The potential for the proposed development to lead to the loss or fragmentation of native vegetation identified for retention in the Native Vegetation Precinct Plan.</i> • <i>Offset requirements in the Native Vegetation Precinct Plan.</i> | Not applicable. |
| 9 | <p><i>For applications in both the Intermediate and Detailed Assessment Pathway only – consider the impacts on biodiversity based on the following values of the native vegetation to be removed:</i></p> <ul style="list-style-type: none"> • <i>The extent.</i> • <i>The condition score.</i> • <i>The strategic biodiversity value score.</i> • <i>The number and circumference of any large trees.</i> • <i>Whether it includes an endangered Ecological Vegetation Class.</i> • <i>Whether it includes sensitive wetlands or coastal areas.</i> | Not applicable has not been identified as a 'Intermediate or Detailed Assessment Pathway'. |
| 10 | <p><i>For applications in the Detailed Assessment Pathway only – consider the impacts on habitat for rare or threatened species. Where native vegetation to be removed is habitat for rare or threatened species according to the Habitat importance maps, consider the following:</i></p> <ul style="list-style-type: none"> • <i>The total number of species' habitats.</i> | Not applicable as the proposal has not been identified as a 'Detailed Assessment Pathway'. |

| Number | Decision Guideline | Response |
|--------|--|----------|
| | <ul style="list-style-type: none"> • <i>The species habitat(s) that require a species offset(s).</i> • <i>The proportional impact of the native vegetation removal on the total habitat for each species, as calculated in section 5.3.1 of the Guidelines.</i> • <i>The conservation status of the species (per the Advisory Lists maintained by DELWP).</i> • <i>Whether the habitats are highly localised habitats, dispersed habitats, or important areas of habitat within a dispersed species habitat.</i> | |

12.0 CONCLUSION

12.1 The proposed Aquatic Centre will provide a significant benefit to the Kingston community and to the wider region. It achieves excellence in functionality and design including adopting exemplary environmentally sustainable design, engaging landscaping and green infrastructure and high-quality urban design.

12.2 As outlined above, it has been determined that prior to deciding on this application, all factors pursuant to Section 60(1) of the Act have been considered. Further to this, the proposal does not give rise to any significant social or economic effects.

12.3 The proposed use and development are considered appropriate for the site as evidenced by:

- The design and siting of the proposed development to be compatible with the surrounding area and responsive to the site itself.
- The proposal should not have a detrimental impact on surrounding properties (subject to appropriate conditions).
- The proposal satisfies the requirements of the Kingston Planning Scheme, including the PPF, strategic vision, zoning / overlay controls and Particular Provisions.

13.0 RECOMMENDATION

That the Planning Committee determine to support the proposal and issue a planning permit to **Use and develop the land for a leisure and recreation facility (Aquatic Centre), removal of easements, removal of native vegetation and associated works** at No. 1-7 Wells Road and 60-68 Governor Road (Jack Grut Reserve), Mordialloc subject to the following conditions:

Amended Plans

1. Before the use and development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and an electronic copy must be provided. The plans must be generally in accordance with the plans prepared by 'Co-Op Studio', project no. 100329, Revision 1 (dated 19/10/2023) – TP402, TP406, TP501, TP993-996 inclusive and Revision 2 (dated 21/11/2023) – TP100-102 inclusive, TP201-203 inclusive, TP401 and TP997, but modified to show:
 - a) Full details of all road works and signage associated with the right turn vehicle movement from Governor Road to the site;

- b) Updated plans to reflect all vegetation on Jack Grut Reserve to be retained and any consequential layout changes;
- c) The chain wire mesh fence enclosing the fire water break tank and diesel pump replaced with screening that is designed to blend in with the proposal;
- d) Any screens/cabinetry proposed for the water meter assembly and fire booster at the front boundary to be designed to blend in with the proposal;
- e) Colorbond cladding at the southern end of the building (sitting above and behind the scallop cladding) to be changed to a darker colour to appear recessive;
- f) Detailed design of proposed speed control devices within the car park with such devices designed so they do not conflict with the pedestrian pathways and become a pedestrian safety hazard;
- g) Kerb radii to be adjusted to accommodate improved passing within the car parking areas;
- h) Bicycle parking provisions to exceed the minimum requirements of Clause 52.34 (Bicycle facilities) by more than 50% as claimed in the BESS assessment;
- i) A plan of easement removal prepared by a licensed land surveyor;
- j) A detailed colour materials and finish schedule for all proposed external elevations, accessways, car parking, pathways, fencing, screening and any external structures and surfaces;
- k) A comprehensive stormwater management (drainage) strategy of the site that addresses both the flooding and water sensitive urban design requirement aspects as specified within Council's "Civil Design requirements for Developers – Part A: Integrated Stormwater Management" including the following:
 - i. Flood modelling of the pre and post development scenarios incorporating the entire development site and contributing catchments is required to demonstrate that the proposal does not increase flood levels, or flood extents on adjacent roads and properties;
 - ii. This assessment must be undertaken for a range of flood events, i.e. the 1% AEP, 10% AEP and 20% AEP in accordance with the Melbourne Water Technical Specifications for flood mapping;
 - iii. a report with MUSIC model output and a drainage concept plan incorporating Rainwater Tanks for water reuse and/or other Water Sensitive Urban Design Treatments to achieve best practice objectives must be prepared as per Council's "*Civil Design Requirements for Developers - Part A - Integrated Stormwater Management*" to the satisfaction of the Responsible Authority.
- l) the provision of amended landscape plans in accordance with the submitted Landscape Plan Set Zones 1-6 LSD000-LSD219 prepared by Site Image Landscape Architects (*Date: 20.11.2023, Rev. D*), with such plans to be prepared by a suitably qualified landscape professional to the satisfaction of the Responsible Authority and incorporating:
 - i. A survey, including, botanical names of all existing trees to be retained or removed on the site including Tree Protection Zones for trees to be retained calculated in accordance with AS4970-2009;
 - ii. A survey including botanical names, of all existing trees on neighbouring properties where the Tree Protection Zones of such trees calculated in accordance with AS4970-2009 fall partially within the subject site;
 - iii. Suitable climbing plant species to be planted at the base of all undercroft pillars;
 - iv. Structural Soils or Dirty Rocks or similar to be installed beneath car parking spaces to a minimum depth of 1metre;
 - v. Tree grates finishing flush with car park surrounds or similar treatment to be installed at the base of any canopy trees where required in lieu of garden bed provision within northern car park;
 - vi. Indigenous fastigiate/columnar trees to be planted along the eastern boundary adjacent neighbouring warehouses;

- vii. Car park canopy trees to be spaced adequately to provide contiguous canopy cover at maturity;
- viii. Eight (8) indigenous canopy trees capable of reaching a minimum mature dimension of 8 metres in height and 5 metres in width to be planted within the central garden bed of the western car park island located in the northern car park;
- ix. Eleven (11) indigenous canopy trees capable of reaching a minimum mature dimension of 8 metres in height and 5 metres in width to be planted on alternating sides of the central north-south path located within the central car park bays within the northern car park;
- x. Ten (10) indigenous canopy trees capable of reaching a minimum mature dimension of 8 metres in height and 5 metres in width to be planted within the central garden bed of the eastern car park island located in the northern car park;
- xi. Two (2) indigenous canopy trees capable of reaching a minimum mature dimension of 8 metres in height and 5 metres in width to be planted adjacent to each east-west pedestrian path located centrally in the west and east car park islands and central car park bays within the northern car park;
- xii. Two (2) indigenous canopy trees capable of reaching a minimum mature dimension of 12 metres in height and 6 metres in width to be planted within each garden bed located at the northern and southern end of each car park island within the northern car park;
- xiii. One (1) indigenous canopy tree capable of reaching a minimum mature dimension of 12 metres in height and 6 metres in width to be planted within each garden bed located either side of the north-south central pedestrian path located at the southern end of the central car parking bays of the northern car park;
- xiv. A minimum of four (4) indigenous canopy trees capable of reaching a minimum mature dimension of 15 metres in height and 10 metres in width to be planted east of the Governor Road driveway along the driveway and northern boundary;
- xv. A minimum of five (5) indigenous canopy trees capable of reaching a minimum mature dimension of 15 metres in height and 10 metres in width to be planted west of the Governor Road driveway within close proximity to the driveway entry and northern boundary;
- xvi. A minimum of four (4) indigenous canopy trees capable of reaching a minimum mature dimension of 12 metres in height and 6 metres in width to be planted along the northern boundary west of the Governor road driveway entry;
- xvii. Four (4) indigenous canopy trees capable of reaching a minimum mature dimensions of 8 metres in height and 5 metres in width to be planted on the southern edge of car park spaces adjacent to the administration and warm water pool courtyard;
- xviii. Three (3) indigenous canopy trees capable of reaching a minimum mature dimension of 8 metres in height and 5 metres in width to be planted in the 'toppings' strip adjacent to the staff car park;
- xix. Details of fixings on undercroft pillars supporting climbing plants to be illustrated to scale and notated;
- xx. Details of tree grates or similar to be illustrated to scale and notated including materials, dimensions and installation methods;
- xxi. Details of permeable paving in car spaces to be illustrated to scale and notated including materials, dimensions and installation methods;
- xxii. Details of Structural Soils or Dirty Rocks or similar to be illustrated to scale and notated including materials, dimensions and installation methods;

- xxiii. Notes regarding site preparation, including the removal of all weeds, proposed mulch, soil types and thickness, subsoil preparation and any specific maintenance requirements;
- xxiv. Tree protection measures including for street trees accurately drawn to scale and labelled as per the endorsed Tree Management Plan;
- m) The location of tree protection measures illustrated to scale and labeled on the Ground Floor Plan as per the endorsed Tree Management Plan.
- n) Any changes as required by condition 27.

Endorsed Plans

- 2. The use, development, native vegetation removal and easement removal as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.
- 3. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority, including that any dead, diseased or damaged plants are to be replaced.

Cultural Heritage Management Plan

- 4. All works must be carried out in accordance with the Cultural Heritage Management Plan 18877 dated 9 June 2023 prepared by Ecology & Heritage Partners.

Operational restrictions

- 5. The use must operate only between the hours of:
Monday to Sunday: 5:00am to 10:00pm
Or otherwise as approved by the Responsible Authority in writing.

Melbourne Water requirements

- 6. Prior to the endorsement of plans under this permit, amended documentation to the satisfaction of Melbourne Water must be submitted to and approved by Melbourne Water to include:
 - a) A Cut and Fill Balance Plan with a target for development to maintain 40% open space for flow storage (existing flood storage excludes footprints of existing buildings). The plan must include volume calculations for cut and fill demonstrating that earthworks achieve a volume of cutting within the floodplain that is equivalent to or greater than the volume of filling. When approved the Cut and Fill Balance Plan will form part of the permit. All earthworks must be carried out in accordance with the Cut and Fill Balance Plan.
 - b) The preparation of a Flood Emergency Response Plan to be endorsed under this permit.
- 7. The Finished Floor Levels (FFLs) of all ground floor areas, including all main entry, reception, kiosk, kitchen, pool rooms, change rooms, aquatic plant and storage, must be set no lower than 3.0 metres to Australian Height Datum (AHD), with the exception of transitional areas containing landings, steps or ramps to the satisfaction of Melbourne Water.
- 8. The layout of buildings and works as shown on the plans must not be altered without prior written consent from Melbourne Water.
- 9. The open space areas within the property must generally maintain similar levels to existing, so as not to adversely impact passage and storage of flood waters. Cut/fill must not result in a net loss of flood storage and follow the accepted cut and fill balance plan. No retaining walls or other similar obstructions are to be used in the development of this land with the exception of ramping to transitional areas to facilitate access.

10. All proposed decking, alfresco and/or stairs must be constructed with unenclosed foundations, remain open underneath for the life of the structure and steps contain no vertical risers, for the passage of overland flows.
11. Any new fencing or gates must be of an open/permeable style (minimum 50% permeable) to allow for the passage of floodwater.
12. Prior to the issue of an Occupancy Permit under the Building Act, 1993 the owner of the Land must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 with Melbourne Water. All costs associated with the setting up of the agreement must be borne by the owner/permit holder. The agreement must be registered on the title of the Land and must provide, to the satisfaction of the Responsible Authority for:
 - a) the owner(s) of the land to implement the Flood Emergency Response Plan (or any updated version) endorsed under this permit, which has been approved by the Responsible Authority and Melbourne Water Corporation.
 - b) the owner(s) of the land to maintain all flood related measures identified in the Flood Emergency Response Plan and this permit in good working condition.
 - c) details of any works that are required on Jack Grut Reserve to balance the impacts of the proposed development to ensure any future ownership / exchange of the reserve does not alter the combined floodplain storage of both the subject site and the reserve.
13. Prior to commencement of construction, a Site Environmental Management Plan (SEMP) must be produced and adopted on-site. The SEMP must address the following:
 - Sediment and silt management controls
 - Vegetation management techniques
 - Spoil stockpiling
 - Machinery/Plant locations
 - Exclusion fencing around native vegetation/habitat.
14. Prior to the commencement of works, a separate application direct to Melbourne Water must be made for any new or modified storm water connection to Melbourne Water's drains or watercourses. Any modified connection to Mordialloc Creek must describe any changes to the volume and velocity of flow as a result of development so that this can be assessed.

South East Water requirements

Potable Water

15. The owner of the subject land must enter into an agreement with South East Water for the provision of drinking water supply and fulfill all requirements to its satisfaction.

Sewer

16. The owner of the subject land must enter into an agreement with South East Water for the provision of sewerage and fulfil all requirements to its satisfaction.

General

17. A sewerage supply easement is required over the existing 225mm South East Water sewer main located inside the North Boundary (Governor Road) to be in favour of South East Water Corporation pursuant to Section 12(1) of the Subdivision Act.
18. A suitable sized sewerage supply easement is required over the existing 225mm South East Water sewer main, inside the South Boundary (Wells Road, South/East Corner) to be in favour of South East Water Corporation pursuant to Section 12(1) of the Subdivision Act.

Esso Australia requirements

19. Actions from the Safety Management Study (SMS) and the ALARP assessment (2023-0006-REP-001).

**City of Kingston
Planning Committee Meeting**

Agenda

20 March 2024

- a) Installation of protective HDPE Slabbing directly above the pipeline for the area within 120m of the Aquatic Centre (~320m) by the Constructor for additional physical mitigation of identified risks and public safety per the ALARP assessment and SMS outcome.
- b) Final designs and a Construction Management Plan shall be prepared for Esso review prior to any works commencing on site,
- c) A Pre-Construction SMS shall be completed between the Constructor and Esso prior to any works commencing on site.

The conditions of the SMS outcome needs to be formally accepted by the Constructor and an agreement for the execution of these works to be in place to start of construction.

20. Identification of the Pipeline(s)

- a) Prior to the commencement of any works, the Applicant (in conjunction with a representative from Esso) must mark out the exact location of the pipeline(s) within the vicinity of the proposed development and incorporate the location within their detailed design information (where appropriate).

21. Asset Protection/Working near Pipelines

- a) Prior to the commencement of any site works, the Applicant (or their contractors) must notify Esso of the impending works. The notification should be lodged via Before You Dig Australia (BYDA).
- b) All site works shall comply with the conditions listed in Esso's "Standard conditions for activities near Esso Pipelines" form. The form can be obtained through lodgement of a BYDA over the Esso pipeline(s).
- c) Any proposed driveways and vehicle crossings over the pipeline(s) shall submitted to Esso for approval. Submissions shall include details of the proposed crossing (backfill materials, layout), the proposed depth of the pipeline(s) relative to surface level, type of vehicles likely to cross the pipeline(s) and method of construction.
- d) Any damage caused to the Esso pipeline(s) directly or indirectly arising from the works shall be rectified at the Applicant's cost.

22. Siting of Buildings, Structures and Fences

- a) Buildings and structures (including fences) must be constructed so that no part of the building is situated less than 3m from a point on the surface of the land whose position is vertically above a part of a pipeline below the surface unless approval has been granted in writing by the Esso and consent from the relevant Minister has been given.

23. Landscaping and Stores Placement

- a) Landscaping details of any landscaping to be located within close proximity to the easement / pipeline(s) are to be forwarded to Esso for review. Details to be submitted must include species and locations of trees to be planted, and details of any hardstand areas, including paved and concrete areas. A list of approved and restricted vegetation is contained with the Esso "Pipeline Vegetation Management" handbook which can be supplied upon request.
- b) No soil, overburden, equipment stores or trade waste shall be placed over the easement/pipeline(s).

24. Access to the Esso Pipeline must be maintained

- a) Esso requires unlimited access to the pipeline(s) at all times (i.e. during construction and post completion). No person should interfere with any works relating to the operation of the pipeline(s) without written Esso Approval.

- b) Unless agreed by Esso in writing, clear access at least 6m either side of the easement / pipeline(s) shall be maintained both during and after construction.

25. Restriction on Sensitive Land Uses

- a) 'Sensitive uses' can be recognized as land used by sectors of the community who may be unable to protect themselves from the consequences of a pipeline failure. Developments for sensitive land uses (defined in some jurisdictions, but include schools, hospitals, aged care facilities, prisons or similar) shall be restricted within the pipeline measurement length.
- b) Applications for sensitive use developments shall require approval by Esso subject to additional risk assessment and mitigation works. This works may include risk assessment (safety management) workshops, pipeline recoating, protective slabbing, emergency response planning construction safety management plan development and any other actions agreed as an outcome of the safety management study. These activities shall be at the Applicant's cost.

Trees to be retained

26. The retention of the *Eucalyptus botryoides* (Southern Mahogany) located centrally within the Wells Road setback approximately 3 metres from the southern boundary.

Tree Management and Protection Plan

27. Concurrent with the endorsement of plans, a Tree Management Plan prepared by a suitably qualified arborist in accordance with AS4970-2009, providing tree protection measures to ensure the viability of the *Eucalyptus botryoides* (Southern Mahogany) located within close proximity to the southern boundary and neighbouring trees within Jack Grut Reserve, must be submitted to and be endorsed by the Responsible Authority and incorporating:
- a) A Tree Management Plan (written report) must provide details of:
 - i. Tree protection measures that will be utilized to ensure all trees to be retained remain viable post-construction.
 - ii. Stages of development at which inspections are required to ensure tree protection measures are adhered to must be specified.
 - b) A Tree Protection Plan (scale drawing) must provide details of:
 - i. The Tree Protection Zone and Structural Root Zone for all trees to be retained on the site and for all trees on neighboring properties where any part of the Tree Protection Zone falls within the subject site.
 - ii. The location of tree protection measures to be utilized.
 - iii. A notation to refer to the Tree Management Plan.
28. All protection measures identified in the Tree Management Plan must be implemented, and development works undertaken on the land must be undertaken in accordance with the Tree Management Plan, to the satisfaction of the Responsible Authority.
29. Prior to the commencement of works, the name and contact details of the project arborist responsible for implementing the Tree Management Plan must be submitted to the Responsible Authority.

Stormwater Management and Water Sensitive Urban Design

30. Unless with prior written consent of the Responsible Authority, before the development commences the following Integrated Stormwater Management (drainage) documents must be prepared, by a suitably qualified person, to the satisfaction of the Responsible Authority:
- a) Detailed Stormwater Management (drainage engineering) Plan(s) must be prepared, with supporting computations, showing the stormwater (drainage) works to the nominated point of discharge in line with approved Stormwater Management

- (drainage) Strategy Report as per Condition 1 k) above. The plan(s) must show all details of the proposed stormwater works including all existing and proposed features that may have an impact on the stormwater (drainage) works, including landscaping details.
- b) The water sensitive urban design treatments to achieve Victorian Best Practice Objectives must be implemented on-site, unless an alternative agreement for stormwater quality in-lieu contribution is reached with the Responsible Authority.
31. Stormwater (drainage) works must be implemented in accordance with the approved stormwater management (drainage) plan and to the satisfaction of the Responsible Authority including the following:
- a) All stormwater (drainage) works must be provided onsite so as to prevent overflows onto adjacent properties, except overflow of major storm event overland flows onto Jack Grut Reserve at the western boundary of the site.
 - b) The implementation of stormwater (drainage) detention system which restricts stormwater discharge to the maximum allowable flowrate calculated as per Council's "Civil Design requirements for Developers – Part A: Integrated Stormwater Management" in line with approved Stormwater Strategy and agreed by the responsible authority.
 - c) All stormwater (drainage) works must be maintained to the satisfaction of the Responsible authority.

Environmentally Sustainable Design

32. Prior to the endorsement of the plans required pursuant to condition 1 of this permit, the provision of a Sustainable Management Plan (SMP) generally in accordance with the SMP prepared by 'Introba' (dated January 2024) must be submitted to and approved by the Responsible Authority.
33. Prior to the occupation of any building approved under this permit, written confirmation from the author of the endorsed SMP is to be submitted to and approved by the Responsible Authority detailing that all of the required measures specified in the SMP have been implemented, to the satisfaction of the Responsible Authority.

Green Travel Plan

34. Prior to the endorsement of the plans required pursuant to condition 1 of this permit, the provision of Green Travel Plan (GTP) generally in accordance with the GTP prepared by 'OneMileGrid' (dated October 2023) must be submitted to and approved by the Responsible Authority.

Native vegetation requirements

35. The total area of native vegetation permitted to be removed is 0.031 hectares.
36. Before works start, the permit holder must advise all persons undertaking the vegetation removal works on site of all permit conditions pertaining to native vegetation protection.
37. Before works start, a native vegetation protection fence must be erected around all native vegetation to be retained within 15 metre of the works area. This fence must be erected at:
- a) A radius of 12 times the diameter of the tree trunk at a height of 1.4 metres to a maximum of 15 metres but no less than 2 metres from the base of the trunk of the tree; and
 - b) Around the patch(es) of native vegetation at a minimum distance of 2 metres from retained native vegetation.
38. The fence must be constructed of star pickets and paraweb or similar, to the satisfaction of the responsible authority. The protection fence must remain in place until all works are

completed to the satisfaction of the responsible authority. The tree protection fencing can only be moved/relocated to facilitate works within the tree protection zone with the written approval of Vegetation under the supervision to the satisfaction of the responsible authority.

39. Except with the written consent of the responsible authority, within the area of native vegetation to be retained and any tree protection zone associated with the permitted use and/or development, the following is prohibited:
- a) Vehicular or pedestrian access;
 - b) Trenching or soil excavation;
 - c) Storage or dumping of any soils, materials, equipment, vehicles, machinery or waste products;
 - d) Construction of entry and exit pits for underground services; or
 - e) Any other actions or activities that may result in adverse impacts to retained native vegetation.

Construction Management Plan

40. Prior to the commencement of any buildings and works on the land, a Construction Management Plan (CMP), to the satisfaction of the Responsible Authority, must be submitted to and approved by the Responsible Authority. The CMP must be prepared in accordance with the City of Kingston Construction Management Policy, July 2015 and Construction Management Guidelines, 1 November 2015 (and any superseding versions and / or documents). The CMP must specify and deal with, but is not limited to, the following elements:
- a) Public Safety, Amenity and Site Security
 - b) Traffic Management
 - c) Stakeholder Management
 - d) Operating Hours, Noise and Vibration Controls
 - e) Air Quality and Dust Management
 - f) Stormwater and Sediment Control
 - g) Waste and Materials Re-use

When approved, the plan will be endorsed and will then form part of the permit and shall thereafter be complied with during the undertaking of all works.

Waste Management Plan

41. Concurrent with the endorsement of plans, a Waste Management Plan (WMP) generally in accordance with the WMP prepared by 'Elephants Foot Consulting Pty Ltd' dated 16 November 2023 (revision E) must be submitted to and approved by the Responsible Authority. When approved, the Plan will be endorsed and will then form part of the permit.
42. The WMP must be implemented to the satisfaction of the Responsible Authority. The WMP must not be modified unless without the written consent of the Responsible Authority.

Lighting plan

43. Concurrent with the endorsement of plans, an External Lighting Assessment and Plan generally in accordance with the plan prepared by 'Introba' dated 14 September 2023 must be submitted to and approved by the Responsible Authority. When approved, the Plan will be endorsed and will then form part of the permit.
44. The Lighting Plan must be implemented to the satisfaction of the Responsible Authority. The plan must not be modified unless without the written consent of the Responsible Authority.

Acoustic Assessment

45. Concurrent with the endorsement of plans, an Acoustic Report generally in accordance with the Acoustic Report prepared by 'Resonate' dated 20 October 2023 (revision B) must be submitted to and approved by the Responsible Authority. When approved, the Plan will be endorsed and will then form part of the permit.
46. The Acoustic Report must be implemented to the satisfaction of the Responsible Authority. The report must not be modified unless without the written consent of the Responsible Authority.

Infrastructure and Road Works

47. Any relocation of pits/power poles or other services affected by this development must be relocated to the satisfaction of the relevant servicing authority and the Responsible Authority, at the cost of the owner/developer.
48. Vehicle crossings must be constructed at a 90 degree alignment with the kerb on Wells Road and Governor Road and all internal driveways must align with the existing/proposed vehicle crossing.
49. Property boundary and footpath levels must not be altered without the prior written consent from the Responsible Authority.
50. Any reinstatements and new/modified vehicle crossings must be constructed to the satisfaction of the Responsible Authority.
51. The replacement of all footpaths, including offsets, must be constructed to the satisfaction of the Responsible Authority.
52. Any redundant vehicle crossings must be removed (including redundant portions of vehicle crossings) to the satisfaction of the Responsible Authority.

Car parking and access

53. Prior to the commencement of the use, the right turning lane from Governor Road to the subject site is to be constructed and line-marked to the satisfaction of the responsible authority.
54. At 6 months from the commencement of the use, a Traffic and Car Parking Study prepared by a suitably qualified traffic engineer to assess parking and traffic conditions and identify if any further mitigating measures must be submitted to the Responsible Authority. Any recommended mitigation measures must be implemented, to the satisfaction of the Responsible Authority.
55. Before occupation of the development hereby permitted, areas set aside for parking vehicles, access lanes and paths as shown on the endorsed plans must be:
 - i. Constructed to the satisfaction of the Responsible Authority.
 - ii. Properly formed to such levels that they can be used in accordance with the plans.
 - iii. Surfaced with an all-weather sealcoat to the satisfaction of the Responsible Authority.
 - iv. Drained to the satisfaction of the Responsible Authority.
 - v. Line-marked to indicate each car space, all access lanes and, if necessary, the direction in which vehicles are to travel to the satisfaction of the Responsible Authority.
 - vi. In accordance with any Council adopted guidelines for the construction of car parks.

Parking areas and access lanes must be kept available for these purposes at all times and maintained to the satisfaction of the Responsible Authority.

56. In areas set aside for car parking, measures must be taken to the satisfaction of the Responsible Authority to prevent damage to fences or landscaped areas.

57. Concrete kerbs or other barriers must be provided to the satisfaction of the Responsible Authority to prevent direct vehicle access to an adjoining road other than by a vehicle crossing.

General amenity

58. All external surfaces of the building elevations must be finished in accordance with the schedule on the endorsed plans and maintained in good condition to the Responsible Authority's satisfaction.
59. All external lighting must be designed, baffled and located to the satisfaction of the Responsible Authority to prevent any adverse effect on adjoining land.

Completion of Works

60. Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.

Permit Expiry

61. This permit as it relates to easement removal will expire if one of the following circumstances applies:
- a) The plan of removal of an easement is not certified within three (3) years from the date of this permit.
 - b) The plan of removal of an easement is not registered within five (5) years of the date of certification.

In accordance with Section 69 of the *Planning and Environment Act 1987*, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition.

62. This permit as it relates to native vegetation removal will expire if one of the following circumstances applies:
- a) The native vegetation removal is not started before three (3) years from date of this permit.
 - b) The native vegetation removal is not completed before five (5) years from the date of permit issue.

In accordance with Section 69 of the *Planning and Environment Act 1987*, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition.

63. This permit as it relates to development (buildings and works) will expire if one of the following circumstances applies:
- a) The development is not started before three (3) years from date of this permit.
 - b) The development is not completed before five (5) years from the date of permit issue.

In accordance with Section 69 of the *Planning and Environment Act 1987*, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition.

64. This permit as it relates to use will expire if one of the following circumstances applies:
- a) The use is not started within two (2) years after the completion of the development.
 - b) The use is discontinued for a period of two (2) years.

In accordance with Section 69 of the *Planning and Environment Act 1987*, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition.

- Note:** All buildings and works must be carried out in accordance with the approved Cultural Heritage Management Plan as required by the *Aboriginal Heritage Act 2006*. A copy of the approved CHMP must be held on site during the construction activity.
- Note:** When structures/works are proposed to be built over a South East Water easement or within 1 metre of a South East Water asset, the customer is required to obtain South East Water's approval. South East Water are unable to make an assessment under a planning referral as this service involves a full review of building plans and attracts a processing fee. To apply for approval, the customer will need to apply via South East Water's website: www.southeastwater.com.au/propertyconnect. For further information regarding South-East Water's build over guidelines or locations of South East Water's assets, please refer to the website link: www.southeastwater.com.au.
- Note:** Before removing any vegetation from the site, the applicant or any contractor engaged to remove any vegetation, should consult Council's Vegetation Management Officer to verify if a Local Laws Permits is required for the removal of such vegetation.
- Note:** The applicant/owner must provide a copy of this planning permit and any endorsed plans to any external contractor to ensure that all trees to be retained on site are protected during any works.
- Note:** Within the area of native vegetation to be retained and any tree protection zone associated with the permit, the following is prohibited:
- a. Any vehicle or pedestrian access, trenching or soil excavation, and
 - b. Storage or dumping of any soils, materials, equipment, vehicles, machinery or waste products, and
 - c. Entry or exit pits for underground services, and
 - d. Any other actions or activities that may result in adverse impacts to retained native vegetation.
- Note:** All buildings and works must be carried out in accordance with the approved cultural heritage management plan as required by the *Aboriginal Heritage Act 2006*. A copy of the approved cultural heritage management plan must be held on site during the construction activity.
- Note:** The Environment Protection Authority (EPA) Victoria set out the requirements pertaining to site construction hours and permissible noise levels.
- Note:** Prior to the commencement of the development, you are required to obtain the necessary building permit.
- Note:** The applicant/owner must provide a copy of this planning permit to any appointed building surveyor. It is the responsibility of the applicant/owner and building surveyor to ensure that all building development works approved by any building permit is consistent with the planning permit.
- Note:** The applicant/owner must provide a copy of this planning permit and any endorsed plans to any external contractor to ensure that all trees to be retained on site are protected during any works.
- Note:** Before removing / pruning any vegetation from the site, the applicant or any contractor engaged to remove any vegetation, should consult Council's vegetation management officer to verify if a Local Laws permit is required for the removal of such vegetation.
- Note:** Any landscape plan prepared in accordance with conditions must comply with Council's Landscape Checklist.

**City of Kingston
Planning Committee Meeting**

Agenda

20 March 2024

- Note:** The applicable flood level for the property 1% Annual Exceedence Probability (AEP) is 2.4 metres to Australian Height Datum (AHD), which is the predicted year 2100 flood level associated with riverine flooding and sea level rise.
- Note:** The property is subject to flooding (via Governor Road) when the capacity of the Heatherton Drive Drain is exceeded. The 1% AEP flood level for this flood source is 2.63 m AHD.
- Note:** Works or other activities on public land, which may affect protected native plants, will require a Protected Flora Licence or Permit under the Flora and Fauna Guarantee Act 1988 (FFG Act). All native vegetation likely to be affected should be checked against the Protected Flora List (DELWP 2017) to determine whether FFG Act approvals are required. Protected Flora Permits can be obtained from the regional DEECA office.
- Note:** Offset requirements are determined in accordance with the Guidelines for the removal, destruction or lopping of native vegetation (DELWP 2017). Proposed offset sites must meet eligibility requirements including land use, bushfire risk, quality of vegetation and size of revegetation site. Please visit: <https://www.environment.vic.gov.au/native-vegetation/native-vegetation-remova-regulations>. Agreement Options
- Note:** The following South East Water agreement options are available:
- Application to enter into a Development Agreement-Works If South East Water reticulated sewer/water/recycled water (as applicable) is required to be extended to service lots within the development.
 - Application for Notice of Agreement Subdivision-Non Works – If South East Water reticulated sewer/water/recycled water (as applicable) is available to the development and the owner only requires Statement of Compliance to release the titles (i.e. subdivision prior to building).
 - Plumbing Industrial, Commercial, Units & Private Water application – If South East Water reticulated sewer/water/recycled water (as applicable) is available to the development and the owner wishes to commence construction of the building/s (i.e. building prior to subdivision).

Appendices

Appendix 1 - KP-2023/574 - 1-7 Wells Road and Jack Grut Reserve Mordialloc -
CONSIDERED ARCHITECTURAL PLANS (Ref 24/45575) 

Author/s: Beau McKenzie, Principal Planner
Reviewed and Approved By: Jennifer Pippo, Team Leader Statutory Planning
Alfred Carnovale, Manager City Development

4.3

KP-2023/574 - 1-7 WELLS ROAD AND JACK GRUT RESERVE, MORDIALLOC

- 1 KP-2023/574 - 1-7 Wells Road and Jack Grut Reserve
Mordialloc - CONSIDERED ARCHITECTURAL PLANS..... 207**

Architectural Drawings

- TP00 COVER PAGE
- TP01 SITE/RESITE PLAN
- TP02 DEMOLITION PLAN
- TP03 PROPOSED SITE PLAN
- TP04 PROPOSED GROUND FLOOR PLAN
- TP05 PROPOSED LEVEL PLAN
- TP06 PROPOSED ROOF PLAN
- TP07 PROPOSED ELEVATIONS
- TP08 PROPOSED SECTIONS
- TP09 EXTERNAL MATERIALS FINISHES
- TP10 SITE STATISTICS TABLE
- TP11 SHADOW STUDIES - EXISTING BUILDING - EQUINOX
- TP12 SHADOW STUDIES - PROPOSED DESIGN - EQUINOX
- TP13 3D VIEWS - NEIGHBOURING CONTEXT
- TP14 3D VIEWS - PROPOSED RENDERING
- TP15 3D VIEWS - PROPOSED RENDERING
- TP16 3D VIEWS - PROPOSED RENDERING
- TP17 ACTIVATION AND SURVEILLANCE RESPONSE PLAN



Kingston's New Aquatic and Leisure Centre. 1-7 Wells Road, Mordialloc.

General Notes

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 Office: 1/105 Werneck Road, Northcote VIC 3049

LOCATION PLAN



CONSULTANTS

CLIENT

City of Kingston

PROJECT
 Kingston's New Aquatic and Leisure Centre, 1-7 Wells Road Mordialloc.

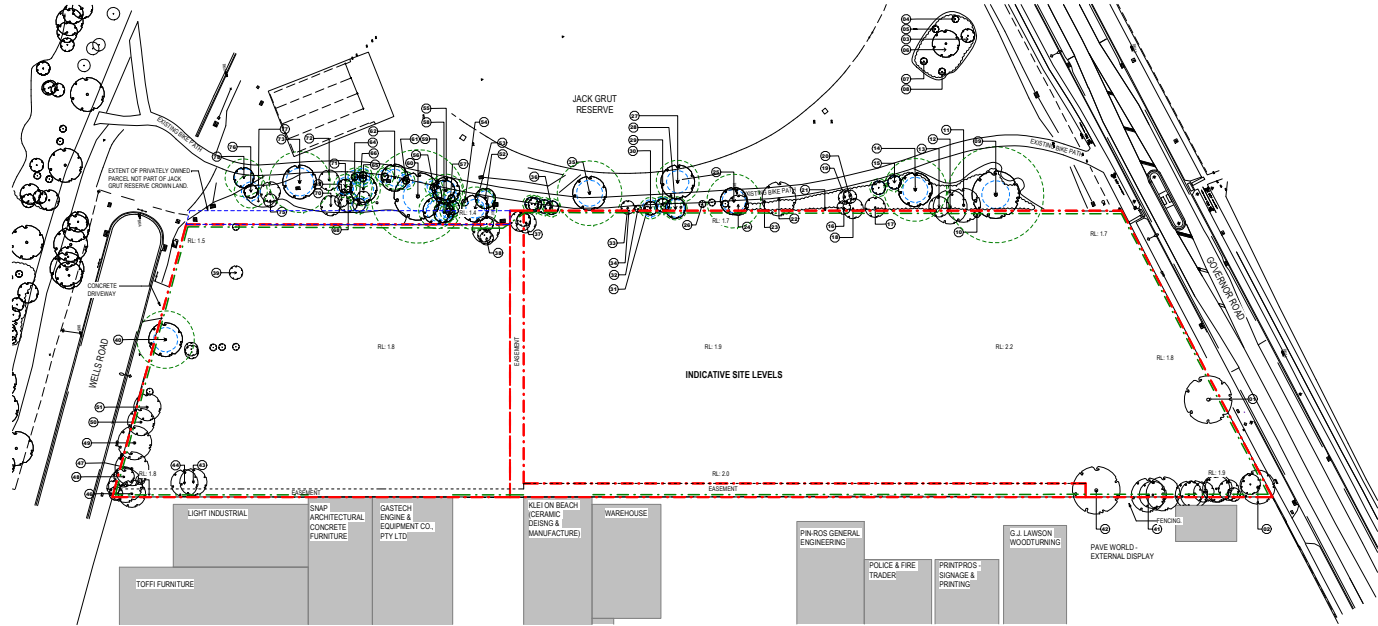
PROJECT NUMBER
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COVER PAGE

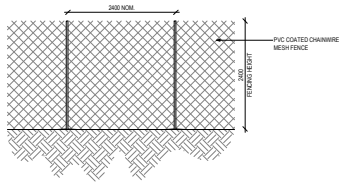
DRAWING NO. REVISION
 TP000 1

CO-OP
 CO-OP STUDIO
 Level 1, 105 Werneck Parade, East Melbourne, 3002
 Office: +61 432 293 614
 admin@co-opstudio.com.au

- GENERAL NOTES**
- - - - - EXTENT TITLE BOUNDARY
 - - - - - EXISTING FENCE TO REMAIN ALONG EASTERN BOUNDARY
 - - - - - EXTENT BUILDING OUTSIDE PROPOSED SITE
 - EXISTING TREES TO BE RETAINED AND TREE PROTECTION ZONE (TPZ)



1 EXISTING SITE PLAN
1:500



2 EXISTING FENCE DETAIL
1:50

Notes

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| REV | DESCRIPTION | DATE | APP |
|-----|------------------------|------------|-----|
| 2 | ISSUE FOR TOWNPLANNING | 21/10/2023 | |
| 1 | ISSUE FOR TOWNPLANNING | 18/10/2023 | |

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CLIENT: City of Kingston

PROJECT NUMBER
100329

DRAWN BY: Author
PLANNING PERMIT
NOT TO BE USED DURING CONSTRUCTION

SCALE: As indicated @ A1

PROJECT
Kingston's New Aquatic and Leisure Centre, 1-7 Wells Road Mordialloc.

DRAWING
EXISTING SITE PLAN

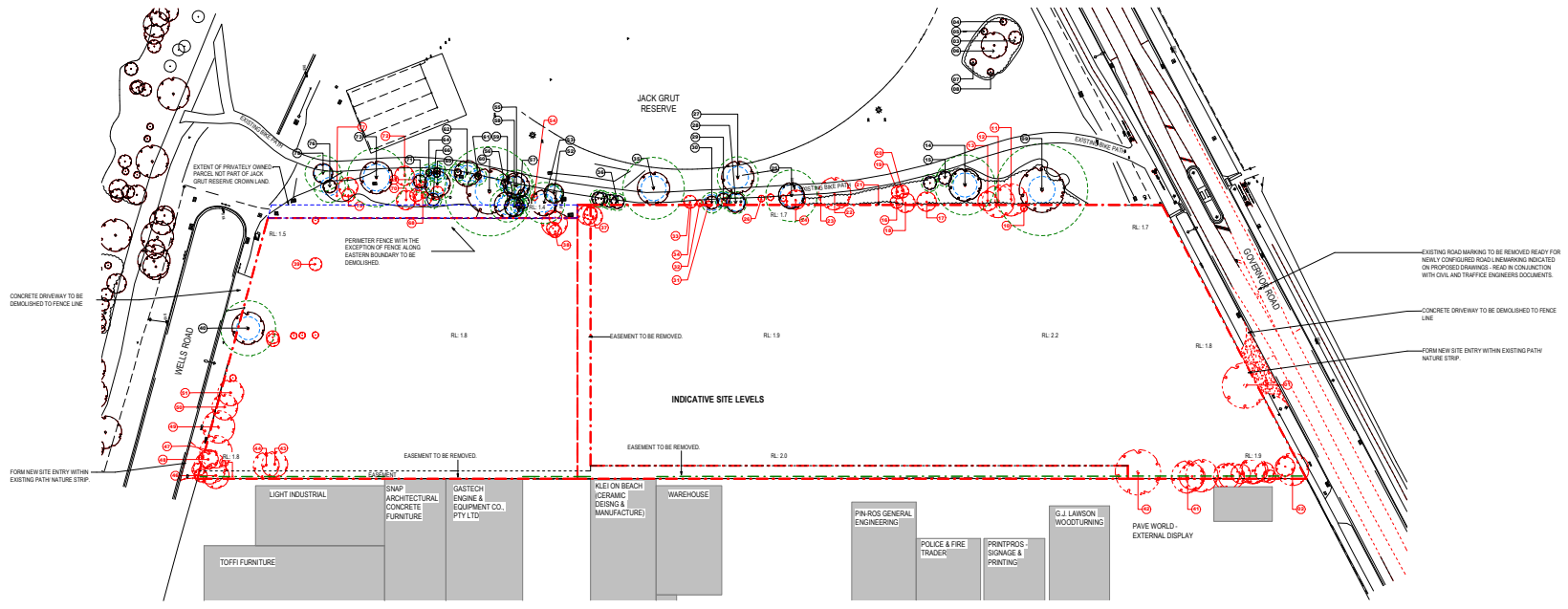
DRAWING NO. TP100
REVISION 2

ADVERTISED PLANS
Documentation Only

TREES
THE INFORMATION CONTAINED IN THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE AUTHOR.

LEGEND

- EXTENT OF DEMOLITION WORKS.
- - - - - EXISTING FENCE TO REMAIN ALONG EASTERN BOUNDARY.
- EXISTING TREES DEMOLISHED.
- EXISTING TREES TO BE RETAINED AND THIS PROTECTION ZONE (TPZ).



1 DEMOLITION - SITE PLAN
1:500

Notes

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| REV DESCRIPTION | DATE | APP |
|--------------------------|------------|-----|
| 2 ISSUE FOR TOWNPLANNING | 21.10.2023 | |
| 1 ISSUE FOR TOWNPLANNING | 18.10.2023 | |

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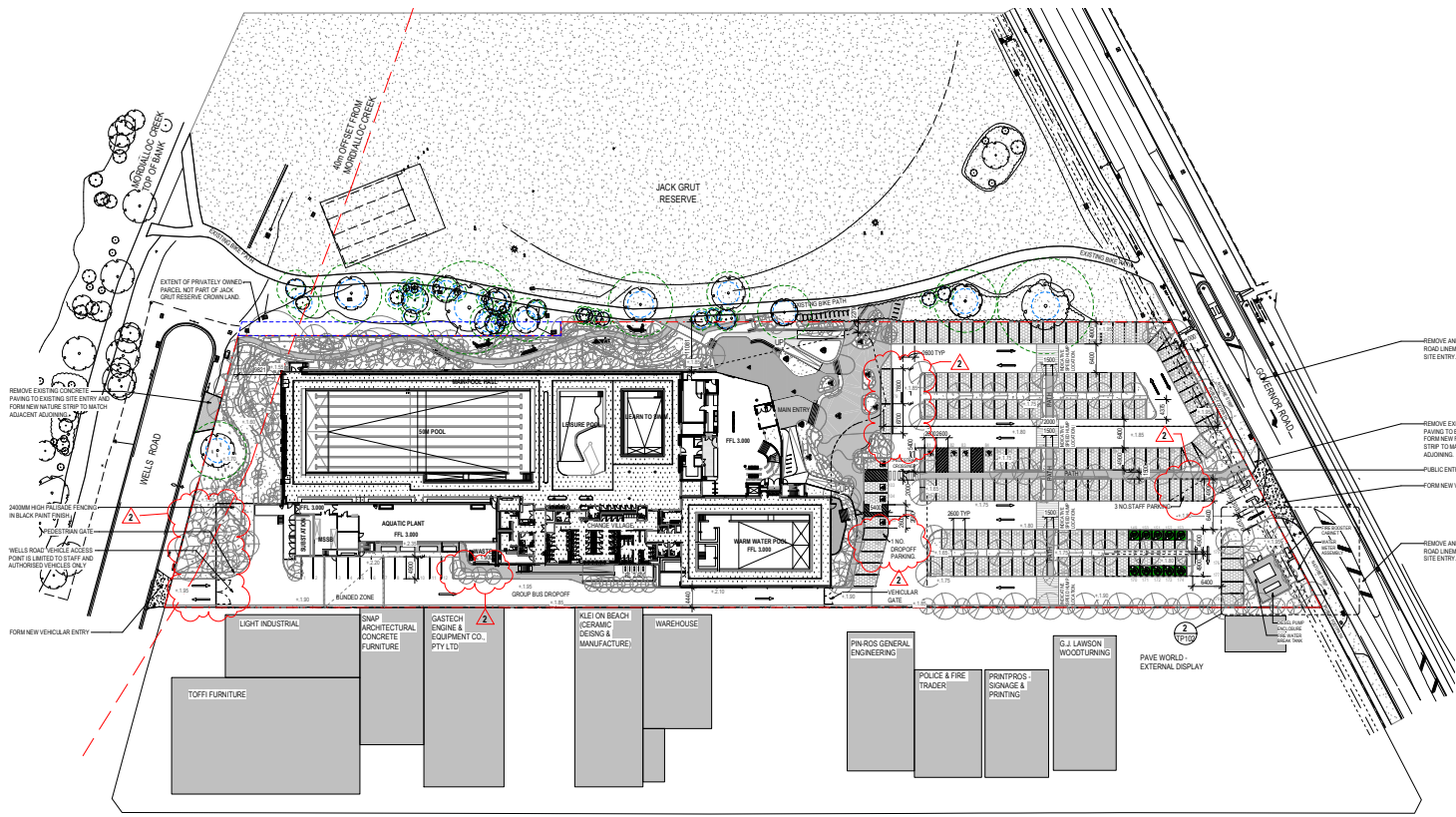
PLANNING PERMIT
NOT TO BE USED DURING CONSTRUCTION

SCALE: _____ As indicated @ A1

PROJECT
Kingston's New Aquatic and Leisure Centre, 1-7 Wells Road Mordialloc.

DRAWING
DEMOLITION PLAN

DRAWING NO. **TP101** REVISION **2**



- GENERAL NOTES**
- SITE BOUNDARY
 - EXISTING TREES TO BE RETAINED AND TREE PROTECTION ZONE (TPZ)
 - PROPOSED TREES
 - PERMEABLE PAVING
 - NEGATIVE SPEED HUMP LOCATION
- SOFT AND HARD LANDSCAPING INDICATIVE SHOWN FOR REFERENCE. REFER TO LANDSCAPE DRAWINGS FOR DETAILED LANDSCAPE DESIGN.
- PAVING FINISH TO BASED DESIGN AND RAMP TO BE A MATURE OF FINISHES AND TISSE DESIGN. FINAL EXTENT OF FINISHED TO BE FURTHER DEVELOPED.
- THIS DRAWING MUST BE PRINTED IN COLOUR.

CAR PARKING

| | |
|---------------------------------------|-----|
| BIKE PARKING - SIZE 600 X 2000 | 150 |
| BIKELETY PARKING - SIZE 600 X 2000 | 3 |
| ACCESSIBLE PARKING | 8 |
| PARALLEL PARKING - SIZE 6700 X 2800 | 1 |
| PARALLEL PARKING - SIZE 7600 X 2800 | 10 |
| EV CHARGING SPACES - SIZE 4800 X 2800 | 10 |

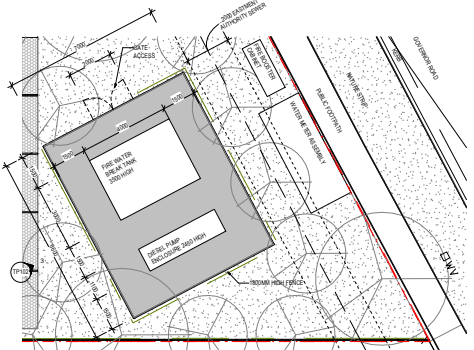
Grand total: 179

ABLE DIMENSION: 640MM

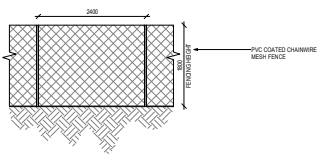
PUBLIC BIKE PARKING SPACES: 44 (22 NO. OF BIKE HOOPS)

STAFF SECURE BIKE PARKING SPACES: 10

1 SITE PLAN
T: 500



2 FIRE PUMP & TANK ENCLOSURE
T: 100



3 FENCE TO FIRE PUMP ENCLOSURE
T: 50

AREAS

| | |
|------------------------------|---|
| TOTAL SITE AREA = 14591 M.SQ | 5,618.3M.SQ (BUILDING FOOTPRINT) 14.591 M.SQ (SITE AREA) = 38.5% COVERAGE |
| SITE COVERAGE (SOM & %) | = 4,544.5M.SQ |
| TOTAL GROUND FLOOR AREA | = 1,647.2M.SQ |
| TOTAL FIRST FLOOR AREA | |

Notes

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| 2 | ISSUE FOR TOWNPLANNING | 18.10.2023 | |

REV DESCRIPTION DATE APP

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Phone: +61 3 450 29 914
Admin: admin@co-opstudio.com.au
CLIENT: City of Kingston

PROJECT NUMBER
100329

DRAWN BY: Author

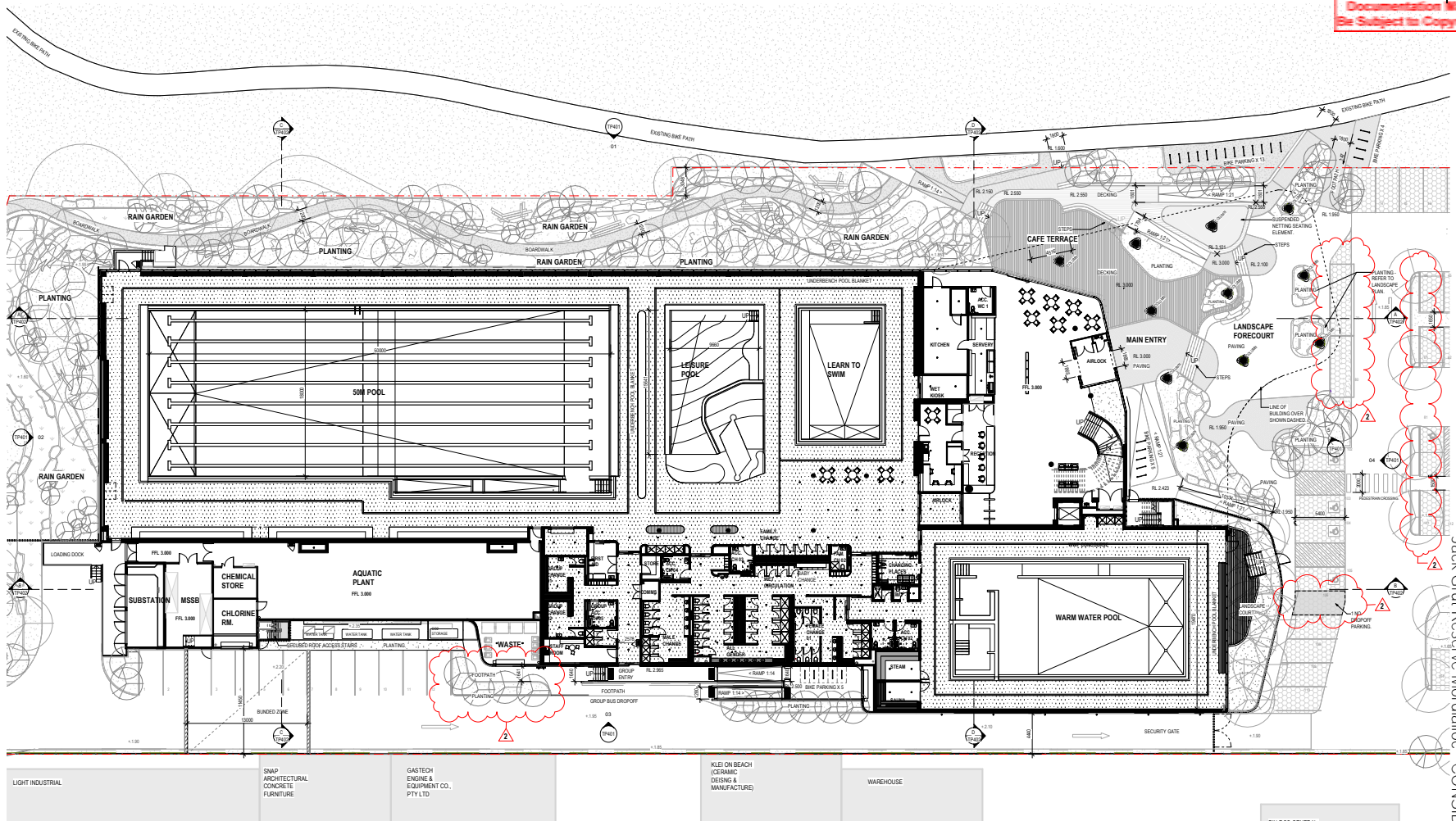
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SCALE: As indicated @ A1

PROJECT
Kingston's New Aquatic and Leisure Centre, 1-7 Wells Road and Mordialloc.

DRAWING
PROPOSED SITE PLAN

| | |
|-----------------------------|----------------------|
| DRAWING NO. TP102 | REVISION 2 |
|-----------------------------|----------------------|



GENERAL NOTES

- - - SITE BOUNDARY
- EXISTING TREES TO BE RETAINED AND TREE PROTECTION ZONE (TPZ)
- PROPOSED TREES
- PERMEABLE PAVING
- INDICATIVE BREED HUMP LOCATION

SOFT AND HARD LANDSCAPING INDICATIVE SHOWN FOR REFERENCE. REFER TO LANDSCAPE DRAWINGS FOR DETAILED LANDSCAPE DESIGN.

PAVING FINISH TO RASSED DECKING AND RAMP TO BE A MIXTURE OF RIP UP WOOD AND TIMBER DECKING - FINISH EXTENT OF FINISHED TO BE FURTHER DEVELOPED.

THIS DRAWING MUST BE PRINTED IN COLOUR.

SNAP ARCHITECTURAL
CONCRETE
FURNITURE

GASTECH
ENGINE &
EQUIPMENT CO.
PTY LTD

KLE ON BEACH
CEFRAMIC
DESIGN &
MANUFACTURE

WAREHOUSE

WAREHOUSE

PNR/OG GENERAL
ENGINEERING

GROUND FLOOR PLAN
1:200

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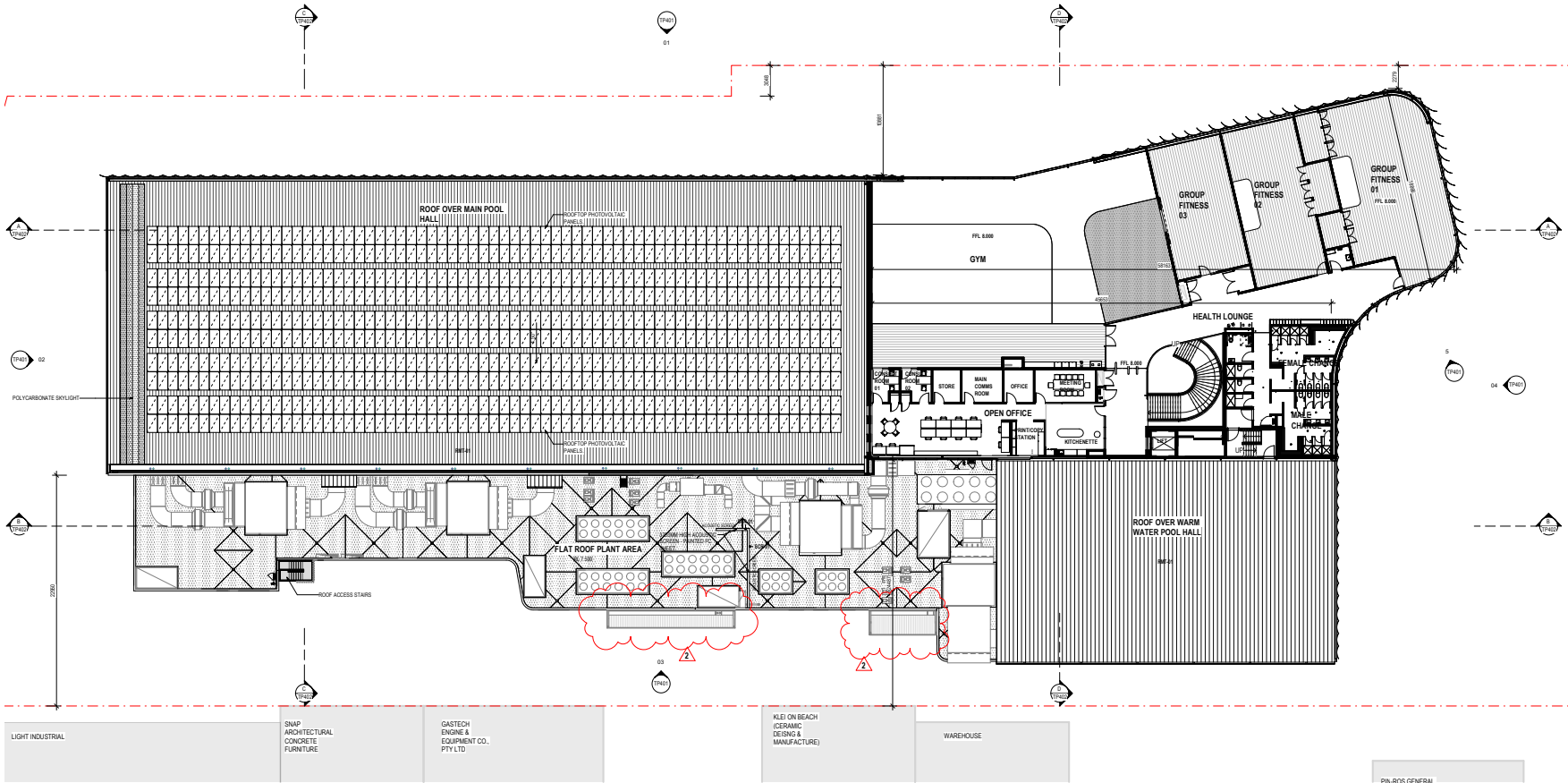
SCALE: As indicated @ A1

PROJECT
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DRAWING
PROPOSED GROUND FLOOR PLAN

DRAWING NO.
TP201

REVISION
2



LEVEL 1 PLAN
A8/5 1:200

PIN-RDS GENERAL ENGINEERING

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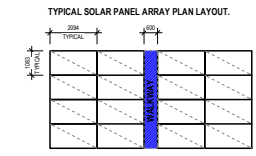
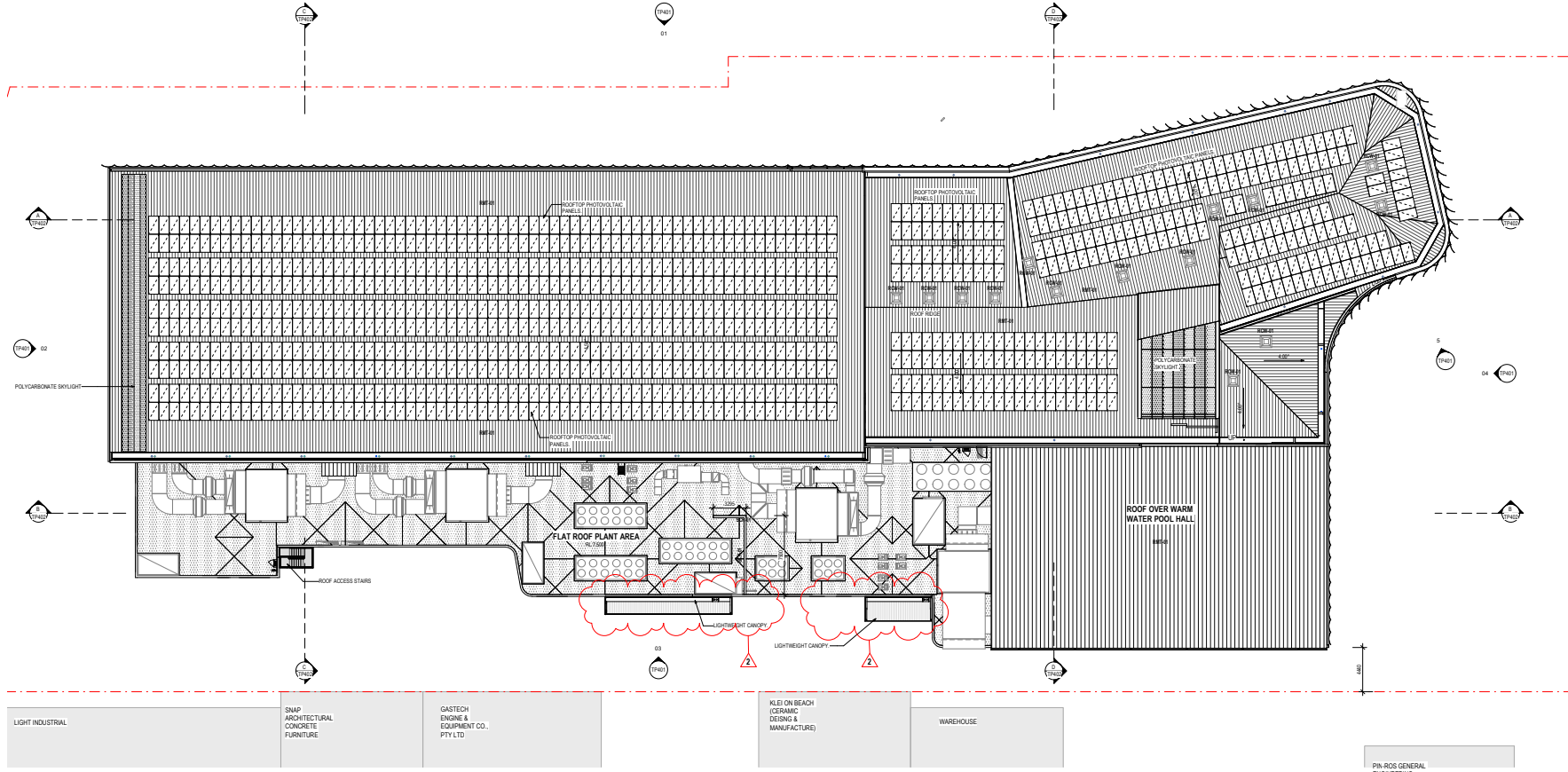
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SCALE: 1:200 @ A1

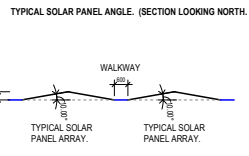
PROJECT
Kingston's New Aquatic and Leisure Centre, 1-7 Wells Road and Mordialloc.

DRAWING
PROPOSED LEVEL 1 PLAN

DRAWING NO. **TP202** REVISION **2**



TYPICAL SOLAR PANEL LAYOUT
1:100



TYPICAL SOLAR PANEL ANGLE. (SECTION LOOKING NORTH.)

PRODUCT & MATERIAL LEGEND

| CODE | DESCRIPTION |
|--------|-----------------------------|
| RM-01 | ROOF MECHANICAL LOBE |
| RMF-01 | SURFMET COLOURED METAL ROOF |
| SCR-01 | PLANT ACOUSTIC SCREEN |

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Author: [Signature]
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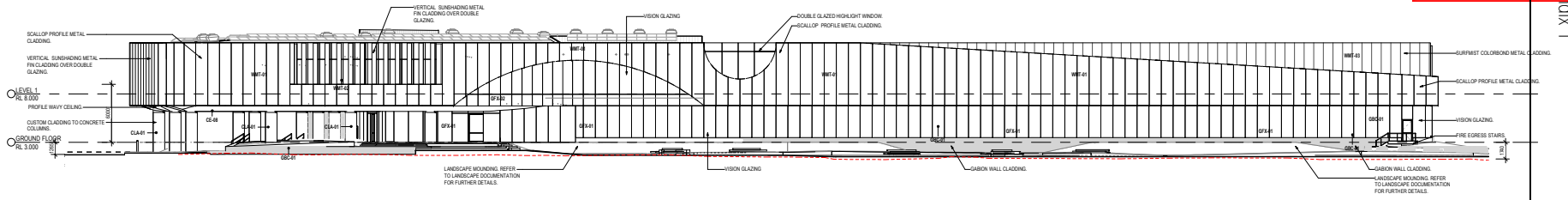
SCALE: As indicated @ A1

PROJECT: Kingston's New Aquatic and Leisure Centre, 1-7 Wells Road Mordialloc.

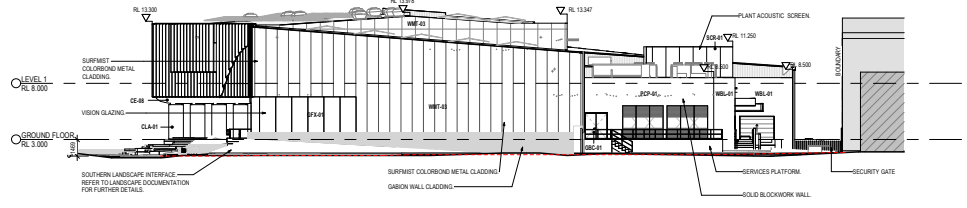
DRAWING: PROPOSED ROOF PLAN

DRAWING NO: TP203
REVISION: 2

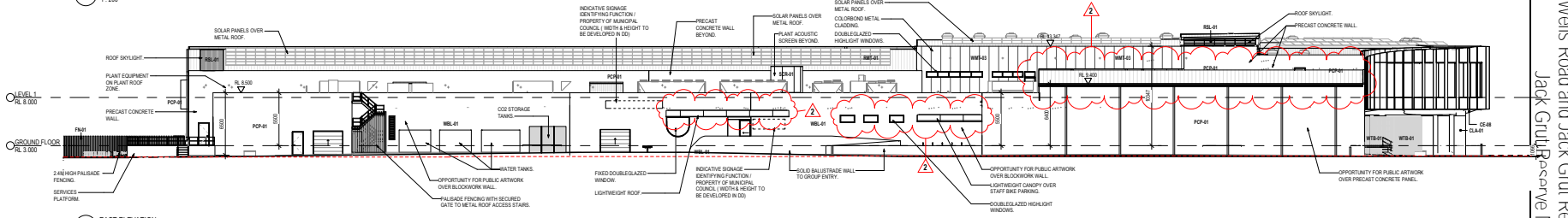
1 ROOF PLAN
SCALE: 1:200



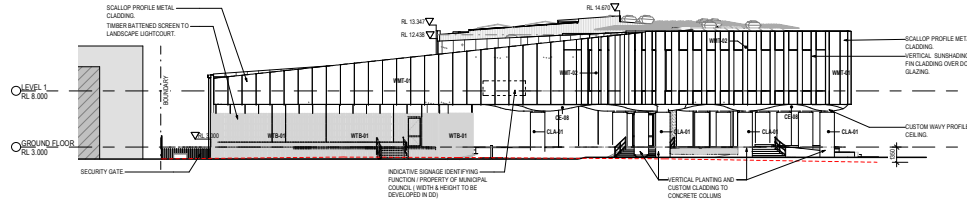
01 WEST ELEVATION
1:200



02 SOUTH ELEVATION
1:200



03 EAST ELEVATION
1:200



04 NORTH ELEVATION
1:200

05 E10 EAST ELEVATION (LEVEL 01)
1:200

LEGEND
--- EXISTING GROUND SURFACE LEVEL

PRODUCT & MATERIAL LEGEND

| CODE | DESCRIPTION |
|-------|--|
| CE-08 | SUPPOSED PROFILED FIBRE CEMENT CEILING |
| CL-01 | CUSTOM CLADDING TO CONCRETE COLUMN |
| FN-01 | PALISADE METAL FENCING |
| GC-01 | GABON WALL CLADDING - EXTERNAL (LANDSCAPE) |
| GF-01 | VISION GLAZING |
| GF-02 | SPANDREL WINDOW BOX GLAZING - DARK FINISH |
| GF-03 | FIRE-RATED CONCRETE PANEL |
| GF-04 | SURMOUNT COLORBOND METAL ROOF |
| GF-05 | POLYCARBONATE ROOF SKYLIGHT |
| GF-06 | PLANT ACOUSTIC SCREEN |
| GF-07 | BLOCKWORK - OPPORTUNITY FOR PUBLIC ARTWORK |
| GF-08 | SCALLOP PROFILE METAL CLADDING - SHOWER COLOR FINE |
| GF-09 | SCALLOP PROFILE METAL CLADDING - MATCH |
| GF-10 | VERTICAL SUNSHADING METAL CLADDING TO MATCH |
| GF-11 | SURMOUNT COLORBOND METAL CLADDING |
| GF-12 | HARDWOOD TIMBER BATTEN SCREEN |

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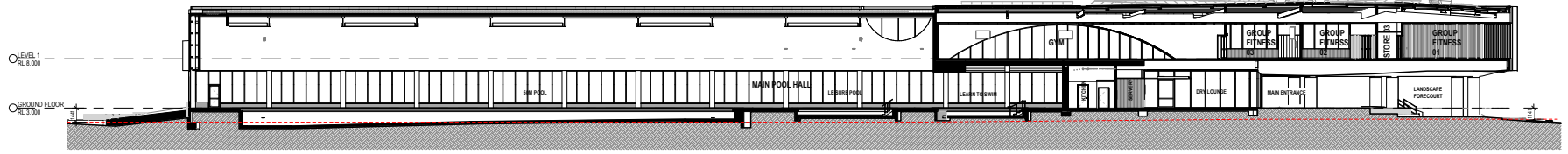
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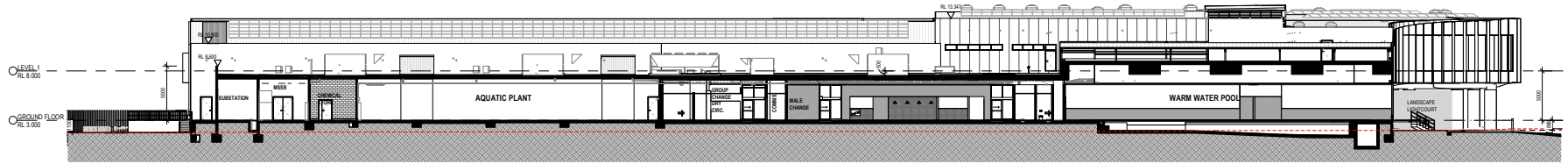
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| SCALE | As indicated @ A1 |

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| PROJECT | Kingston's New Aquatic and Leisure Centre, 1-7 Wells Road Mortdialloc. |
| DRAWING | PROPOSED ELEVATIONS |
| DRAWING NO. | TP401 |
| REVISION | 2 |

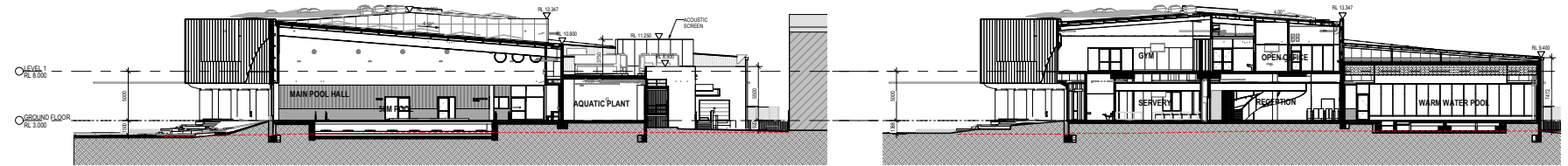
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A SECTION
1:200



B SECTION
1:200



C SECTION
1:200

D SECTION
1:200

LEGEND
- - - - - EXISTING GROUND SURFACE LEVEL

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PROJECT
Kingston's New Aquatic and Leisure Centre, 1-7 Wells Road Mordialloc.
DRAWING
PROPOSED SECTIONS

| | |
|-------------|----------|
| DRAWING NO. | REVISION |
| TP402 | 1 |



Artist's Impression - North



Artist's Impression - West



Artist's Impression - South

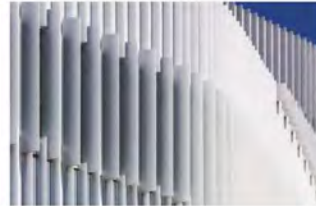


Artist's Impression - East

External Cladding



WMT-01
Scallop profiled metal cladding



WMT-02
Vertical Sunshading Metal Fins -
Colour to match WMT-01



WMT-03
Colorbond Metal Cladding -
Colour Surfmist



WTB-01
Hardwood Timber Batten Screen
(Refer to landscape documentation)

External Glazing System



GFX-01
Structural Double glazing system



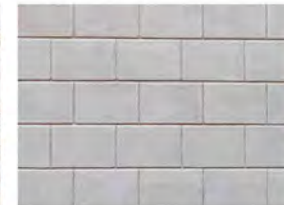
GFX-02
Spandrel shadowbox glazing



PCP-01
Precast Concrete Panel



GBC-01
Gabion Wall Cladding
(Refer to landscape documentation)



WBL-01
Feature Blockwall - Painted with Public Artwork
(Indicative Artwork shown. Subject to public EOI)



CLA-01
Custom Cladding to Forecourt
Columns



CE-08
Profiled painted fibre cement panel ceiling

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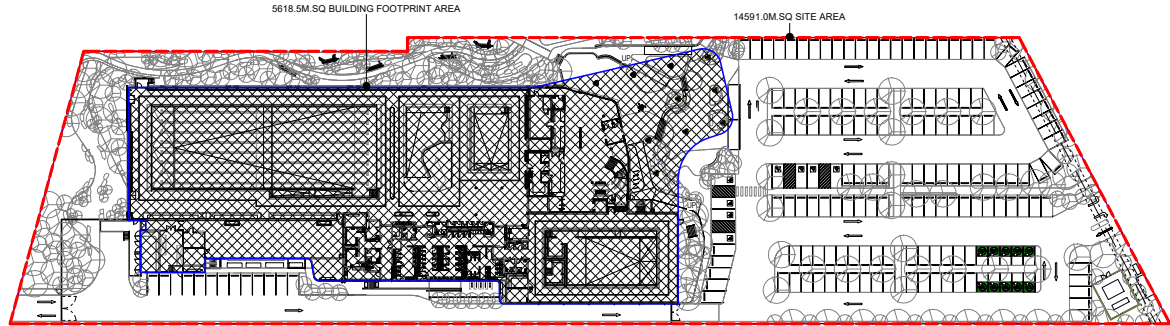
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EXTERNAL MATERIAL & FINISHES

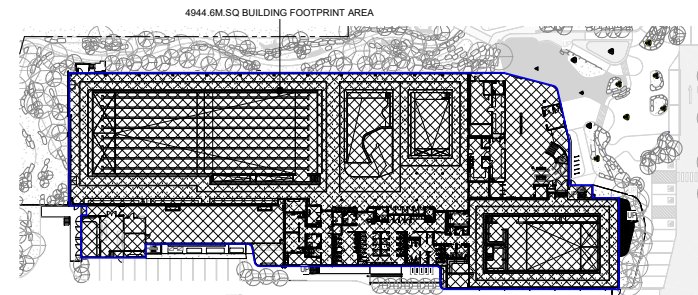
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REVISION 1



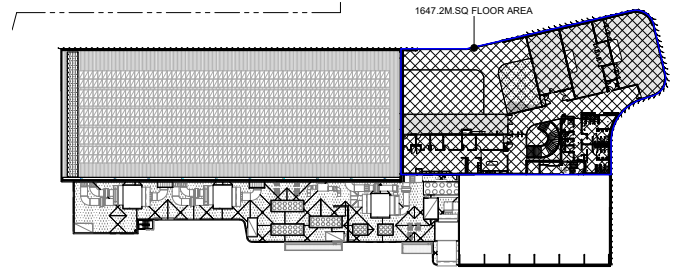
AREAS

| | |
|-------------------------|--|
| TOTAL SITE AREA | = 14591 M.SQ |
| TOTAL GROUND FLOOR AREA | = 4,944.2M.SQ |
| TOTAL FIRST FLOOR AREA | = 1,647.2M.SQ |
| TOTAL GROUND FLOOR AREA | = 5,618.3M.SQ (BUILDING FOOTPRINT) |
| TOTAL FIRST FLOOR AREA | = 14,591 M.SQ (SITE AREA) = 38.5% COVERAGE |

1 SITE COVERAGE
NAB1 1:500



3 GROUND FLOOR AREA
NAB1 1:500



4 LEVEL 1 FLOOR AREA
NAB1 1:500

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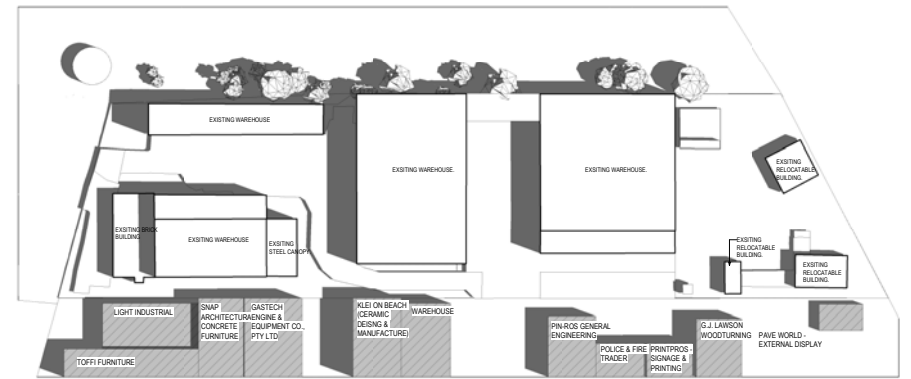
DRAWING
SITE STATISTICS TABLE

| DRAWING NO. | REVISION |
|-------------|----------|
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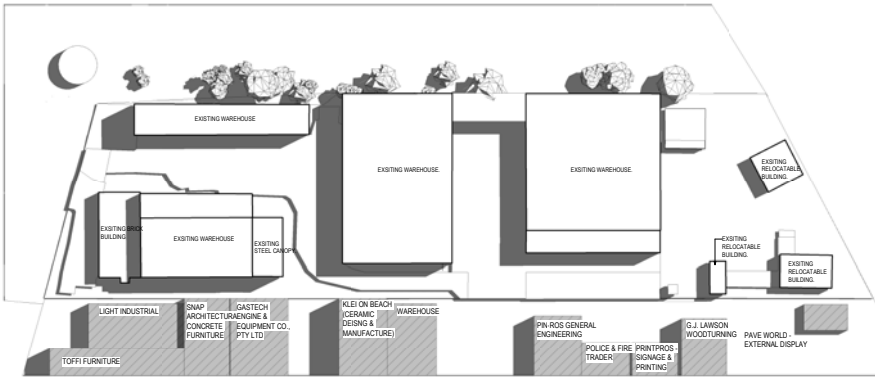
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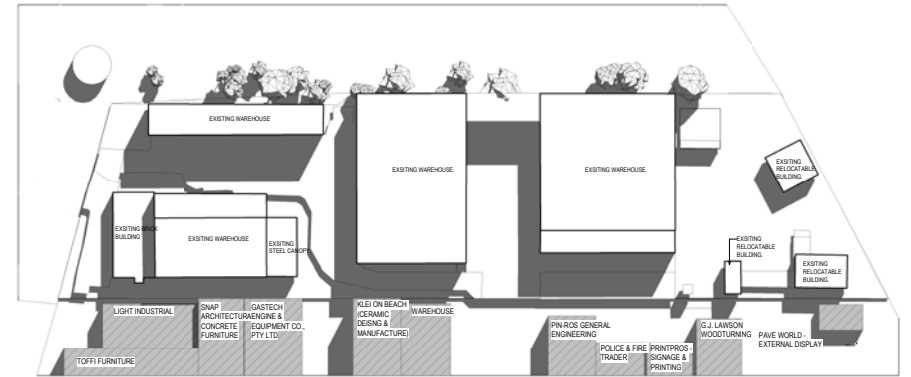
1 Existing Building Shadow Studies - Equinox 22 Sept - 9AM



2 Existing Building Shadow Studies - Equinox 22 Sept - 11AM



3 Existing Building Shadow Studies - Equinox 22 Sept - 1PM



4 Existing Building Shadow Studies - Equinox 22 Sept - 3PM

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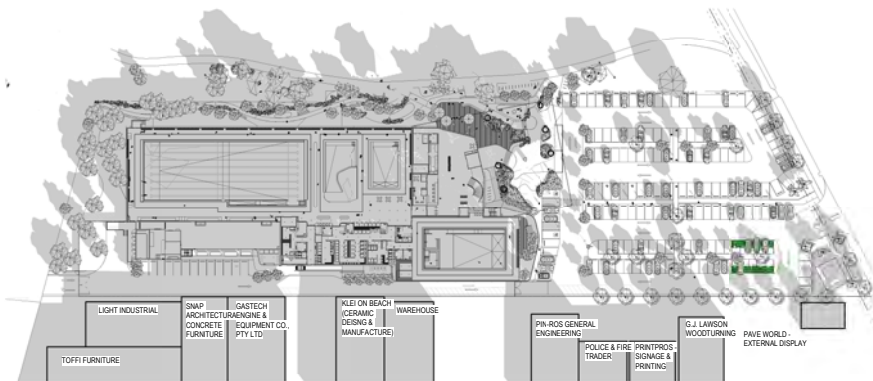
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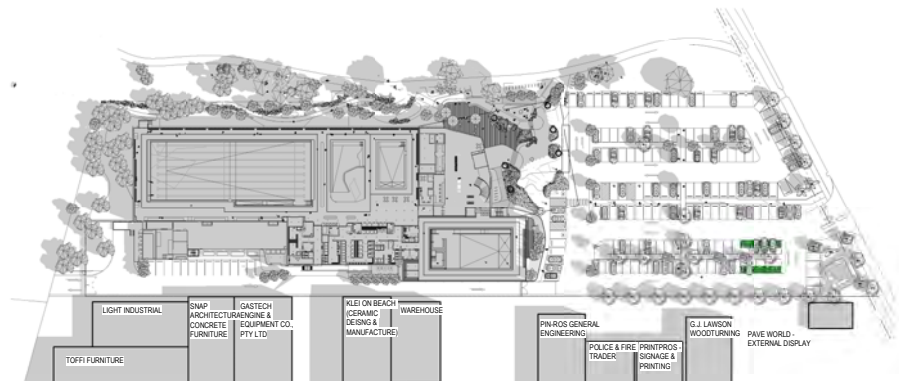
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| PROJECT Kingston's New Aquatic and Leisure Centre, 1-7 Wells Road, Mordialloc. |
| DRAWING: SHADOW STUDIES - EXISTING BUILDING - EQUINOX |
| DRAWING NO: TP991 |
| REVISION: 1 |

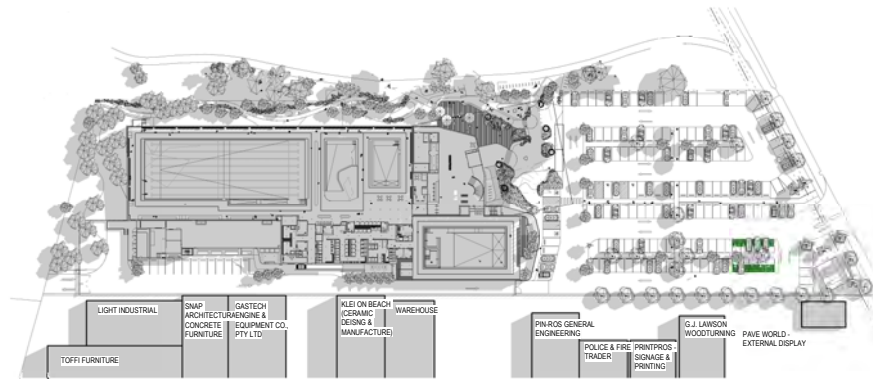
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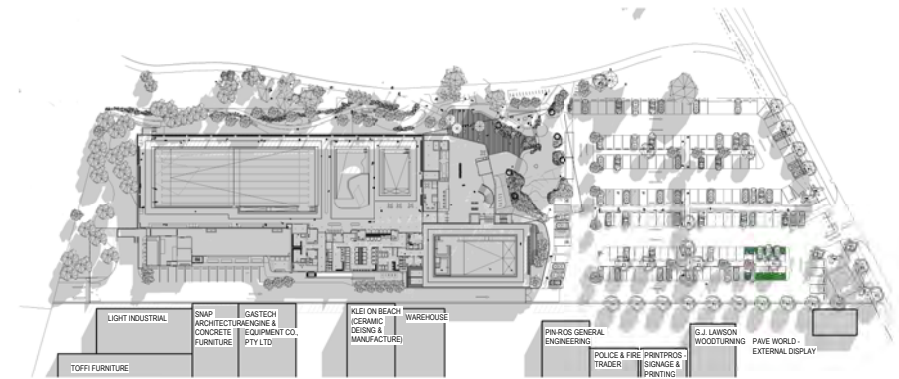
1 Shadow Studies - Proposed Design - Equinox 22 Sept - 9AM



2 Shadow Studies - Proposed Design - Equinox 22 Sept - 11AM



3 Shadow Studies - Proposed Design - Equinox 22 Sept - 1PM



4 Shadow Studies - Proposed Design - 3PM

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| PROJECT Kingston's New Aquatic and Leisure Centre, 1-7 Wells Road, Mordialloc. | |
| DRAWING SHADOW STUDIES - PROPOSED DESIGN - EQUINOX | |
| DRAWING NO. TP992 | REVISION 1 |



Artist's Impression - North West from Governor Road



Artist's Impression - North from Governor Road



Artist's Impression - South East from Wells Road



Artist's Impression - North East from Governor Road

| | | | | |
|--|--|---|---|--|
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Appendix 1



Artist's Impression - Western Interface



Artist's Impression - North Western Interface



Artist's Impression - Western Interface



Artist's Impression - Western Cafe Terrace Interface



Artist's Impression - North Western Landscape Forecourt Interface



Artist's Impression - Western Cafe Interface

4.3 KP-2023/574 - 1-7 Wells Road and Jack Grut Reserve, Mordialloc - KP-2023/574 - 1-7 Wells Road and Jack Grut Reserve, Mordialloc - CONSIDERED ARCHITECTURAL PLANS

| | | | | |
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|---|--|---|--|---|



Artist's Impression - Northern Interface



Artist's Impression - North Main dropoff Interface



Artist's Impression - North Main dropoff Interface



Artist's Impression - North Western Interface



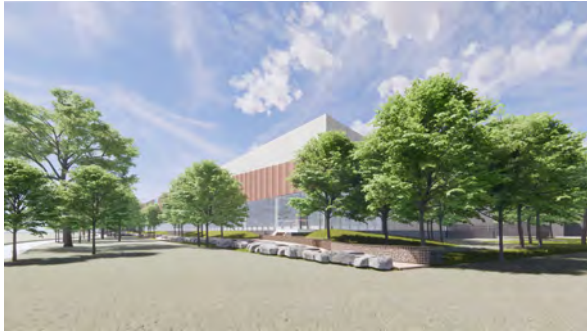
Artist's Impression - Cafe Terrace Interface



Artist's Impression - Cafe Terrace Interface

| | | | | | | | | | | | | |
|--|---|------------|------------------------|------------|--|-----|-------------|------|-----|---|--|--|
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Artist's Impression - Southern Interface



Artist's Impression - Western Interface

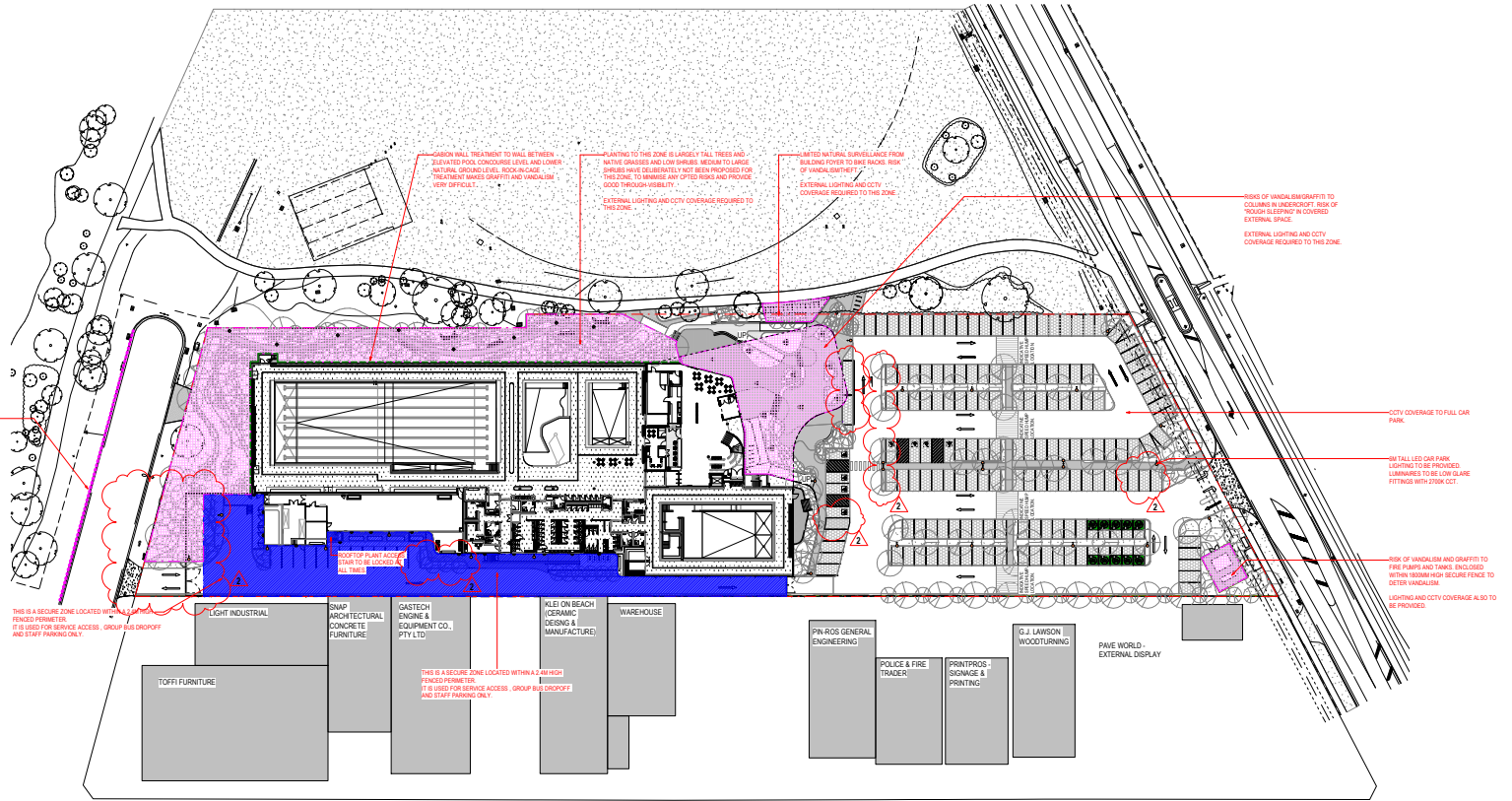


Artist's Impression - Eastern Interface



Artist's Impression - Eastern Interface

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|---|---|------------|-------------|------|-----|---|------------------------|------------|--|---|---|--|
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| 1 | ISSUE FOR TOWNPLANNING | 18.10.2023 | | | | | | | | | | |



QUIET STREET WITH LIMITED NATURAL SURVEILLANCE, PARTICULARLY AT NIGHT THE RISK OF SERIOUS VANDALISM, ANTI-SOCIAL BEHAVIOUR.

THIS IS A SECURE ZONE LOCATED WITHIN A HIGH FENCE PERIMETER. IT IS USED FOR SERVICE ACCESS, GROUP BUS DROPOFF AND STAFF PARKING ONLY.

TOFFI FURNITURE

LIGHT INDUSTRIAL

SNAP ARCHITECTURAL CONCRETE FURNITURE

GASTECH (ENGINE & EQUIPMENT CO., PTY LTD)

W/LET ON BEACH (CERAMIC DESIGN & MANUFACTURE)

WAREHOUSE

PN-RGS GENERAL ENGINEERING

POLICE & FIRE TRADER

PRINTPROS. SIGNAGE & PRINTING

G.J. LAWSON WOODTURNING

PAVE WORLD - EXTERNAL DISPLAY

THIS IS A SECURE ZONE LOCATED WITHIN A HIGH FENCE PERIMETER. IT IS USED FOR SERVICE ACCESS, GROUP BUS DROPOFF AND STAFF PARKING ONLY.

ROOF TOP PLANT ACCESS STAIR TO BE COVERED AS ALL TIMES

PLANTING TO THIS ZONE IS LARGELY TALL TREES AND NATIVE GRASSES AND LOW SHRUBS BECAUSE TO LARGE SHRUBS HAVE GENERALLY NOT BEEN PROVIDED FOR THIS ZONE. TO MANAGE ANY CROPPED TREES AND PRUNING TO REMAIN LIGHTING AND CCTV COVERAGE REQUIRED TO THIS ZONE.

EXTERNAL LIGHTING AND CCTV COVERAGE REQUIRED TO THIS ZONE.

RISKS OF VANDALISM/GRAFFITI TO COLLARS IN UNDERCROFT RISK OF "TOUCH SLEEPING" IN COVERED EXTERNAL SPACE.

EXTERNAL LIGHTING AND CCTV COVERAGE REQUIRED TO THIS ZONE.

RISKS OF VANDALISM AND GRAFFITI TO FIRE PUMPS AND TANKS ENCLOSED WITHIN HIGH SECURITY FENCE TO DETER VANDALISM.

LIGHTING AND CCTV COVERAGE ALSO TO BE PROVIDED.

CITY COVERAGE TO FULL CAR PARK.

SHORT TALL LED CAR PARK LIGHTING TO BE PROVIDED. LUMINAIRES TO BE LOW GLARE FITTINGS WITH 2700K CCT.

LEGEND

- EXTENT OF DEMOLITION WORKS.
- - - GARDEN WALL TREATMENT.
- VANDALISM AND GRAFFITI RISK ZONES.
- SECURE ZONE WITHIN 2.4M HIGH FENCE PERIMETER.
- EXTERNAL LIGHTING LOCATIONS.
- PERIMETER WALL LIGHT
- POLE TOP CARPARK LIGHT
- WALL MOUNTED CARPARK LIGHT

NOTE: TO REFER TO EXTERNAL LIGHTING PROPOSAL REPORT BY SERVICES ENGINEER, INTROBIA FOR FURTHER DETAILS.

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| 1 | ISSUE FOR TOWNPLANNING | 18/10/23 | |

CO.OP
CO-OP STUDIO
Level 7, 176 Wellington Parade, East Melbourne, VIC
2006
Phone: 03 450 29 614
Admin: admin@co-opstudio.com.au
CLIENT: City of Kingston

PROJECT NUMBER
100329

DRAWN BY: Author

PRELIMINARY
NOT TO BE USED DURING CONSTRUCTION

SCALE: As indicated @ A1

PROJECT
Kingston's New Aquatic and Leisure Centre, 1-7 Wells Road Mordialloc.

DRAWING:
ACTIVATION AND SURVEILLANCE RESPONSE PLAN

DRAWING NO: **TP997** REVISION: **2**

KINGSTON AQUATIC AND LEISURE CENTRE

1-7 WELLS ROAD, MORDIALLOC VIC 3195

LANDSCAPE SCHEMATIC DESIGN PACKAGE

NOVEMBER 2023

DRAWING INDEX

LSD000 COVER SHEET

SUMMARY SITE DESIGN CONSIDERATIONS

LSD101 EXISTING TREE PLAN
LSD102 EXISTING TREE SCHEDULE
LSD103 PROPOSED TREE PLAN & SCHEDULE
LSD104 GREEN FACTOR ANALYSIS
LSD105 SITE ZONING PLAN
LSD106 SITE ADJACENT OPPORTUNITIES

SCHEMATIC DESIGN DEVELOPMENT

LSD201 LANDSCAPE DESIGN MASTER PLAN
LSD202 DESIGN ZONES SHEET LAYOUT
LSD203 ZONE 1 | WELLS ROAD AND CREEK INTERFACE LANDSCAPE
LSD204 ZONE 1 | WELLS ROAD AND CREEK INTERFACE LANDSCAPE SECTIONS 1 & 2
LSD205 ZONE 2 | WESTERN TERRACED LANDSCAPE
LSD206 ZONE 2 | WESTERN TERRACED LANDSCAPE SECTIONS 1 & 2
LSD207 ZONE 2 | WESTERN TERRACED LANDSCAPE SECTIONS 3 & 4
LSD208 ZONE 2 | WESTERN TERRACED LANDSCAPE SECTIONS 5 & 6
LSD209 ZONE 2 | WESTERN TERRACED LANDSCAPE SECTION 6
LSD210 ZONE 3 | UNDER-CROFT ENTRY PLAZA LANDSCAPE
LSD211 ZONE 3 | UNDER-CROFT ENTRY PLAZA LANDSCAPE SECTIONS 1 & 2
LSD212 ZONE 3 | UNDER-CROFT ENTRY PLAZA LANDSCAPE SECTION 3
LSD213 ZONE 3 | UNDER-CROFT ENTRY PLAZA LANDSCAPE SECTION 4
LSD214 ZONE 4 | CARPARK & STREETScape FRONTAGE LANDSCAPE
LSD215 ZONE 4 | CARPARK & STREETScape FRONTAGE LANDSCAPE SECTION & DETAILS
LSD216 ZONE 5 | ADMINISTRATION + WARM WATER POOL COURTYARD
LSD217 ZONE 5 | ADMINISTRATION + WARM WATER POOL COURTYARD SECTION 1 & 2
LSD218 ZONE 6 | EASTERN GROUP DROP OFF & STAFF/ SERVICE LANDSCAPE
LSD219 ZONE 6 | EASTERN GROUP DROP OFF & STAFF/ SERVICE LANDSCAPE SECTIONS 1 & 2

LOOK + FEEL

LSD 301 MATERIAL PALETTE
LSD 302 LOCAL INDIGENOUS PLANT SPECIES RESEARCH
LSD 303 PROPOSED PLANT SCHEDULE
LSD 304 PROPOSED PLANT SCHEDULE
LSD 305 PLANT MIX 01- SHADE LOVING UNDER-STOREY & FEATURE PLANTING
LSD 306 PLANT MIX 02- SMALL SHRUBS & GROUND COVER PLANTING
LSD 307 PLANT MIX 03- GRASSLANDS & GROUND COVER PLANTING
LSD 308 PLANT MIX 03- GRASSLANDS & GROUND COVER PLANTING
LSD 309 PLANT MIX 04- WSUD (PASSIVELY IRRIGATED GARDEN)
LSD 310 PLANT MIX 05- WSUD (RAIN GARDEN)
LSD 311 CLIMBERS TO FENCING & COLUMNS

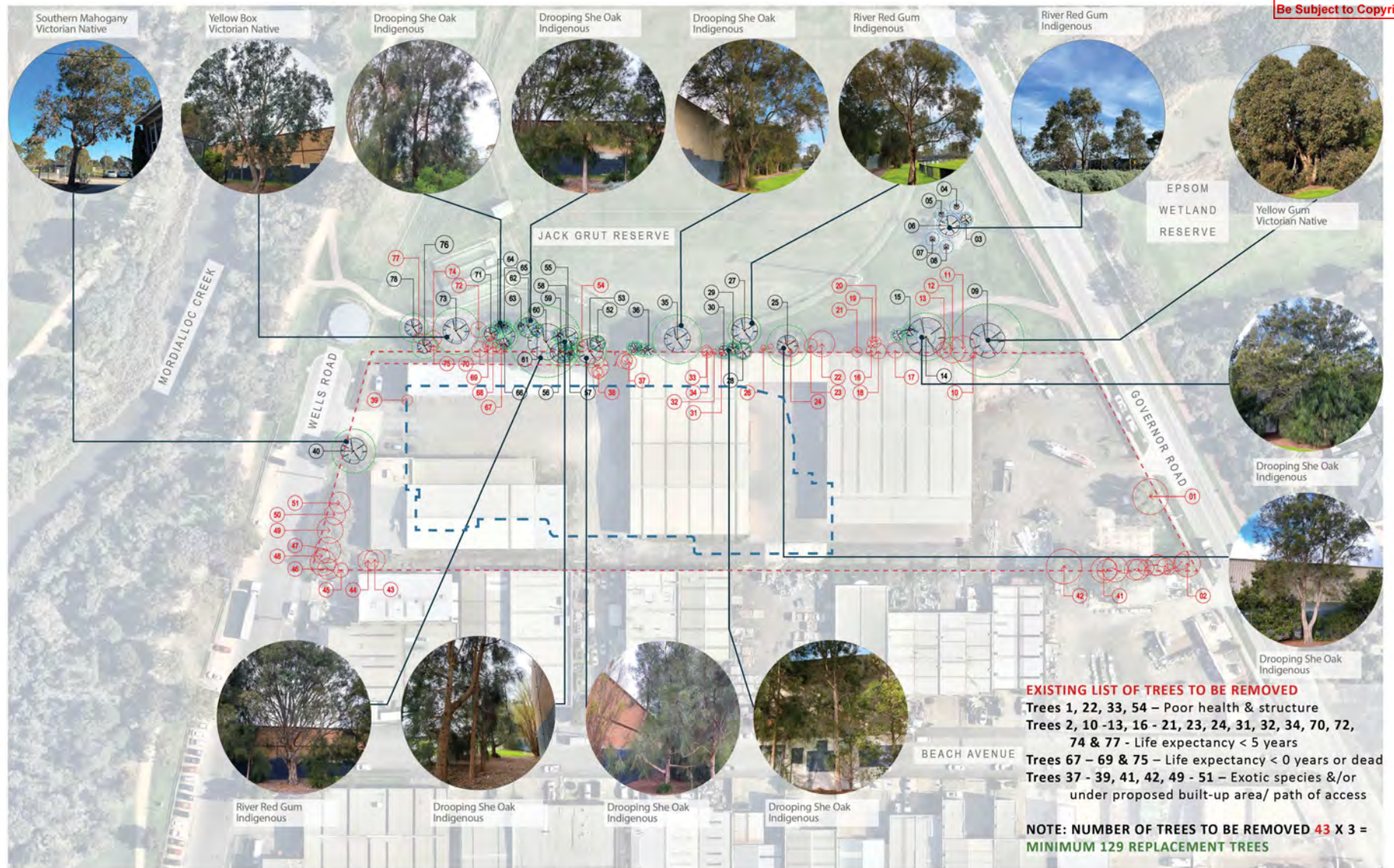


SITE IMAGE



SITE IMAGE LANDSCAPE ARCHITECTS (VIC) | 140 DRUMMOND STREET CARLETON VIC 3043 AUSTRALIA | T +61 3 8577 4800

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SITE IMAGE
Landscape Architects

KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
EXISTING TREE PLAN

SCALE: 1:500 @ A1 | 1:1000 @ A3
0 5 10 20M 50M



CLIENT
ARCHITECT
SITE IMAGE JOB NUMBER

CITY OF KINGSTON
CO-OP
SM23534

DRAWING NUMBER
ISSUE
DATE

LSD101
C
13.10.2023

Site Image Landscape Architects (VIC) 149 Drummond Street Carlton VIC 3053 Australia | T +61 3 9329 4633

| TREE NO. | BOTANICAL NAME | COMMON NAME | HEIGHT X WIDTH (M) | SRZ (RADIUS M) | TPS (RADIUS M) | STATUS |
|----------|-----------------------------------|---------------------|--------------------|----------------|----------------|----------------|
| 1 | <i>Salix matsudana</i> | Tortured Willow | 9 X 9 | 3.1 | 10.4 | TO BE REMOVED |
| 2 | <i>Salix babingtonia</i> | Weeping Willow | 9 X 7 | 2.6 | 4.2 | TO BE REMOVED |
| 3 | <i>Eucalyptus camaldulensis</i> | River Red Gum | 6 X 3.5 | 1.8 | 2 | TO BE RETAINED |
| 4 | <i>Eucalyptus camaldulensis</i> | River Red Gum | 5 X 3 | 1.5 | 2 | TO BE RETAINED |
| 5 | <i>Eucalyptus camaldulensis</i> | River Red Gum | 6 X 3 | 1.5 | 2 | TO BE RETAINED |
| 6 | <i>Eucalyptus camaldulensis</i> | River Red Gum | 6.5 X 4.5 | 2.5 | 3.6 | TO BE RETAINED |
| 7 | <i>Eucalyptus camaldulensis</i> | River Red Gum | 4.5 X 2 | 1.5 | 2 | TO BE RETAINED |
| 8 | <i>Eucalyptus camaldulensis</i> | River Red Gum | 5 X 3 | 1.5 | 2 | TO BE RETAINED |
| 9 | <i>Eucalyptus leucocylon</i> | Yellow Gum | 13 X 14 | 3.1 | 10.7 | TO BE RETAINED |
| 10 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 4 X 2 | 1.5 | 2 | TO BE REMOVED |
| 11 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 14 X 5 | 2.3 | 3.7 | TO BE REMOVED |
| 12 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 13 X 4 | 2 | 2.9 | TO BE REMOVED |
| 13 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 13 X 3 | 1.7 | 2 | TO BE REMOVED |
| 14 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 14 X 11 | 2.8 | 7 | TO BE RETAINED |
| 15 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 9 X 20 | 1.5 | 2 | TO BE RETAINED |
| 16 | <i>Myoporum laetare</i> | Boobiala | 3 X 12 | 1.5 | 2 | TO BE REMOVED |
| 17 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 12 X 3 | 1.8 | 2.2 | TO BE REMOVED |
| 18 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 12 X 4 | 2 | 3 | TO BE REMOVED |
| 19 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 12 X 2 | 1.8 | 2.3 | TO BE REMOVED |
| 20 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 13 X 4.5 | 2.3 | 4.8 | TO BE REMOVED |
| 21 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 8 X 2 | 1.5 | 2 | TO BE REMOVED |
| 22 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 12 X 5.5 | 2.1 | 4.1 | TO BE REMOVED |
| 23 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 7 X 3 | 1.5 | 2 | TO BE REMOVED |
| 24 | <i>Acacia melanoxylon</i> | Blackwood | 8 X 6.5 | 1.8 | 2.4 | TO BE REMOVED |
| 25 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 15 X 10 | 2.6 | 6 | TO BE RETAINED |
| 26 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 7 X 4 | 1.5 | 2 | TO BE REMOVED |
| 27 | <i>Eucalyptus camaldulensis</i> | River Red Gum | 9 X 9 | 2.5 | 4.8 | TO BE RETAINED |
| 28 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 13 X 5 | 2 | 2.6 | TO BE RETAINED |
| 29 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 13 X 4 | 1.8 | 2 | TO BE RETAINED |
| 30 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 13 X 4 | 1.9 | 2.4 | TO BE RETAINED |
| 31 | <i>Acacia melanoxylon</i> | Blackwood | 4 X 2 | 1.5 | 2 | TO BE REMOVED |
| 32 | <i>Acacia melanoxylon</i> | Blackwood | 7 X 3 | 1.5 | 2 | TO BE REMOVED |
| 33 | <i>Acacia melanoxylon</i> | Blackwood | 7 X 3 | 1.5 | 2 | TO BE REMOVED |
| 34 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 8.5 X 3 | 1.5 | 2 | TO BE REMOVED |
| 35 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 12 X 12 | 2.9 | 7.2 | TO BE RETAINED |
| 36 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 9 X 10 | 1.5 | 2 | TO BE RETAINED |
| 37 | <i>Populus nigra 'italica'</i> | Lombardy Poplar | 11 X 4.5 | 2.1 | 4.2 | TO BE REMOVED |
| 38 | <i>Populus nigra 'italica'</i> | Lombardy Poplar | 11 X 4.5 | 2.5 | 6 | TO BE REMOVED |
| 39 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 7 X 4 | 1.9 | 2 | TO BE REMOVED |
| 40 | <i>Eucalyptus botryoides</i> | Southern Mahogany | 9 X 7 | 2.7 | 6.4 | TO BE RETAINED |
| 41 | <i>Populus alba</i> | White Poplar | 14 X 7 | 2.3 | 7.3 | TO BE REMOVED |
| 42 | <i>Salix babingtonia</i> | Weeping Willow | 13 X 14 | 3.4 | 12.5 | TO BE REMOVED |
| 43 | <i>Callitris citrinus</i> | Crimson Bottlebrush | 7 X 4.5 | 2.4 | 4.4 | TO BE REMOVED |
| 44 | <i>Callitris viminalis</i> | Weeping Bottlebrush | 6 X 4 | 2.2 | 4 | TO BE REMOVED |
| 45 | <i>Alnus acuminata</i> | Evergreen Alder | 7 X 6 | 2.3 | 4.2 | TO BE REMOVED |
| 46 | <i>Alnus acuminata</i> | Evergreen Alder | 7 X 6 | 2.4 | 4.3 | TO BE REMOVED |
| 47 | <i>Pittosporum undulatum</i> | Sweet Pittosporum | 7 X 6 | 2 | 2.8 | TO BE REMOVED |
| 48 | <i>Alnus acuminata</i> | Evergreen Alder | 7 X 6 | 2.2 | 4.1 | TO BE REMOVED |
| 49 | <i>Alnus acuminata</i> | Evergreen Alder | 7 X 4 | 2.4 | 4.8 | TO BE REMOVED |
| 50 | <i>Alnus acuminata</i> | Evergreen Alder | 7 X 6 | 2.2 | 3.1 | TO BE REMOVED |
| 51 | <i>Alnus acuminata</i> | Evergreen Alder | 7 X 6 | 2.3 | 3.4 | TO BE REMOVED |
| 52 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 7 X 3.5 | 1.7 | 2 | TO BE RETAINED |
| 53 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 9.5 X 5 | 2.1 | 3.1 | TO BE RETAINED |
| 54 | <i>Eucalyptus sp.</i> | Eucalypt | 6 X 3 | 1.5 | 2 | TO BE REMOVED |
| 55 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 11 X 5 | 2.2 | 3.7 | TO BE RETAINED |
| 56 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 4 X 3 | 1.5 | 2 | TO BE RETAINED |
| 57 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 6 X 3 | 1.5 | 2 | TO BE RETAINED |
| 58 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 11 X 4 | 1.8 | 2.4 | TO BE RETAINED |
| 59 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 12 X 4 | 2.3 | 4 | TO BE RETAINED |
| 60 | <i>Eucalyptus camaldulensis</i> | River Red Gum | 15 X 13 | 3.3 | 10.4 | TO BE RETAINED |
| 61 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 3.5 X 3.5 | 1.5 | 2 | TO BE RETAINED |
| 62 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 7 X 5 | 1.9 | 2.6 | TO BE RETAINED |
| 63 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 5 X 2 | 1.5 | 2 | TO BE RETAINED |
| 64 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 5 X 2 | 1.5 | 2 | TO BE RETAINED |
| 65 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 8 X 5 | 2.3 | 3.8 | TO BE RETAINED |
| 66 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 8 X 3 | 1.6 | 2 | TO BE RETAINED |
| 67 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 5 X 4 | 2 | 2.4 | TO BE RETAINED |
| 68 | <i>Acacia melanoxylon</i> | Blackwood | 6 X 2.5 | 1.9 | 2.2 | TO BE REMOVED |
| 69 | <i>Acacia melanoxylon</i> | Blackwood | 3.5 X 2.5 | 1.7 | 2 | TO BE REMOVED |
| 70 | <i>Corymbia maculata</i> | Spotted Gum | 8 X 4.5 | 1.9 | 2.4 | TO BE REMOVED |
| 71 | <i>Corymbia maculata</i> | Spotted Gum | 7.5 X 4 | 1.9 | 2.6 | TO BE RETAINED |
| 72 | <i>Acacia melanoxylon</i> | Blackwood | 3.5 X 4 | 1.8 | 3 | TO BE REMOVED |
| 73 | <i>Eucalyptus melliodora</i> | Yellow Box | 14 X 13 | 3.1 | 6.8 | TO BE RETAINED |
| 74 | <i>Allocasuarina littoralis</i> | Black She-oak | 4.5 X 3 | 1.7 | 2 | TO BE REMOVED |
| 75 | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 3.5 X 3.5 | 1.5 | 2 | TO BE REMOVED |
| 76 | <i>Allocasuarina littoralis</i> | Black She-oak | 5.5 X 4 | 2.1 | 3.7 | TO BE RETAINED |
| 77 | <i>Allocasuarina littoralis</i> | Black She-oak | 3.5 X 2.5 | 1.5 | 2 | TO BE REMOVED |
| 78 | <i>Allocasuarina littoralis</i> | Black She-oak | 5 X 5 | 2.1 | 4.2 | TO BE RETAINED |



SITE IMAGE
Landscape Architects

KINGSTON AQUATIC AND LEISURE CENTRE

1-7 WELLS ROAD , MORDIALLOC VIC 3195

EXISTING TREE SCHEDULE

| | | | |
|-----------------------|------------------|----------------|------------|
| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | LS0162 |
| ARCHITECT | CG-02 | ISSUE | 0 |
| SITE IMAGE JOB NUMBER | SM23534 | DATE | 13.01.2023 |



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| TREE SPECIES AS PER PLANT MIX | | | | | |
|--|--|------------------------|-------------------------------------|-------------------|----------------------------|
| CODE | BOTANICAL NAME | COMMON NAME | HEIGHT X WIDTH (M) (AT MATURITY) | INSTALLATION SIZE | DENSITY PER/M ² |
| PLANT MIX 1 - SHADE LOVING UNDER-STORY & FEATURE PLANTING | | | | | |
| LARGE TREES - 12 NOS. | | | | | |
| ER | <i>Eucalyptus radiata</i> | Narrow-leaf Peppermint | 10-15.0 x 6-10.0 | 75L | AS SHOWN |
| PLANT MIX 2 - SMALL SHRUBS & GROUND-COVER PLANTING | | | | | |
| LARGE TREES - 24 NOS. | | | | | |
| EM | <i>Eucalyptus melliodora</i> | Yellow Box | 10-20.0 x 8-20.0 | 75L | AS SHOWN |
| ER | <i>Eucalyptus radiata</i> | Narrow-leaf Peppermint | 10-15.0 x 6-10.0 | 75L | AS SHOWN |
| EV | <i>Eucalyptus viminalis</i> ssp <i>pyriana</i> | Coastal Manna Gum | 8-16.0 x 5-12.0 | 45L | AS SHOWN |
| SMALL TREES - 59 NOS. | | | | | |
| AL | <i>Allocasuarina littoralis</i> | Black She-oak | 4-8.0 x 2-5.0 | 75L | AS SHOWN |
| AV | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 8.0 x 6.0 | 75L | AS SHOWN |
| PLANT MIX 3 | | | | | |
| LARGE TREES - 30 NOS. | | | | | |
| EC | <i>Eucalyptus camaldulensis</i> | River Red Gum | 12-30.0 x 15-20.0 | 45/75L | AS SHOWN |
| EM | <i>Eucalyptus melliodora</i> | Yellow Box | 10-20.0 x 8-20.0 | 75L | AS SHOWN |
| ES | <i>Eucalyptus ovata</i> | Swamp Gum | 8-20.0 x 8-20.0 | 75L | AS SHOWN |
| ER | <i>Eucalyptus radiata</i> | Narrow-leaf Peppermint | 10-15.0 x 6-10.0 | 75L | AS SHOWN |
| EV | <i>Eucalyptus viminalis</i> ssp <i>pyriana</i> | Coastal Manna Gum | 8-16.0 x 5-12.0 | 45L | AS SHOWN |
| SMALL TREES - 40 NOS. | | | | | |
| AL | <i>Allocasuarina littoralis</i> | Black She-oak | 4-8.0 x 2-5.0 | 75L | AS SHOWN |
| AV | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 8.0 x 6.0 | 75L | AS SHOWN |
| BM | <i>Banksia marginata</i> | Silver Banksia | 4-6.0 x 1-3.0 | 75L | AS SHOWN |

| TREE SPECIES AS PER PLANT MIX | | | | | |
|-------------------------------|-----------------------------------|-----------------|-------------------------------------|-------------------|----------------------------|
| CODE | BOTANICAL NAME | COMMON NAME | HEIGHT X WIDTH (M) (AT MATURITY) | INSTALLATION SIZE | DENSITY PER/M ² |
| PLANT MIX 4 | | | | | |
| LARGE TREES - 33 NOS. | | | | | |
| EC | <i>Eucalyptus camaldulensis</i> | River Red Gum | 12-30.0 x 15-20.0 | 45/75L | AS SHOWN |
| ES | <i>Eucalyptus ovata</i> | Swamp Gum | 8-20.0 x 8-20.0 | 75L | AS SHOWN |
| SMALL TREES - 3 NOS. | | | | | |
| AL | <i>Allocasuarina littoralis</i> | Black She-oak | 4-8.0 x 2-5.0 | 75L | AS SHOWN |
| AV | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 8.0 x 6.0 | 75L | AS SHOWN |
| ME | <i>Melaleuca ericifolia</i> | Swamp Paperbark | 2.0-7.0 x 2.0-3.0 | 75L | AS SHOWN |
| PLANT MIX 5 | | | | | |
| SMALL TREES - 35 NOS. | | | | | |
| DA | <i>Dillwynia aerea</i> | Swamp Paperbark | 9.0 x 6.0 | 45L | AS SHOWN |

MINIMUM 129 REPLACEMENT TREES REQUIRED

PROPOSED REPLACEMENT TREES

-  LARGE TREES 99
-  SMALL TREES 137

TOTAL - 236

PLANT MIX LEGEND

-  PROPOSED PLANT MIX 01
SHADE LOVING UNDER-STORY & FEATURE PLANTING
-  PROPOSED PLANT MIX 02
SMALL SHRUBS & GROUND-COVER PLANTING
-  PROPOSED PLANT MIX 03
GRASSLANDS & GROUND-COVER PLANTING
-  PROPOSED PLANT MIX 04
WUD (PASSIVELY IRRIGATED GARDEN)
-  PROPOSED PLANT MIX 05
WUD (RAIN GARDEN)



KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
PROPOSED TREE PLAN & SCHEDULES



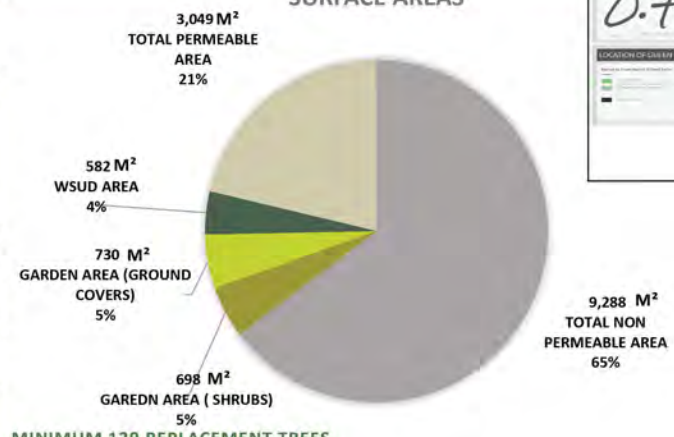
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| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | LS0103 |
| ARCHITECT | CO-OP | ISSUE | 01 |
| SITE IMAGE JOB NUMBER | SM2354 | DATE | 20-11-2023 |

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GREEN FACTOR CALCULATIONS

| | IDEAL GREEN FACTOR | MINIMUM GREEN FACTOR | VIABLE GREEN FACTOR | CURRENT SCHEMATIC LANDSCAPE DESIGN GREEN FACTOR |
|--|--------------------|----------------------|---------------------|---|
| GREEN FACTOR RATING | 0.85 | 0.55 | 0.7 | 0.7 |
| TOTAL SITE AREA | 14,598 | 14,598 | 14,598 | 14,598 |
| LESS BUILDING FOOTPRINT | 5,044 | 5,044 | 5,044 | 35% |
| LESS CARPARK ROAD HARDSTAND | 3,197 | 3,197 | 3,197 | 22% |
| LESS CARPARK PATH HARDSTAND | - | 166 | 166 | 1% |
| LESS UNDERCROFT HARDSTAND | 400 | 815 | 815 | 5% |
| LESS PERMEABLE CARPARKS | 2,636 | 2,636 | 2,636 | 18% |
| LESS GROUP ENTRY HARDSTAND | 137 | 137 | 137 | 1% |
| AVAILABLE PLANTING ZONES | 3,184 | 2,603 | 3,123 | 2,674 |
| GARDEN | 40% 1,274 | 75% 1,952 | 65% 2,030 | 53% 1,427 |
| PAVED AREA | 10% 318 | 25% 651 | 3% 94 | 0% |
| WSUD (PM04 + 05) | 50% 1,592 | 0% | 20% 625 | 22% 582 |
| PERMEABLE SURFACES WITHIN GARDEN AREAS (New) | | | 12% 375 | 15% 413 |
| TOTAL PERMEABLE SURFACES | | | | 3,049 |
| NUMBER OF NEW TREES | | | | |
| TREES LARGE | 120 | 70 | 95 | 99 |
| TREES SMALL | 110 | 50 | 60 | 139 |
| PLANTING - BY PLANT MIX TYPE | | | | |
| PM01 + PM02 - SMALL SHRUBS | 7% 89 | 0 65 | 60% 1,217.97 | 60% 698 |
| PM03 GROUND COVER + GRASSLANDS | 0% 0 | 1 586 | 40% 812 | 40% 730 |
| TALL SHRUBS | 93% 1,184 | 0 0 | 0% 0 | 0% |
| TOTAL PLANTING AREA | 1,184 | 586 | 2,030 | 1,427 |

SURFACE AREAS



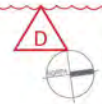
LARGE TREES 99
SMALL TREES 137
TOTAL - 236



SITE PLAN



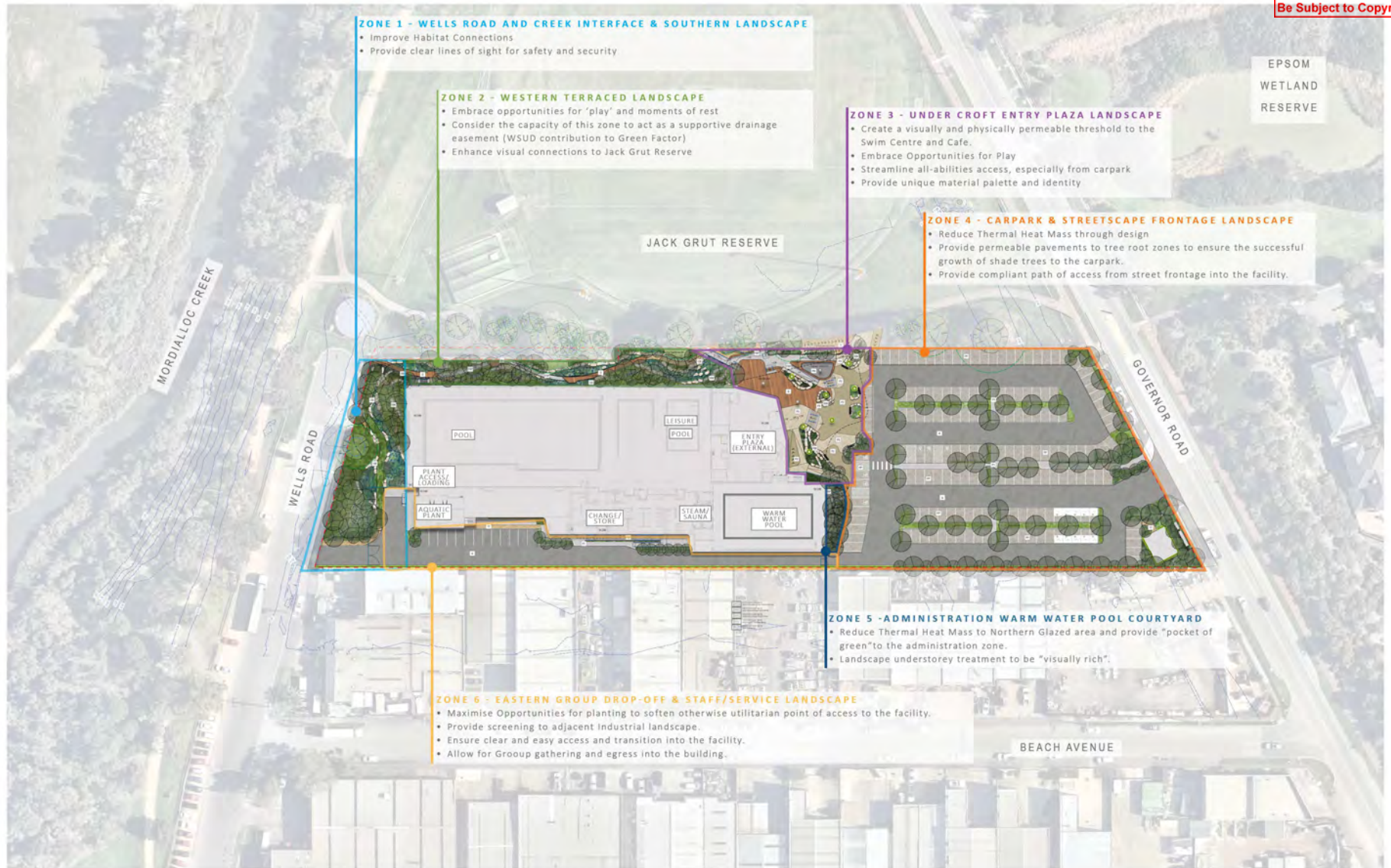
KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
GREEN FACTOR ANALYSIS



CLIENT ARCHITECT
SITE IMAGE JOB NUMBER

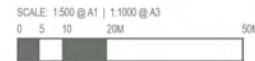
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SMD3534 DATE
13.10.2023

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KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
SITE ADJACENT OPPORTUNITIES



CLIENT
ARCHITECT
SITE IMAGE JOB NUMBER

| | | |
|------------------|----------------|------------|
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| CO-OP | ISSUE | C |
| SM23534 | DATE | 13.10.2023 |



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KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
DESIGN ZONES SHEET LAYOUT

SCALE: 1:500 @ A1 | 1:1000 @ A3
0 5 10 20M 50M



CLIENT
ARCHITECT
SITE IMAGE JOB NUMBER

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CO-OP ISSUE
SM23534 DATE
13.10.2023

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KEY PLAN | NOT TO SCALE

LEGEND

SURFACE FINISHES

- [D] HARDWOOD DECKING
- [PDP] MESH DECK FIBRE-GLASS REINFORCED PLASTIC
- [P1] PAVING - TYPE 01 GREY CEMENT
- [P2] PAVING - TYPE 02 EXPOSED AGGREGATE PAVEMENT LINK
- [P3] PAVING - TYPE 03 PORPHYRY PAVES (VARIOUS SIZES)
- [A] ASPHALT TO CIVIL ENGINEERS DETAIL
- [PP] PERMEABLE PAVERS
- [TT] TUSCAN TOPPING
- [CS] MUDSTONE FEATURE TERRACES & DRY GREEDED
- [PN] PLAY NET. TENSILE ROPE PLAY NET

EDGES/FENCES & WALLS

- [FSA] FENCES/SCREEN TO ARCHITECTS
- [K] KERB 150MM
- [GW] GABION WALL
- [RW] ROCKWORK
- [L] NATURAL LOG INTERVENTION

PLANTING TYPES

- [ET] EXISTING TREE TO BE RETAINED
- [OT] PROPOSED TREES ON GRADE
- [P1C] PROPOSED PLANT MIX 01 SHADE LOVING UNDER-STORY & FEATURE PLANTING
- [P2C] PROPOSED PLANT MIX 02 SMALL SHRUBS & GROUND-COVER PLANTING
- [P3C] PROPOSED PLANT MIX 03 GRASSLANDS & GROUND-COVER PLANTING
- [P4C] PROPOSED PLANT MIX 04 HERB (PINKBELL) PROTECTED GARDEN
- [P5C] PROPOSED PLANT MIX 05 HERB (BANK SWARTZ)
- [C] CLIMBERS TO COLUMNS & FENCE
- [T] TURF

FIXTURES & FITTINGS

- [TAC] TACTILES
- [H] HANDRAILS
- [BS] TIMBER BENCH SEAT ON GABION WALL
- [FBS] FIXED BENCH SEAT
- [B] BINS TO COUNCIL STANDARD
- [BO] BOLLARDS
- [TS] TIMBER FEATURE SEATING/PLAY OPPORTUNITY
- [IP] INTERACTIVE PLAY NODE / MOMENT
- [S] SERVICES



KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
ZONE 01 | WELLS ROAD AND CREEK INTERFACE LANDSCAPE

SCALE: 1:250 @ A1 | 1:500 @ A3
0 2 5 10M 20M



CLIENT
ARCHITECT
SITE IMAGE JOB NUMBER

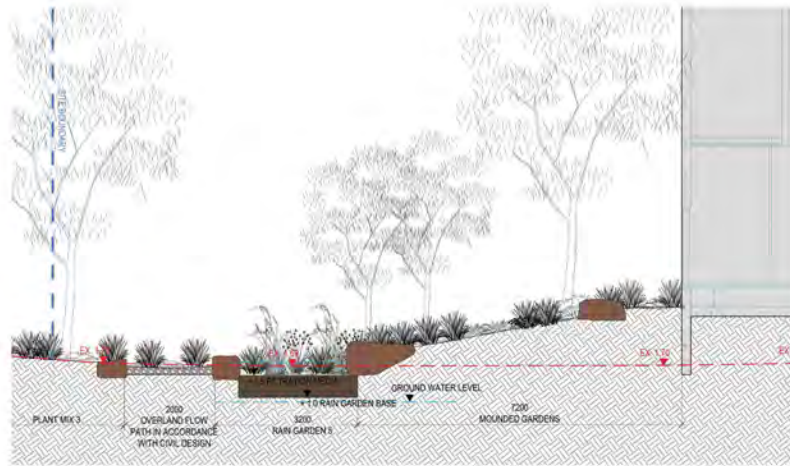
CITY OF KINGSTON
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SM23534
DRAWING NUMBER
ISSUE
DATE
20-11-2023

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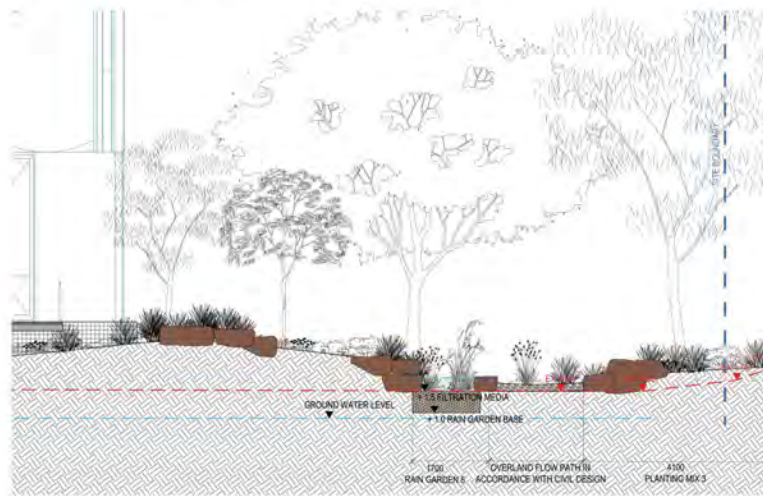
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KEY PLAN - NTS



SECTIONAL ELEVATION 1



SECTIONAL ELEVATION 2



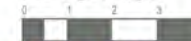
SITE IMAGE
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KINGSTON AQUATIC AND LEISURE CENTRE

1-7 WELLS ROAD, MORDIALLOC VIC 3195

ZONE 01 | WELLS ROAD AND CREEK INTERFACE LANDSCAPE SECTIONS 1 & 2

SCALE: 1:50 @ A1 | 1:100 @ A3



| | | | |
|-----------------------|------------------|----------------|------------|
| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | LS0274 |
| ARCHITECT | CG-CP | ISSUE | 0 |
| SITE IMAGE JOB NUMBER | SM2354 | DATE | 13.10.2023 |

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KEY PLAN 1:100 TO SCALE

LEGEND

SURFACE FINISHES

- HARDWOOD DECKING
- MESH DECK
- FIBRE-GLASS REINFORCED PLASTIC
- PAVING - TYPE 01
- GREY CEMENT
- PAVING - TYPE 02
- EXPOSED AGGREGATE PAVEMENT LINK
- PAVING - TYPE 03
- PORPHYRY PAVES (VARIOUS SIZES)
- ASPHALT
- TO CIVIL ENGINEERS DETAIL
- PERMEABLE PAVERS
- TUSCAN TOPPING
- MUDSTONE FEATURE TERRACES & DRY CREEBED
- PLAY NET. TENSILE ROPE PLAY NET

EDGES/FENCES & WALLS

- FENCES/SCREEN TO ARCHITECTS
- KERB 150MM
- GABION WALL
- ROCKWORK
- NATURAL LOG INTERVENTION

PLANTING TYPES

- EXISTING TREE TO BE RETAINED
- PROPOSED TREES ON GRADE
- PROPOSED PLANT MIX 01
- SHADE LOVING UNDER-STORY & FEATURE PLANTING
- PROPOSED PLANT MIX 02
- SMALL SHRUBS & GROUND-COVER PLANTING
- PROPOSED PLANT MIX 03
- GRASSLANDS & GROUND-COVER PLANTING
- PROPOSED PLANT MIX 04
- HEAVY (PARKS) / PROTECTED GARDENS
- PROPOSED PLANT MIX 05
- WOOD-RAND GARDENS
- CLIMBERS TO COLUMNS & FENCE
- TURF

FIXTURES & FITTINGS

- TACTILES
- HANDRAILS
- TIMBER BENCH SEAT ON GABION WALL
- FIXED BENCH SEAT
- BINS TO COUNCIL STANDARD
- BOLLARDS
- TIMBER FEATURE SEATING/PLAY OPPORTUNITY
- INTERACTIVE PLAY MODE / MOMENT SERVICES



KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
ZONE 02 | WESTERN TERRACED LANDSCAPE & PLAY

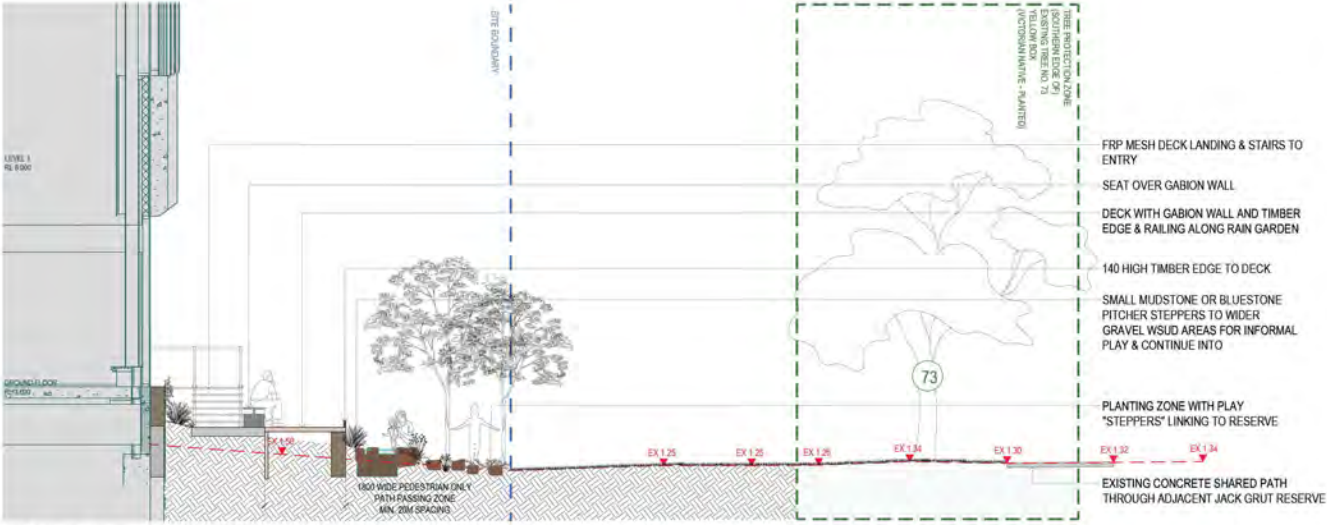
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CLIENT CITY OF KINGSTON DRAWING NUMBER L50205
ARCHITECT CO-OP ISSUE D
SITE IMAGE JOB NUMBER SM23534 DATE 20.11.2023

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KEY PLAN - NTS



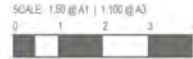
SECTION 1



SECTION 2



KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
ZONE 02 | WESTERN TERRACED LANDSCAPE & PLAY SECTIONS 1 & 2



| | | | |
|-----------------------|------------------|----------------|------------|
| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | LS0206 |
| ARCHITECT | CO-OP | ISSUE | C |
| SITE IMAGE JOB NUMBER | SM2354 | DATE | 13.10.2023 |

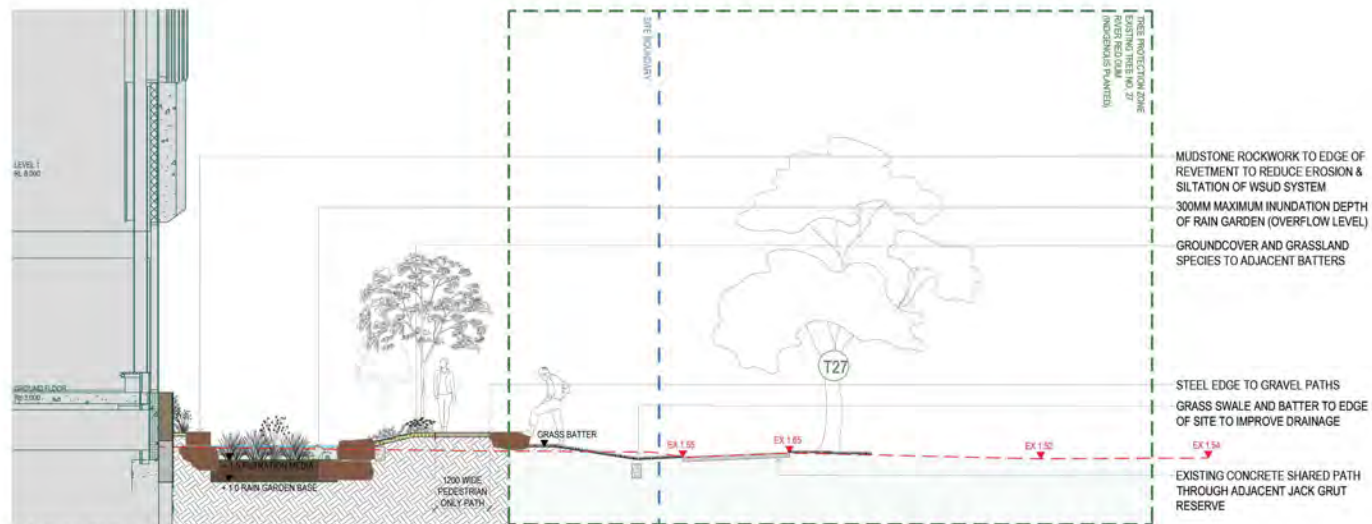
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KEY PLAN - NTS



SECTION 3



SECTION 4

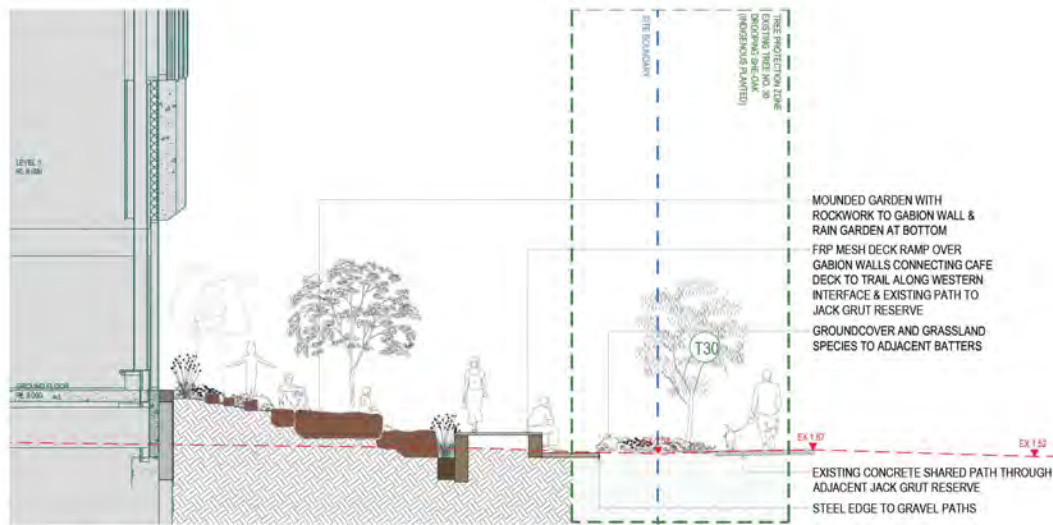


KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
ZONE 02 | WESTERN TERRACED LANDSCAPE & PLAY SECTIONS 3 & 4

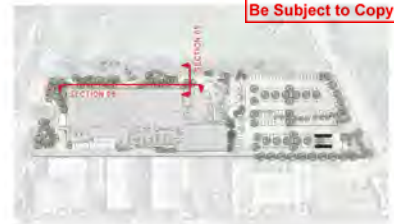


| | | | |
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| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | LSQ207 |
| ARCHITECT | CO-OP | ISSUE | C |
| SITE IMAGE JOB NUMBER | SM2354 | DATE | 13.10.2023 |

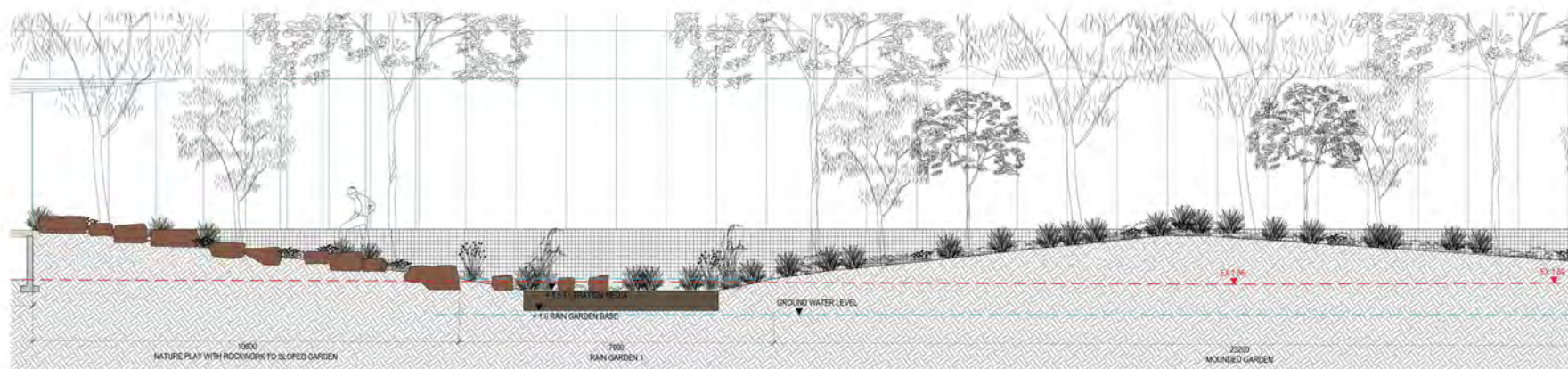
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SECTION 5



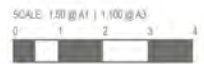
KEY PLAN - NTS



SECTIONAL ELEVATION 6(1)

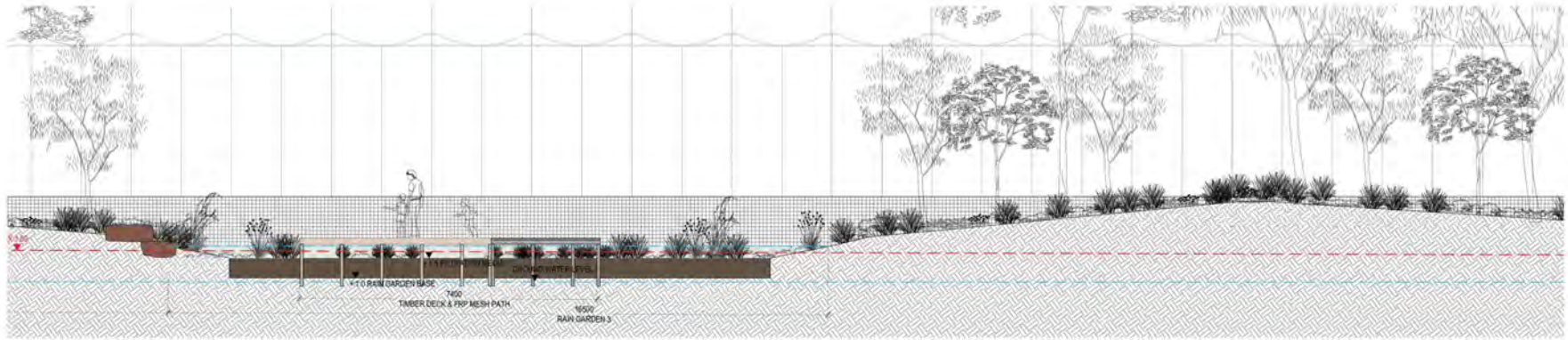


KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
ZONE 02 | WESTERN TERRACED LANDSCAPE & PLAY SECTION 5 & 6

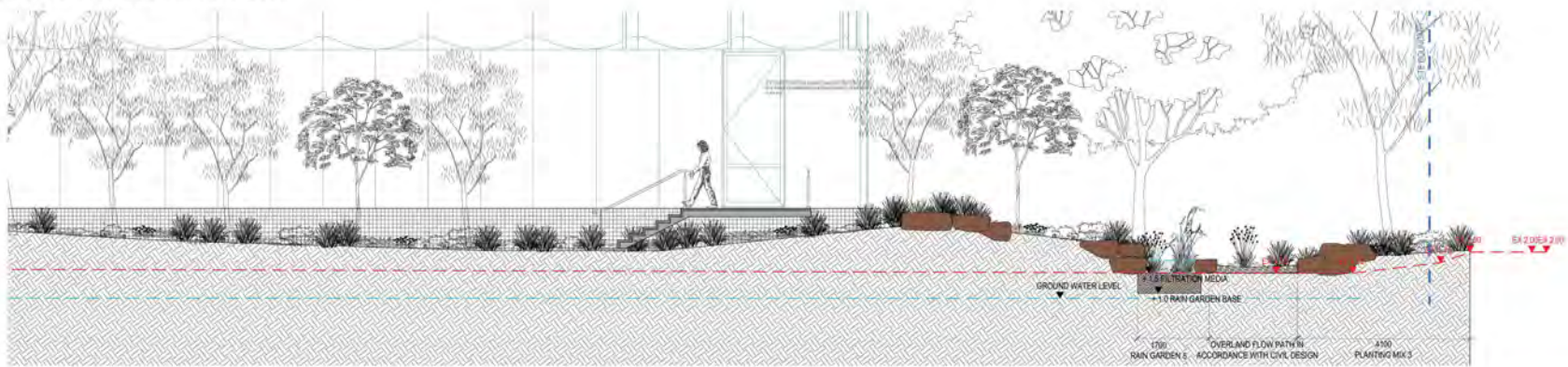


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| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | 180278 |
| ARCHITECT | CO-OP | ISSUE | 0 |
| SITE IMAGE JOB NUMBER | 180254 | DATE | 13.10.2023 |

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SECTIONAL ELEVATION 6(2)



SECTIONAL ELEVATION 6(3)



KEY PLAN - NTS



KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
ZONE 02 | WESTERN TERRACED LANDSCAPE & PLAY SECTION 6

SCALE: 1:500 (A4) | 1:1000 (A3)
0 2 5 20M 3 20M

| | | | |
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| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | 180299 |
| ARCHITECT | CO-OP | ISSUE | 0 |
| SITE IMAGE JOB NUMBER | 180254 | DATE | 13.10.2023 |

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KEY PLAN | NOT TO SCALE
LEGEND
SURFACE FINISHES

- D** HARDWOOD DECKING
- FDP** MESH DECK
- FGR** FIBRE-GLASS REINFORCED PLASTIC
- P1** PAVING - TYPE 01
- P2** PAVING - TYPE 02
- P3** PAVING - TYPE 03
- A** ASPHALT TO CIVIL ENGINEERS DETAIL
- PP** PERMEABLE PAVERS
- TT** TUSCAN TOPPING
- CS** MUDSTONE FEATURE TERRACES & DRY CREEBED
- PN** PLAY NET. TENSILE ROPE PLAY NET

EDGES/FENCES & WALLS

- FS** FENCE/SCREEN TO ARCHITECTS
- K** KERB 150MM
- GW** GABION WALL
- RW** ROCKWORK
- L** NATURAL LOG INTERVENTION

PLANTING TYPES

- ET** EXISTING TREE TO BE RETAINED ON GRADE
- P1** PROPOSED PLANT MIX 01 SHADE LOVING UNDER-STORY & FEATURE PLANTING
- P2** PROPOSED PLANT MIX 02 SMALL SHRUBS & GROUND-COVER PLANTING
- P3** PROPOSED PLANT MIX 03 GRASSLANDS & GROUND-COVER PLANTING
- P4** PROPOSED PLANT MIX 04 REED (PANSY/ELLY PRIGGARD GARDEN)
- P5** PROPOSED PLANT MIX 05 REED (RAN GARDEN)
- C** CLIMBERS TO COLUMNS & FENCE
- T** TURF

FIXTURES & FITTINGS

- TS** TACTILES
- H** HANDRAILS
- CS** TIMBER BENCH SEAT ON GABION WALL
- FS** FIXED BENCH SEAT
- B** BINS TO COUNCIL STANDARD
- B** BOLLARDS
- TS** TIMBER FEATURE SEATING/PLAY OPPORTUNITY
- TS** INTERACTIVE PLAY NODE / MOMENT SERVICES



KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
ZONE 03 | UNDER-CROFT ENTRY PLAZA LANDSCAPE

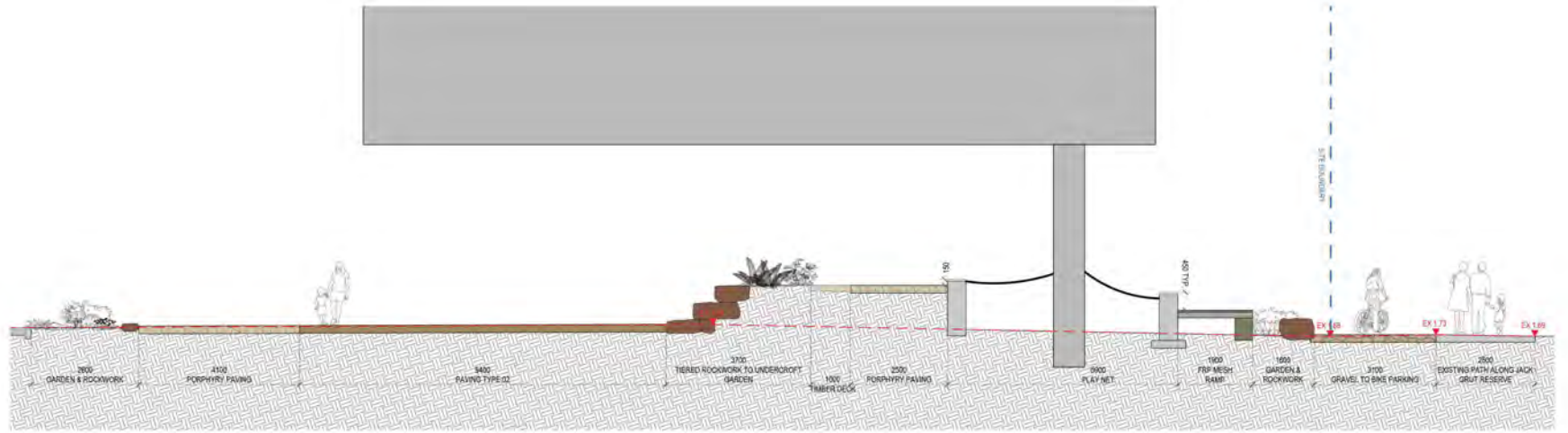
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CLIENT: CITY OF KINGSTON
ARCHITECT: CO-OP
SITE IMAGE JOB NUMBER: SM23534

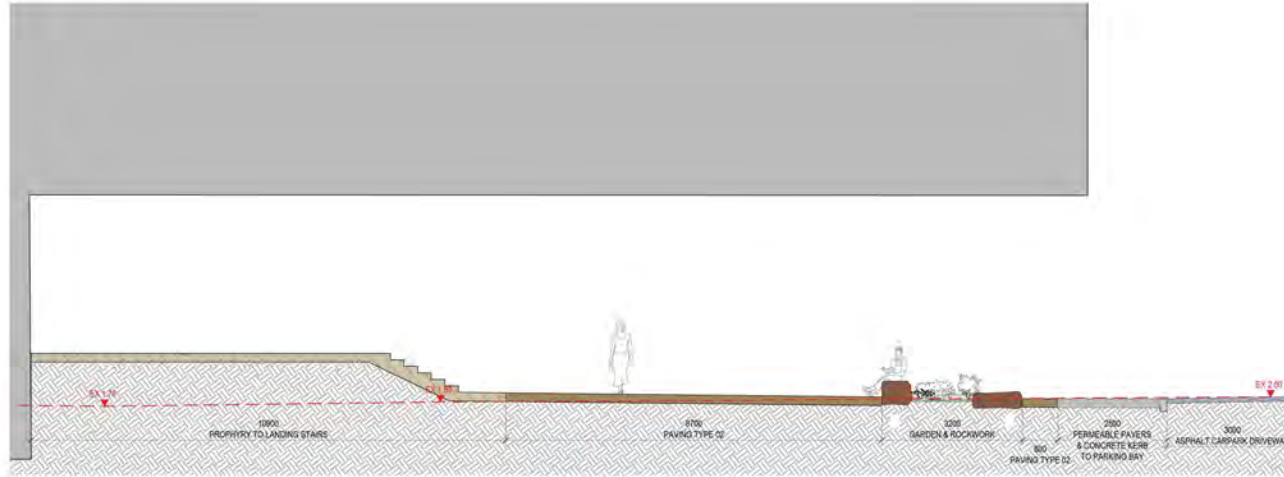
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ISSUE: D
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SECTION 1



SECTIONAL ELEVATION 2



KEY PLAN - NTS



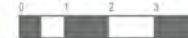
SITE IMAGE
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KINGSTON AQUATIC AND LEISURE CENTRE

1-7 WELLS ROAD, MORDIALLOC VIC 3195

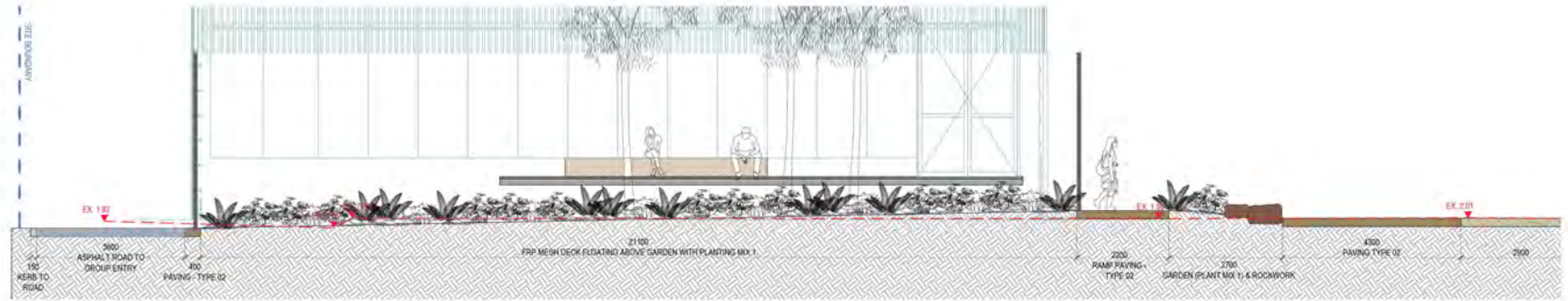
ZONE 03 | UNDER-CROFT ENTRY PLAZA LANDSCAPE SECTIONS 1 & 2

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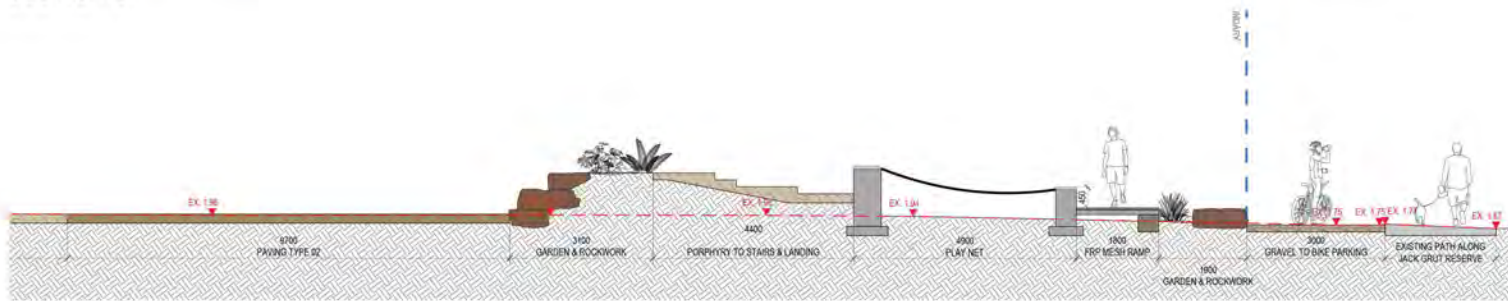


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| SITE IMAGE JOB NUMBER | 1902534 | DATE | 13.10.2023 |

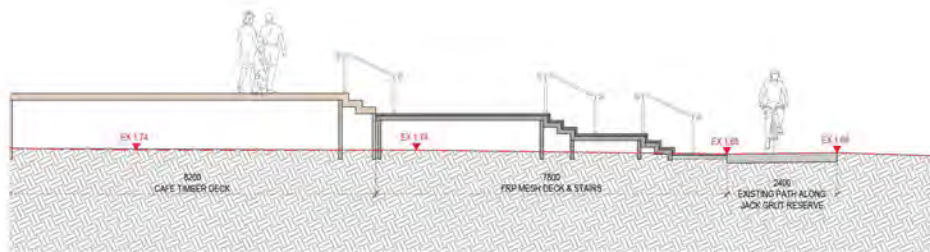
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SECTION 3



SECTION 3



SECTION 5



KEY PLAN - NTS

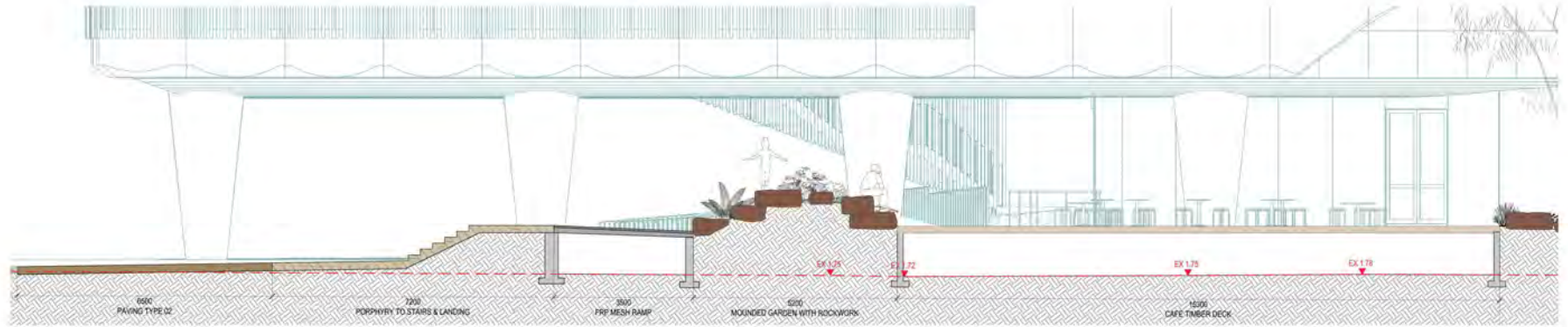


KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
ZONE 03 | UNDER-CROFT ENTRY PLAZA LANDSCAPE SECTION 3

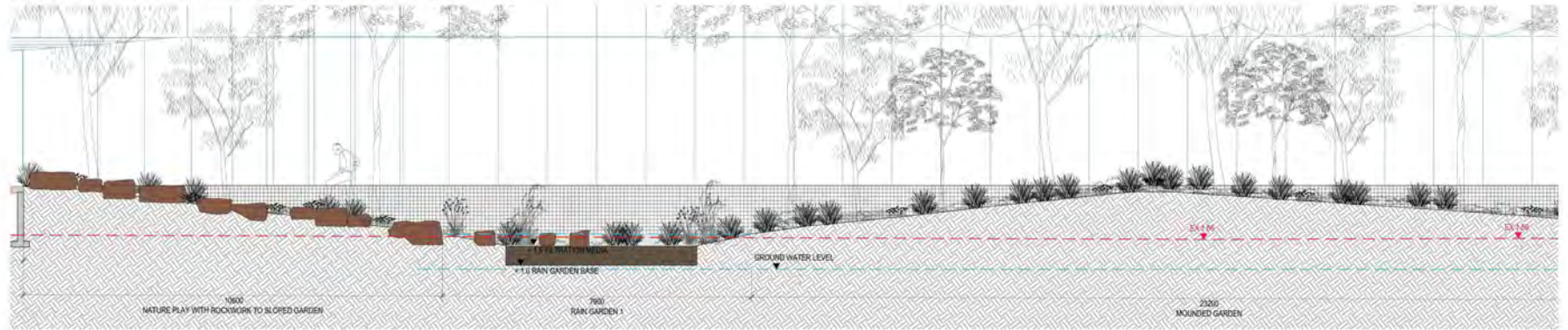


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LONGITUDINAL SECTIONAL ELEVATION 4(1)



LONGITUDINAL SECTIONAL ELEVATION 4(2)



KEY PLAN - NTS



SITE IMAGE
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KINGSTON AQUATIC AND LEISURE CENTRE

1-7 WELLS ROAD, MORDIALLOC VIC 3195

ZONE 03 | UNDER-CROFT ENTRY PLAZA LANDSCAPE SECTION 4

SCALE: 1:50 @ A1 | 1:100 @ A3



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| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | LS0213 |
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KEY PLAN | NOT TO SCALE
LEGEND
SURFACE FINISHES

- D HARDWOOD DECKING
- FP MESH DECK FIBRE-GLASS REINFORCED PLASTIC
- P1 PAVING - TYPE 01 GREY CEMENT
- P2 PAVING - TYPE 02 EXPOSED AGGREGATE PAVEMENT LINK
- P3 PAVING - TYPE 03 PORPHYRY PAVES (VARIOUS SIZES)
- A ASPHALT TO CIVIL ENGINEERS DETAIL
- PP PERMEABLE PAVERS
- TT TUSCAN TOPPING
- CS MUDSTONE FEATURE TERRACES & DRY CREEBED
- PN PLAY NET. TENSILE ROPE PLAY NET

EDGES/FENCES & WALLS

- F FENCES/SCREEN TO ARCHITECTS
- K KERB 150MM
- GW GABION WALL
- RW ROCKWORK
- L NATURAL LOG INTERVENTION

PLANTING TYPES

- ET EXISTING TREE TO BE RETAINED
- PT PROPOSED TREES ON GRADE
- PM01 PROPOSED PLANT MIX 01 SHADE LOVING UNDER-STORY & FEATURE PLANTING
- PM02 PROPOSED PLANT MIX 02 SMALL SHRUBS & GROUND-COVER PLANTING
- PM03 PROPOSED PLANT MIX 03 GRASSLANDS & GROUND-COVER PLANTING
- PM04 PROPOSED PLANT MIX 04 REED (PANSHELL) PROTECTED GARDEN
- PM05 PROPOSED PLANT MIX 05 REED (RAIN GARDEN)
- C CLIMBERS TO COLUMNS & FENCE
- T TURF

FIXTURES & FITTINGS

- TA TACTILES
- H HANDRAILS
- TB TIMBER BENCH SEAT ON GABION WALL
- FB FIXED BENCH SEAT
- BS BINS TO COUNCIL STANDARD
- B BOLLARDS
- TS TIMBER FEATURE SEATING/PLAY OPPORTUNITY
- IP INTERACTIVE PLAY NODE / MOMENT SERVICES



KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
ZONE 04 | CARPARK & STREETScape FRONTAGE LANDSCAPE

SCALE: 1:250 @ A1 | 1:500 @ A3
0 2 5 10M 20M



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ARCHITECT
SITE IMAGE JOB NUMBER

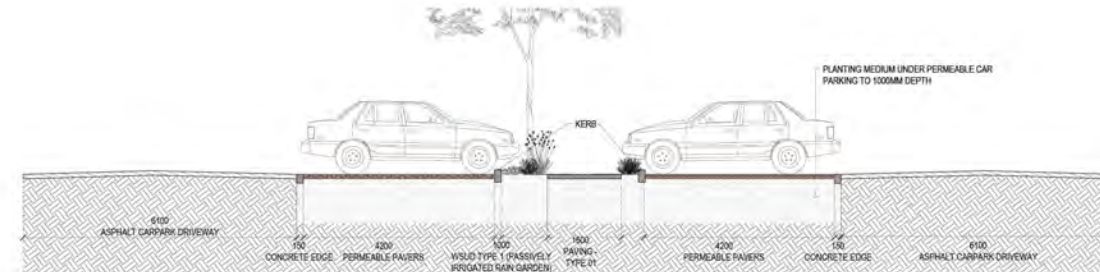
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SM23534
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20-11-2023

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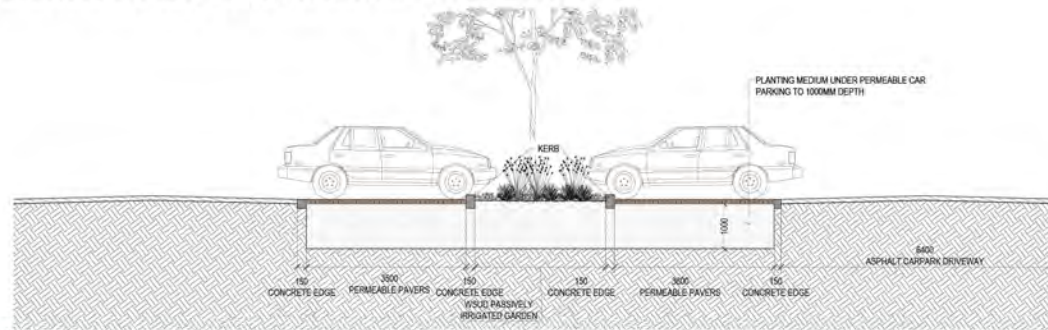
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KEY PLAN - NTS



CARPARK TYPICAL CENTRAL PATH WSUD SECTION 1



CARPARK TYPICAL WSUD SECTION 2



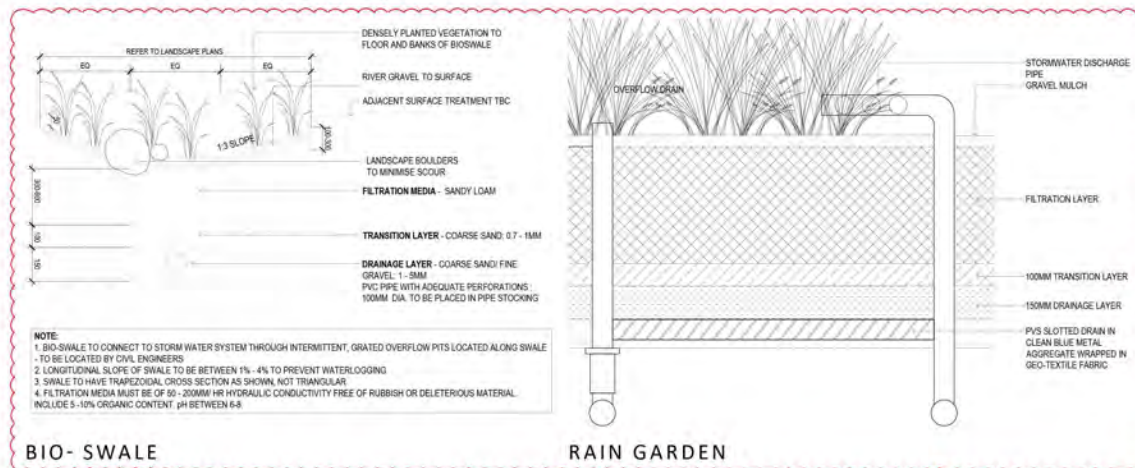
Brilliant White

CARPARK
LINE



Papyrus

MAIN
CARPARK



BIO-SWALE

RAIN GARDEN



SITE IMAGE
Landscape Architects

KINGSTON AQUATIC AND LEISURE CENTRE

1-7 WELLS ROAD, MORDIALLOC VIC 3195

ZONE 04 | CARPARK & STREETScape FRONTAGE LANDSCAPE SECTIONS & DETAILS

SCALE: 1:50 @ A1 | 1:100 @ A3



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| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | L80715 |
| ARCHITECT | CO-OP | ISSUE | 0 |
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KEY PLAN | NOT TO SCALE

LEGEND

SURFACE FINISHES

- HARDWOOD DECKING
- MESH DECK
- FIBRE-GLASS REINFORCED PLASTIC
- PAVING - TYPE 01 GREY CEMENT
- PAVING - TYPE 02 EXPOSED AGGREGATE PAVEMENT LINK
- PAVING - TYPE 03 PORPHYRY PAVES (VARIOUS SIZES)
- ASPHALT TO CIVIL ENGINEERS DETAIL
- PERMEABLE PAVERS
- TUSCAN TOPPINGS
- MUDSTONE FEATURE TERRACES & DRY CREEBED
- PLAY NET. TENSILE ROPE PLAY NET

EDGES/FENCES & WALLS

- FENCE/SCREEN TO ARCHITECTS
- KERB 150MM
- GABION WALL
- ROCKWORK
- NATURAL LOG INTERVENTION

PLANTING TYPES

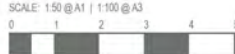
- EXISTING TREE TO BE RETAINED
- PROPOSED TREES ON GRADE
- PROPOSED PLANT MIX 01 SHADE LOVING UNDER-STORY & FEATURE PLANTING
- PROPOSED PLANT MIX 02 SMALL SHRUBS & GROUND-COVER PLANTING
- PROPOSED PLANT MIX 03 GRASSLANDS & GROUND-COVER PLANTING
- PROPOSED PLANT MIX 04 HERB./PERENNIAL/PRODIGAL GARDEN
- PROPOSED PLANT MIX 05 HERB./RAIN GARDEN
- CLIMBERS TO COLUMNS & FENCE
- TURF

FIXTURES & FITTINGS

- TACTILES
- HANDRAILS
- TIMBER BENCH SEAT ON GABION WALL
- FIXED BENCH SEAT
- BINS TO COUNCIL STANDARD
- BOLLARDS
- TIMBER FEATURE SEATING/PLAY OPPORTUNITY
- INTERACTIVE PLAY NODE / MOMENT
- SERVICES



KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
ZONE 05 | ADMINISTRATION + WARM WATER POOL COURTYARD



CLIENT: CITY OF KINGSTON
ARCHITECT: CO-OP
SITE IMAGE JOB NUMBER: SM23534

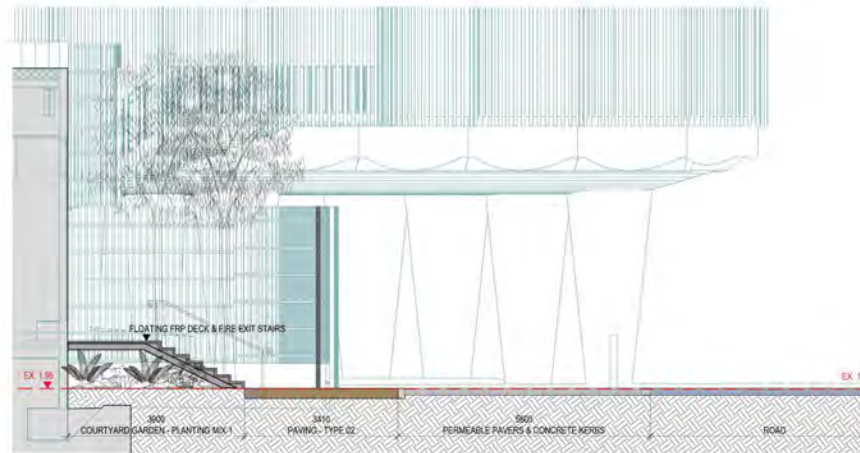
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ISSUE: D
DATE: 20-11-2023

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KEY PLAN - NTS



SECTIONAL ELEVATION 1



SECTIONAL ELEVATION 2



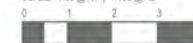
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KINGSTON AQUATIC AND LEISURE CENTRE

1-7 WELLS ROAD, MORDIALLOC VIC 3195

ZONE 05 | ADMINISTRATION + WARM WATER POOL COURTYARD SECTIONS 1 & 2

SCALE: 1:50 @ A1 | 1:100 @ A3



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| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | LS0217 |
| ARCHITECT | CO-OP | ISSUE | C |
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KEY PLAN | NOT TO SCALE
LEGEND
SURFACE FINISHES

- D** HARDWOOD DECKING
 - FPF** MESH DECK
FIBRE-GLASS REINFORCED PLASTIC
 - P1** PAVING - TYPE 01
GREY CEMENT
 - P2** PAVING - TYPE 02
EXPOSED AGGREGATE PAVEMENT LINK
 - P3** PAVING - TYPE 03
PORPHYRY PAVES (VARIOUS SIZES)
 - A** ASPHALT
TO CIVIL ENGINEERS DETAIL
 - TP** PERMEABLE PAVERS
 - TT** TUSCAN TOPPING
 - CS** MUDSTONE FEATURE TERRACES
& DRY CREEBED
 - PN** PLAY NET. TENSILE ROPE PLAY NET
- EDGES/FENCES & WALLS**
FENCES/SCREEN
TO ARCHITECTS
- K** KERB
150MM
 - G** GABION WALL
 - R** ROCKWORK
 - L** NATURAL LOG INTERVENTION

PLANTING TYPES

- ET** EXISTING TREE TO BE RETAINED
ON GRADE
- PT** PROPOSED TREES
ON GRADE
- PM1** PROPOSED PLANT MIX 01
SHADE LOVING UNDER-STORY & FEATURE PLANTING
- PM2** PROPOSED PLANT MIX 02
SMALL SHRUBS & GROUND-COVER PLANTING
- PM3** PROPOSED PLANT MIX 03
GRASSLANDS & GROUND-COVER PLANTING
- PM4** PROPOSED PLANT MIX 04
HEDG (FISHBELL & PROTECTED GARDEN)
- PM5** PROPOSED PLANT MIX 05
HEDG (RAN GARDEN)
- C** CLIMBERS TO COLUMNS & FENCE
- T** TURF

FIXTURES & FITTINGS

- TA** TACTILES
- H** HANDRAILS
- BS** TIMBER BENCH SEAT
ON GABION WALL
- FS** FIXED BENCH SEAT
- B** BINS
TO COUNCIL STANDARD
- BOLL** BOLLARDS
- TS** TIMBER FEATURE SEATING/PLAY
OPPORTUNITY
- IP** INTERACTIVE PLAY NODE / MOMENT
SERVICES



KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
ZONE 06 | EASTERN GROUP DROP OFF & STAFF / SERVICE LANDSCAPE

SCALE: 1:250 @ A1 | 1:500 @ A3
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ARCHITECT
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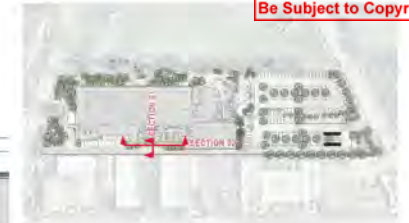
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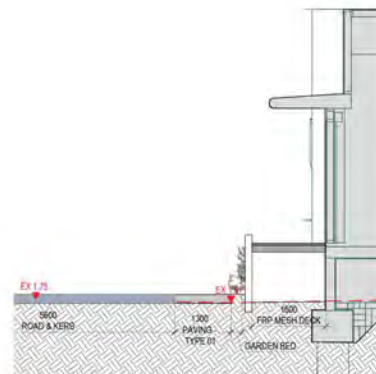
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KEY PLAN - NTS



SECTIONAL ELEVATION 1



SECTIONAL ELEVATION 2



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KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195

ZONE 06 | EASTERN GROUP DROP OFF & STAFF / SERVICE LANDSCAPE SECTION 1&2

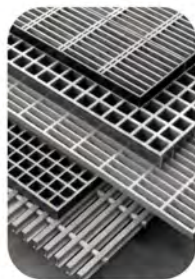
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| SM2354 | DATE | 13.10.2023 |

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FRP MESH



GRAVEL PATHS
ROBUST TIMBER
WORK & ROCKWORK



PAVEMENTS



GREY CEMENT



EXPOSED
AGGREGATE
PAVEMENT



TUSCAN TOPPINGS



STEEL EDGE

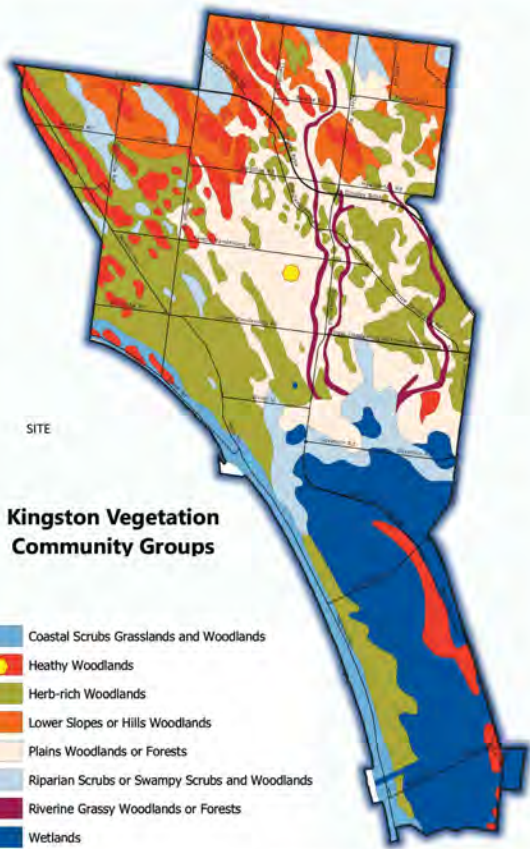


LAWN

PLANTING



PLANTING SCHEDULE



SITE

**Kingston Vegetation
Community Groups**

- Coastal Scrubs Grasslands and Woodlands
- Healthy Woodlands
- Herb-rich Woodlands
- Lower Slopes or Hills Woodlands
- Plains Woodlands or Forests
- Riparian Scrubs or Swampy Scrubs and Woodlands
- Riverine Grassy Woodlands or Forests
- Wetlands

INDIGENOUS PLANT COMMUNITIES LOCAL TO SITE

| CODE | Botanical Name | Common Name | Soil Types | Height x Width (M) | Habitat Value | Sunlight Conditions | Herb Rich | Plains Woodlands | Riparian | Wetlands |
|--|---|-------------------------|----------------------|---------------------|--------------------------------------|------------------------|-----------|------------------|----------|----------|
| T Trees | | | | | | | | | | |
| EC | <i>Eucalyptus comastolens</i> | River Red Gum | Heavy wet | 12-30.0 x 15-20.0 | Birds, insects, mammals | Full Sun | | | | |
| IM | <i>Eucalyptus melliodora</i> | Yellow Box | Dry sandy | 10-20.0 x 8-20.0 | Birds, butterflies, insects, mammals | Full sun, semi shade | | | | |
| EO | <i>Eucalyptus ovata</i> | Swamp Gum | Heavy wet | 8-20.0 x 8-20.0 | Birds, butterflies, insects, mammals | Full sun, semi shade | | | | |
| ER | <i>Eucalyptus radiata</i> | Narrow-leaf Peppermint | Dry sandy | 10-15.0 x 6-10.0 | Birds, mammals | Full sun, semi shade | | | | |
| EV | <i>Eucalyptus viminalis</i> ssp <i>pyroiana</i> | Coastal Maena Gum | Dry sandy | 8-16.0 x 5-12.0 | Birds, insects, mammals | Full Sun | | | | |
| SM Small & Medium Trees | | | | | | | | | | |
| AM | <i>Acacia melanoxylon</i> | Blackwood | Heavy wet | 5-10.0 x 4-6.0 | Birds, butterflies, mammals | Full sun, semi shade | | | | |
| AL | <i>Allocasuarina litorea</i> | Black She-oak | Dry sandy | 4-8.0 x 2-5.0 | Birds, mammals | Full sun, semi shade | | | | |
| AV | <i>Allocasuarina verticillata</i> | Drooping She-oak | dry sandy, coastal | 4-11.0 x 3-6.0 | Birds, butterflies, insects | Full sun | | | | |
| BM | <i>Banksia marginata</i> | Silver Banksia | Adaptable | 4-6.0 x 1-3.0 | Birds, butterflies, mammals | Full sun, semi shade | | | | |
| EP | <i>Eucalyptus pauciflora</i> | Snow Gum | Dry sandy | 5-10.0 x 6-10.0 | Birds, mammals | Full sun, semi shade | | | | |
| ME | <i>Melaleuca ericifolia</i> | Swamp Paperbark | Adaptable | 2-7.0 x 2-3.0 | Birds, butterflies, insects | Full sun, semi shade | | | | |
| MS Midium & Large Shrubs | | | | | | | | | | |
| AP | <i>Acacia paniculata</i> | Hedge Wattle | Adaptable, coastal | 2-4.0 x 2-5.0 | Birds, butterflies | Full sun, semi shade | | | | |
| AS | <i>Acacia stricta</i> | Hop Wattle | Heavy wet | 2-5.0 x 2-5.0 | Butterflies | Full sun, full shade | | | | |
| AV | <i>Acacia verticillata</i> | Prickly Mallee | Adaptable | 2-4.0 x 3-3.0 | Birds, butterflies, mammals | Semi shade | | | | |
| CA | <i>Cassinia aculeata</i> | Common Cassinia | Adaptable | 2-4.0 x 1-2.0 | Butterflies, insects | Semi shade | | | | |
| CAR | <i>Cassinia arcuta</i> | Drooping Cassinia | Dry sandy | 3-3.0 x 1-2.0 | Butterflies | Full sun, semi shade | | | | |
| HN | <i>Hebe nodosa</i> | Yellow Hebe | Adaptable, coastal | 3-3.0 x 1-2.0 | Birds, butterflies, mammals | Full sun, full shade | | | | |
| KL | <i>Kunzea leptospermatica</i> | Yarra Yarra | Adaptable | 2-5.0 x 2-4.0 | Butterflies, insects | Full sun, semi shade | | | | |
| LC | <i>Leptospermum carmentale</i> | Prickly Tea-tree | Heavy wet | 1-4.0 x 1-2.0 | Butterflies, insects | Full sun, semi shade | | | | |
| OF | <i>Olearia forbesii</i> | Tree Everlasting | Adaptable | 2-6.0 x 1-3.0 | Butterflies, insects | Full sun, semi shade | | | | |
| VJ | <i>Viminaria juncea</i> | Golden Spray | Heavy wet | 1.5-5.0 x 1-2.5.0 | Butterflies, insects | Full sun, semi shade | | | | |
| SS Small Shrubs | | | | | | | | | | |
| AC | <i>Atriplex cinerea</i> | Grey Saltbush | Dry sandy, coastal | 1-2.0 x 2-3.0 | Birds, butterflies | Full sun, semi shade | | | | |
| CR | <i>Correa reflexa</i> | Common Correa | Adaptable | 0.3-2.0 x 1-1.0 | Birds, butterflies | Full sun, semi shade | | | | |
| EI | <i>Eiparis impressa</i> | Common Heath | Moist well drained | 0.5-1.5 x 0.2-6.0 | Birds, bees, butterflies, insects | Full sun | | | | |
| GO | <i>Gaobardia ovata</i> | Hop Gaobardia | Coastal | 1-2.0 x 1-3.0 | Birds, butterflies | Full sun, full shade | | | | |
| IA | <i>Indigofera australis</i> | Australian Indigo | Adaptable | 1-2.0 x 1-2.0 | Birds, butterflies | Full sun, full shade | | | | |
| OR | <i>Olearia ramulosa</i> | Twiggy Daisy-bush | Heavy wet, coastal | 0.5-2.0 x 1.0 | Birds, butterflies | Semi shade | | | | |
| RC | <i>Rhagodia condolleana</i> | Seaberry Saltbush | Coastal | 2.0 x 1.0-2.5 | Birds, insects, lizards, mammals | Full sun, semi shade | | | | |
| SS Graminoids, Lilies and Irises | | | | | | | | | | |
| CA | <i>Carex appressa</i> | Tall Sedge | Heavy wet | 0.5-1.2 x 0.5-1.0 | Butterflies, insects | Full sun, semi shade | | | | |
| EA | <i>Eleocharis acuta</i> | Common Spike-rush | Moist, wetland | 0.5-0.9 x spreading | Frog | Full sun | | | | |
| EB | <i>Eragrostis braunii</i> | Common Love-grass | Adaptable | 0.4 x 0.3 | Frog | Full sun, semi shade | | | | |
| JP | <i>Juncus pallidus</i> | Pale Rush | Heavy wet | 0.5-2.0 x 0.3-1.0 | Birds, butterflies, lizards, frogs | Full sun, semi shade | | | | |
| LF | <i>Lomandra filiformis</i> | Wattle Mat-rush | Dry sandy | 0.5 x 0.2 | Birds, butterflies, lizards, frogs | Full sun, semi shade | | | | |
| LL | <i>Lomandra longifolia</i> | Spiny-headed Mat-rush | Adaptable, coastal | 0.9-1.2 x 1-1.2 | Birds, butterflies, lizards | Full sun, semi shade | | | | |
| MS | <i>Microseris stipoides</i> | Weeping Grass | Dry sandy, heavy wet | 0.3-1.0 x 0.5 | Birds, butterflies, insects | Full sun, semi shade | | | | |
| PD | <i>Potamogeton occidentalis</i> | Long Purple-flag | Dry sandy, heavy wet | 0.2-0.4 x 0.3-0.6 | Birds, butterflies, lizards, frogs | Full sun, semi shade | | | | |
| PL | <i>Poa labillardierei</i> | Common Tussock-grass | Dry sandy, heavy wet | 0.3-1.5 x 0.3-0.5 | Birds, butterflies, lizards | Full sun, semi shade | | | | |
| RF | <i>Rytidosperma fulvum</i> | Wallaby Grass | Heavy wet | 0.8-1 x 0.2-0.3 | Birds, insects | Full sun, semi shade | | | | |
| RG | <i>Rytidosperma geniculatum</i> | Knead Wallaby-grass | Adaptable | 0.2-0.4 x 0.2 | Birds, insects | Full sun, semi shade | | | | |
| HR | <i>Rytidosperma racemosum</i> | Clustered Wallaby-grass | Dry sandy | 0.1-0.8 x 0.8 | Birds, insects | Full sun, semi shade | | | | |
| RS | <i>Rytidosperma setaceum</i> | Bristly Wallaby Grass | Adaptable | 0.6-0.7 x 0.4 | Birds, insects | Full sun, semi shade | | | | |
| TT | <i>Themeda triandra</i> | Kangaroo Grass | Heavy wet | 0.5-0.9 x 0.75 | Birds, lizards, | Full sun, semi shade | | | | |
| GC Groundcovers, Climbers & Wildflowers | | | | | | | | | | |
| BM | <i>Bilardiera nutabilis</i> | Common Apple-berry | Adaptable, dry sandy | climber x 1-3.0 | Birds, butterflies | Full sun, full shade | | | | |
| CC | <i>Centella cordifolia</i> | Centella | Adaptable, wetland | 0.5-1.0 x 0.5-2.0 | Insects, lizards | Full sun, semi shade | | | | |
| CA | <i>Chryscephalum paniculatum</i> | Common Everlasting | Adaptable | prostrate x 1-2.0 | Butterflies | Full sun | | | | |
| CM | <i>Clematis microphylla</i> | Small-leaved Clematis | Dry sandy, coastal | climber x 5.0 | Birds, butterflies | Full sun, semi shade | | | | |
| DR | <i>Dichondra repens</i> | Kidney Weed | Adaptable | prostrate x 1-2.0 | Insects, lizards, frogs | Semi shade, full shade | | | | |
| IN | <i>Linada nutans</i> | Nodding Saltbush | Adaptable, coastal | prostrate x 1-2.0 | Birds, butterflies, insects, lizards | Full sun, semi shade | | | | |
| MP | <i>Myoporum parvifolium</i> | Creeping Boobialla | Adaptable, coastal | 0.1-0.2 x 1.5-3.0 | Birds, butterflies | Full sun, semi shade | | | | |
| VH | <i>Violet hederacea</i> | Native Violet | Heavy wet | prostrate x 1-2.0 | Butterflies, insects | Full sun, full shade | | | | |

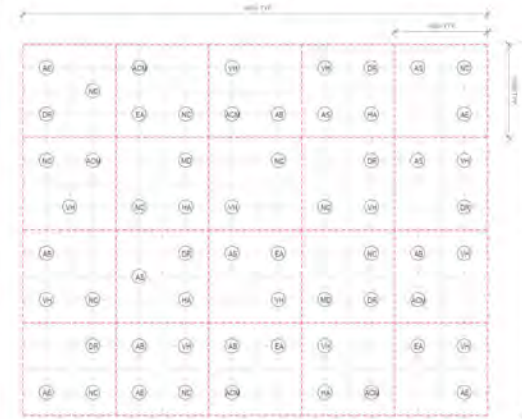


KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD . MORDIALLOC VIC 3195
LOCAL INDIGENOUS PLANT SPECIES RESEARCH

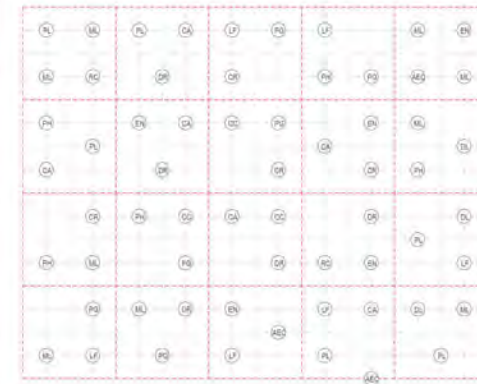
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| SITE IMAGE JOB NUMBER | 180354 | DATE | 13 11 2023 |

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| CODE | BOTANICAL NAME | COMMON NAME | HEIGHT X WIDTH (M) (AT MATURITY) | INSTALLATION SIZE | DENSITY PER/M ² | QUANTITY |
|---|--|------------------------|-------------------------------------|-------------------|----------------------------|------------|
| PLANT MIX 1 - SHADE LOVING UNDER-STORY & FEATURE PLANTING - 135M² | | | | | | 378 |
| ER | <i>Eucalyptus radiata</i> | Narrow-leaf Peppermint | 10-15.0 x 6-10.0 | 75L | AS SHOWN | |
| AB | <i>Aglaonema 'Emerald Beauty'</i> | Aglaonema 'Maria' | 0.3 X SPREADING | 150MM | 5/20M ² | 35 |
| ACM | <i>Arthropodium cirratum 'Matapouri Bay'</i> | New Zealand rock lily | 0.6 X 1.0 | 150MM | 6/20M ² | 42 |
| AE | <i>Aspidistra elatior</i> | Cast Iron Plant | 0.4 X SPREADING | 150MM | 5/20M ² | 35 |
| AS | <i>Alocasia sarjana</i> | Elephant Ears | 2.0 x 1.0 | 150MM | 5/20M ² | 35 |
| EA | <i>Epipremnum aureum</i> | Devil's Ivy | CLIMBING / TRAILING | 150MM | 4/20M ² | 28 |
| HA | <i>Hoya australis</i> | Hoya | CLIMBING / TRAILING | 150MM | 3/20M ² | 21 |
| MD | <i>Monstera deliciosa</i> | Monstera | 2.0 x 2.0 | 150MM | 2/20M ² | 14 |
| NC | <i>Nephtrolepis cordifolia</i> | Fishbone fern | 0.5 X SPREADING | 150MM | 8/20M ² | 56 |
| DR | <i>Dichondra repens</i> | Kidney Weed | prostrate x 1-2.0 | 150MM | 7/20M ² | 49 |
| VH | <i>Viola hederacea</i> | Native Violet | prostrate x 1-2.0 | 150MM | 9/20M ² | 63 |



| CODE | BOTANICAL NAME | COMMON NAME | HEIGHT X WIDTH (M) (AT MATURITY) | INSTALLATION SIZE | DENSITY PER/M ² | QUANTITY |
|--|--|------------------------|-------------------------------------|-------------------|----------------------------|-------------|
| PLANT MIX 2 - SMALL SHRUBS & GROUND-COVER PLANTING - 576M² | | | | | | 1856 |
| EM | <i>Eucalyptus melliodora</i> | Yellow Box | 10-20.0 x 8-20.0 | 75L | AS SHOWN | |
| ER | <i>Eucalyptus radiata</i> | Narrow-leaf Peppermint | 10-15.0 x 6-10.0 | 75L | AS SHOWN | |
| EV | <i>Eucalyptus viminalis ssp. pryoriana</i> | Coastal Marina Gum | 8-16.0 x 5-12.0 | 45L | AS SHOWN | |
| AL | <i>Allocasuarina littoralis</i> | Black She-oak | 4-8.0 x 2-5.0 | 75L | AS SHOWN | |
| AV | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 8.0 x 6.0 | 75L | AS SHOWN | |
| AEC | <i>Acaena echinata</i> | Sheeps Burr | 0.40 x 0.50 | 150MM | 3/20M ² | 87 |
| CA | <i>Carex appressa</i> | Tall Sedge | 0.5-1.2 x 0.5-1.0 | 150MM | 6/20M ² | 174 |
| CR | <i>Carex reflexa</i> | Common Correa | 0.3-2.0 x 1-2.0 | 150MM | 4/20M ² | 116 |
| PG | <i>Pimelea glauca</i> | Smooth Rice-flower | 1.0 x 1.5 | 150MM | 6/20M ² | 174 |
| DL | <i>Dianella laevis var. laevis</i> | Pale Flax-lily | 0.8 x 0.5 | 150MM | 3/20M ² | 87 |
| PH | <i>Pimelea humilis</i> | Common Rice-flower | 0.30 x 1.00 | 150MM | 5/20M ² | 145 |
| PL | <i>Poa labillardieri 'Eskdale'</i> | Common Tussock-grass | 1.0 x 0.5 | 150MM | 6/20M ² | 174 |
| RC | <i>Rhagodia candolleana</i> | Seaberry Saltbush | 2.0 x 1.0-2.5 | 150MM | 2/20M ² | 58 |
| ML | <i>Microseris lanceolata</i> | Mumlong | 0.5 x 0.3 | 150MM | 9/20M ² | 261 |
| CC | <i>Centella cordifolia</i> | Centella | 0.2 x 0.5-2.0 | 150MM | 3/20M ² | 87 |
| DR | <i>Dichondra repens</i> | Kidney Weed | prostrate x 1-2.0 | 150MM | 6/20M ² | 174 |
| EN | <i>Einhadia nutans</i> | Nodding Saltbush | prostrate x 1-2.0 | 150MM | 5/20M ² | 145 |
| LF | <i>Lomandra filiformis</i> | Wattle Mat-rush | 0.5 x 0.2 | 150MM | 6/20M ² | 174 |



| CODE | BOTANICAL NAME | COMMON NAME | HEIGHT X WIDTH (M) (AT MATURITY) | INSTALLATION SIZE | DENSITY PER/M ² | QUANTITY | |
|--|--|------------------------|-------------------------------------|-------------------|----------------------------|-------------|------------|
| PLANT MIX 3 - GRASSLANDS & GROUND-COVER PLANTING - 730M² | | | | | | 2140 | |
| EC | <i>Eucalyptus camaldulensis</i> | River Red Gum | 12-30.0 x 15-20.0 | 45/75L | AS SHOWN | | |
| EM | <i>Eucalyptus melliodora</i> | Yellow Box | 10-20.0 x 8-20.0 | 75L | AS SHOWN | | |
| EO | <i>Eucalyptus ovata</i> | Swamp Gum | 8-20.0 x 8-20.0 | 75L | AS SHOWN | | |
| ER | <i>Eucalyptus radiata</i> | Narrow-leaf Peppermint | 10-15.0 x 6-10.0 | 75L | AS SHOWN | | |
| EY | <i>Eucalyptus viminalis</i> ssp <i>pyriana</i> | Coastal Manna Gum | 8-16.0 x 5-12.0 | 45L | AS SHOWN | | |
| AL | <i>Allocasuarina littoralis</i> | Black She-oak | 4-8.0 x 2-5.0 | 75L | AS SHOWN | | |
| AV | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 8.0 x 6.0 | 75L | AS SHOWN | | |
| BM | <i>Banksia marginata</i> | Silver Banksia | 4-6.0 x 1-3.0 | 75L | AS SHOWN | | |
| EA | <i>Eleocharis acuta</i> | Common Spike-rush | 0.3-0.9 x spreading | 150MM | 3/20M ² | | |
| EB | <i>Eragrostis brownii</i> | Common Love-grass | 0.4 x 0.3 | 150MM | 3/20M ² | | |
| PG | <i>Pimelea glauca</i> | Smooth Rice-flower | 1.0 x 1.5 | 150MM | 3/20M ² | | |
| LC | <i>Lomandra confertifolia</i> | Small Tanika | 0.3 x 0.3 | 150MM | 3/20M ² | | |
| LF | <i>Lomandra filiformis</i> | Wattle Mat-rush | 0.5 x 0.2 | 150MM | 3/20M ² | | |
| LT | <i>Lomandra longifolia</i> 'Tanika' | Mat Rush Grass | 0.6 x 0.6 | 150MM | 3/20M ² | | |
| PL | <i>Poa labillardieri</i> 'Eskdale' | Common Tussock-grass | 1.0 x 0.5 | 150MM | 3/20M ² | | |
| RF | <i>Rytidosperma fulvum</i> | Wallaby Grass | 0.8-1 x 0.2-0.3 | 150MM | 5/20M ² | | |
| RS | <i>Rytidosperma sefaceum</i> | Bristly Wallaby Grass | 0.6-0.7 x 0.4 | 150MM | 6/20M ² | | |
| TT | <i>Themeda triandra</i> | Kangaroo Grass | 0.5-0.9 x 0.75 | 150MM | 6/20M ² | | |
| BM | <i>Billardiera mutabilis</i> | Common Apple-berry | climber x 1-3.0 | 150MM | 1/20M ² | | |
| ML | <i>Microseris lanceolata</i> | Murniang | 0.5 x 0.3 | 150MM | 1/20M ² | | |
| CC | <i>Centella cordifolia</i> | Centella | 0.2 x 0.5-2.0 | 150MM | 3/20M ² | | |
| HV | <i>Hardenbergia violacea</i> | Happy Wanderer | CLIMBING | 150mm | 3/20M ² | | |
| CR | <i>Cortea reflexa</i> | Common Cortea | 0.3-2.0 x 1-2.0 | 150MM | 3/20M ² | | |
| DR | <i>Dichandra repens</i> | Kidney Weed | prostrate x 1-2.0 | 150MM | 3/20M ² | | |
| EN | <i>Eriocaulon nutans</i> | Nodding Saltbush | prostrate x 1-2.0 | 150MM | 3/20M ² | | |
| DL | <i>Dianella laevis</i> var. <i>laevis</i> | Pale Flax-ily | 0.8 x 0.5 | 150MM | 4/20M ² | | |
| MP | <i>Myoporum parvifolium</i> 'Fine Leaf Form' | Creeping Boobialla | prostrate 0.3 x 3.0 | 150MM | 1/20M ² | | |
| PLANT MIX 4 - (WSUD) PASSIVELY IRRIGATED GARDEN - 283M² | | | | | | 812 | |
| EC | <i>Eucalyptus camaldulensis</i> | River Red Gum | 12-30.0 x 15-20.0 | 45/75L | AS SHOWN | | |
| EO | <i>Eucalyptus ovata</i> | Swamp Gum | 8-20.0 x 8-20.0 | 75L | AS SHOWN | | |
| AL | <i>Allocasuarina littoralis</i> | Black Sheoak | 4-8.0 x 2-5.0 | 75L | AS SHOWN | | |
| AV | <i>Allocasuarina verticillata</i> | Drooping Sheoak | 8.0 x 6.0 | 75L | AS SHOWN | | |
| ME | <i>Melaleuca ericifolia</i> | Swamp Paperbark | 2.0-7.0 x 2.0-3.0 | 75L | AS SHOWN | | |
| CA | <i>Carex appressa</i> | Tail Sedge | 0.5-1.2 x 0.5-1.0 | 150MM | 3/10M ² | | |
| EA | <i>Eleocharis acuta</i> | Common spike-rush | 0.3-0.9 x Spreading | 150MM | 5/10M ² | | |
| LT | <i>Lomandra longifolia</i> 'Tanika' | Mat Rush Grass | 0.6 x 0.6 | 150MM | 4/10M ² | | |
| JF | <i>Juncus flavidus</i> | Yellow Rush | 0.4-1.2 x 0.2 - 1.0 | 150MM | 3/10M ² | | |
| DL | <i>Dianella laevis</i> var. <i>laevis</i> | Pale Flax-ily | 0.8 x 0.5 | 150MM | 5/10M ² | | |
| RS | <i>Rytidosperma sefaceum</i> | Bristly Wallaby Grass | 0.6-0.7 x 0.4 | 150MM | 9/10M ² | | |
| PLANT MIX 5 - WSUD (RAIN GARDEN) - 299M² | | | | | | | 930 |
| DA | <i>Dillwynia aeneica</i> | Swamp Paperbark | 9.0 x 6.0 | 45L | AS SHOWN | | |
| DR | <i>Dianella revoluta</i> | Dianella | 0.8 x 0.3 | 150MM | 5/10M ² | | |
| DL | <i>Dianella laevis</i> var. <i>laevis</i> | Pale Flax-ily | 0.8 x 0.5 | 150MM | 5/10M ² | | |
| LC | <i>Lomandra confertifolia</i> | Small Tanika | 0.3 x 0.3 | 150MM | 5/10M ² | | |
| LT | <i>Lomandra longifolia</i> 'Tanika' | Mat Rush Grass | 0.6 x 0.6 | 150MM | 6/10M ² | | |
| MS | <i>Microseris stipoides</i> | Weeping Grass | 0.3-1.0 x 0.5 | 150MM | 7/10M ² | | |
| RF | <i>Rytidosperma fulvum</i> | Wallaby Grass | 0.8-1 x 0.2-0.3 | 150MM | 3/10M ² | | |
| CLIMBERS TO EASTERN FENCE & SERVICES ENCLOSURE | | | | | | | |
| HV | <i>Hardenbergia violacea</i> | Happy Wanderer | CLIMBING | 150MM | 3 / RUNNING M | | |
| MC | <i>Muehlenbeckia complexa</i> | Maidenhair vine | CLIMBING | 150MM | 3 / RUNNING M | | |
| CLIMBERS TO UNDER-CROFT COLUMNS | | | | | | | |
| HV | <i>Hardenbergia violacea</i> 'Snow White' | Hardenbergia | CLIMBING | 150MM | AS SHOWN | | |
| CA | <i>Cissus antarctica</i> | Kangaroo Vine | CLIMBING | 150MM | AS SHOWN | | |
| PJ | <i>Pandorea jasminoides</i> | Bower Plant | CLIMBING | 150MM | AS SHOWN | | |
| PP | <i>Pandorea pandarana</i> | Wonga wonga vine | CLIMBING | 150MM | AS SHOWN | | |
| TJ | <i>Trachelospermum jasminoides</i> | Star Jasmine | CLIMBING | 150MM | AS SHOWN | | |





Eucalyptus radiata
NARROW LEAF PEPPERMINT

D



Aglaonema 'Emerald Beauty'
AGLAONEMA "MARIA"



Aspidistra elatior
CAST IRON PLANT



Alocasia sarian
ELEPHANT EARS



Arthropodium cirratum 'Matapouri Bay'
NEW ZEALAND ROCK LILY



Epipremnum aureum
DEVIL'S IVY

D



Hoya australis
HOYA



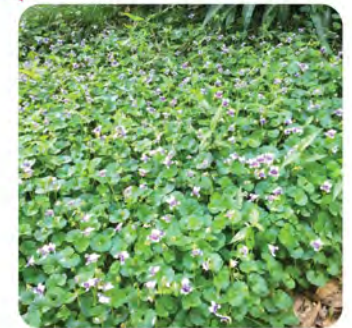
Monstera deliciosa
MONSTERA



Nephrolepis cordifolia
FISHBONE FERN



Dicondra repens
KIDNEY WEED



Viola hederacea
NATIVE VIOLET



KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD , MORDIALLOC VIC 3195
PLANT MIX 01- SHADE LOVING UNDER-STOREY & FEATURE PLANTING

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| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | LS2305 |
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Eucalyptus melliodora
YELLOW BOX



Eucalyptus radiata
NARROW LEAF PEPPERMINT



Eucalyptus viminalis
COASTAL MANNA GUM



Allocasuarina littoralis
BLACK SHEOAK



Allocasuarina verticillata
DROOPING SHEOAK



Acaena echinata
SHEEPS BURR



Carex appressa
TALL SEDGE



Correa reflexa
COMMON CORREA



Dianella laevis var. *laevis*
PALE FLAX-LILY



Microseris lanceolata
MURNIONG



Pimelea glauca
SMOOTH RICE-FLOWER



Pimelea humilis
COMMON RIC FLOWER



Poa labillardieri 'Eskdale'
COMMON TUSsock-GRASS



Rhagodia candolleana ssp. *candolleana*
SEABERRY SALTBUsh



Lomandra filiformis
WATTLE MAT-RUSH



Centella cordifolia
CENTELLA



Dicondra repens
KIDNEY WEED



Einadia nutans
NODDING SALTBUsh



KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
PLANT MIX 02- SMALL SHRUBS & GROUND COVER PLANTING

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| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | LS2306 |
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Eucalyptus camaldulensis
RIVER RED GUM



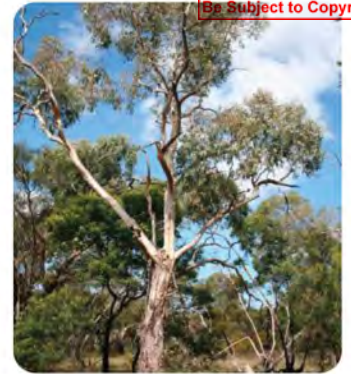
Eucalyptus melliodora
YELLOW BOX



Eucalyptus ovata
SWAMP GUM



Eucalyptus radiata
NARROW LEAF PEPPERMINT



Eucalyptus viminalis
COASTAL MANNA GUM



Allocasuarina littoralis
BLACK SHE-OAK



Allocasuarina verticillata
DROOPING SHEOAK



Banksia marginata
SILVER BANKSIA



Elocharis acuta
COMMON SPIKE-SEDGE



Eragrostis brownii
COMMON LOVE GRASS



KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
PLANT MIX 03- GRASSLANDS & GROUND COVER PLANTING

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| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | LS2307 |
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Lomandra confertifolia
SMALL TANIKA



Lomandra filiformis
WATTLE MAT-RUSH



Lomandra longifolia 'Tanika'
MATT RUSH GRASS



Poa labillardieri 'Eskdale'
COMMON TUSSOCK-GRASS



Pimelea glauca
SMOOTH RICE-FLOWER



Rytidosperma fulvum
WALLABY GRASS



Rytidosperma setaceum
BRISTLY WALLABY GRASS



Themeda triandra
KANGAROO GRASS



Billardiera mutabilis
COMMON APPLE-BERRY



Hardenbergia violacea
HAPPY WANDERER



Centella cordifolia
CENTELLA



Myoporum parvifolium 'Fine Leaf Form'
Creeping Boobialla



Correa reflexa
COMMON CORREA



Dicondra repens
KIDNEY WEED



Enadlia nutans
NODDING SALTBUSSH



Microseris lanceolata
MURNIONG



Dianella laevis var. *laevis*
PALE FLAX-LILY





Allocasuarina littoralis
BLACK SHEOAK



Allocasuarina verticillata
DROOPING SHEOAK



Eucalyptus camalduensis
RIVER RED GUM



Eucalyptus ovata
SWAMP GUM



Melaleuca ericifolia
SWAMP PAPERBACK



Carex appressa
TALL SEDGE



Dianella laevis var. laevis
PALE FLAX-LILY



Elocharis acuta
COMMON SPIKE-SEGE



Lomandra longifolia 'Tanika'
MATT RUSH GRASS



Junucus flavidu
YELLOW RUSH



Rytidosperma setaceum
BRISTLY WALLABY GRASS



SITE IMAGE
Landscape Architects

KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
PLANT MIX 04- WSUD (PASSIVELY IRRIGATED GARDEN)

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| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | LS2309 |
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Melaleuca ericifolia
SWAMP PAPERBACK



Dianella revoluta
DIANELLA



Dianella laevis var. laevis
PALE FLAX-LILY



Lomandra confertifolia
SMALL TANIKA



Lomandra longifolia 'Tanika'
MATT RUSH GRASS



Microlaena stipoides
WEEPING GRASS



Rytdosperma fulvum
WALLABY GRASS



SITE IMAGE
Landscape Architects

KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
PLANT MIX 05- WSUD (RAIN GARDEN)

| | | | |
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| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | LS0310 |
| ARCHITECT | CO-OP | ISSUE | D |
| SITE IMAGE JOB NUMBER | SM23534 | DATE | 20.11.2023 |

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CLIMBERS TO EASTERN FENCE & SERVICES ENCLOSURE



Hardenbergia violacea
HAPPY WANDERER



Muehlenbeckia complexa
MAIDEN HAIR VINE

CLIMBERS TO UNDER-CROFT COLUMNS



Cissus antarctica
KANGAROO VINE



Hardenbergia violacea 'Sonw White'
HARDENBERGIA



Pandorea jasminoides
BOWER PLANT



Pandorea pandorana
WONGA WONGA VINE



Trachelospermum jasminoides
STAR JASMINE



KINGSTON AQUATIC AND LEISURE CENTRE
1-7 WELLS ROAD, MORDIALLOC VIC 3195
CLIMBERS TO FENCING & COULMNS

| | | | |
|-----------------------|------------------|----------------|------------|
| CLIENT | CITY OF KINGSTON | DRAWING NUMBER | LS0311 |
| ARCHITECT | CO-OP | ISSUE | 4 |
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Planning Committee Meeting

20 March 2024

Agenda Item No: 4.4

CHELSEA STRUCTURE PLAN - COMMUNICATIONS AND ENGAGEMENT STRATEGY

Contact Officer: Amber Swales, Strategic Planner

Purpose of Report

The purpose of this report is to present Council with a Communications and Engagement Strategy for the development of a Draft Chelsea Structure Plan.

Disclosure of Officer / Contractor Conflict of Interest

No Council officer/s and/or Contractor/s who have provided advice in relation to this report have declared a Conflict of Interest regarding the matter under consideration.

RECOMMENDATION

That the Planning Committee endorse the Communications and Engagement Plan as outlined in Section 3 of this report to inform the development of a Draft Chelsea Structure Plan.

1. Executive Summary

The Chelsea Structure Plan was initiated in 2018 and was put on hold due to the impact of the Chelsea Level Crossing Removal Project and challenges associated with effective consultation through COVID 19 in 2020 and 2021.

At its 23 October 2023 Ordinary Meeting, Council considered a report that recommended the re-commencement of work on the Chelsea Structure Plan. The report outlined a proposed approach and resources required to complete the project. The approach was endorsed, subject to Council's approval of a further detailed engagement plan.

A Communications and Engagement Strategy has been prepared and is outlined in Section 3 of this report. It describes the purpose of engagement, key messages and engagement techniques. It proposes a six-week engagement period over April/May 2024 including the following activities:

- Reconvening of the Chelsea Community Panel
- 3 Drop-in sessions (with one being at a larger venue such as LF Payne Hall and the Mayor and Ward Councillors invited)
- Trader visits
- Suburb-wide mailout
- Emails to stakeholders and previous project participants
- YKYS project page and online survey, intercept surveys and feedback boxes
- Newspaper, newsletter and social media advertising including train station billboard.

The purpose of the consultation is to inform the community of the development of the draft Structure Plan and to identify any new issues/opportunities.

A report will be brought to Council providing feedback received during the engagement period. The feedback received will inform the development of a draft Chelsea Structure Plan which will be provided to Council for endorsement together with a further community consultation plan.

The likely timeline for the project is:

| | |
|------------------------|--|
| April-May 2024 | Six-week consultation period |
| June-July 2024 | Compile consultation findings and report back to Council |
| August - November 2024 | Draft Structure Plan prepared |
| December 2024 | Brief Council |
| February 2025 | Council to consider Draft Structure Plan and further community consultation plan |

2. Background

At its Ordinary Meeting on 23 April 2018 Council considered officers response to Notice of Motion 46/2017 and resolved amongst other matters to:

3. *Commence preparation of a Structure Plan for the Chelsea Major Activity Centre.*

At its 23 October Ordinary Meeting of Council, Council resolved *that Council, subject to Council's approval of a further detailed engagement plan:*

1. *Note the approach outlined in this report to be undertaken for the completion of the Chelsea Structure Plan; and*
2. *Receive a further report at the completion of the initial community consultation period considering all submissions and feedback received.*

3. Discussion

3.1 The Communications and Engagement Plan

Community consultation is imperative to informing the vision and outcomes of the draft Chelsea Structure Plan so that it reflects the ambitions of the local community.

The proposed approach to communications and engagement is described below including a summary of the objectives and proposed engagement techniques to be actioned over a six-week period in April/May 2024.

It is noted significant consultation was undertaken for the project in 2019 when it first began. The feedback gained through the upcoming round of consultation will inform the development of the draft Chelsea Structure Plan, particularly in relation to changed conditions in Chelsea.

The objectives of this phase of engagement are to:

- Reengage the Chelsea community and understand their views on what issues/opportunities the LXP has created, and/or any other changes in the precinct to help inform the draft Structure Plan.

- Deliver inclusive, accessible and genuine engagement.
- Provide a range of opportunities for all members of the community to participate in the project.
- Build stakeholder and community understanding of the opportunities and limitations of the structure planning process.
- Maintain open and transparent communication with stakeholders and the community.
- Build excitement and shared ownership of planning for Chelsea's future.

Consideration has been given to how the project can be identifiable through branding that can be carried through the life of the Structure Plan such as Mordialloc Pride of the Bay and Mentone Renaissance. A project name that captures the aspirations and uniqueness of Chelsea is being developed.

Activities proposed by the communications and engagement plan for the next phase of consultation include:

- Reconvening of the Chelsea Community Panel
- 3 Drop-in sessions (with one being at a larger venue such as LF Payne Hall and the Mayor and Ward Councillors invited)
- Trader visits
- Suburb-wide mailout
- Emails to stakeholders and previous project participants
- YKYS project page and online survey, intercept surveys and feedback boxes
- Newspaper, newsletter and social media advertising including train station billboard.

Chelsea Community Panel The reconvening of the Chelsea Community Panel is an important component of the communications and engagement plan. This deliberative engagement exercise was undertaken in 2019 during the initial round of consultation on the Project to ensure that input was received from a broad cross-section of the Chelsea community – particularly people that don't usually engage with Council.

The Panel was originally comprised of a representative sample of 25 people including residents, traders, owners, community group representatives, renters and people who visit Chelsea.

Previous members of the Panel will be invited to participate. In the instance that circumstances have changed for members, their positions will be replaced by serving Chelsea members of the Kingston Community Representative Panel.

Two meetings of the Panel are proposed as part of this initial phase of consultation.

The objectives of the Panel are to:

- Build the Community Panel members' understanding of the complex nature of planning for Major Activity Centres, and the role of Council.
- Test and validate the findings of the broader engagement activities undertaken to date.
- Provide feedback on the draft Structure Plan.

4. Consultation

4.1 Internal Consultation:

Internal Council departments have been consulted on the project through a dedicated project working group. This group will be reconvened and continue through the balance of the Project. The group comprises representatives from the Project Management Office, Kingston Business, Traffic and Transport, Inclusive Communities, Open Space, Environmental Planning and Urban Design and Place.

4.2 Community Consultation:

| Group | Method |
|---|---|
| Key Stakeholders Local traders Chelsea residents Chelsea workers and visitors Previous project participants Community groups and services | <ul style="list-style-type: none"> • Trader visits • Suburb-wide mailout to all Chelsea owners and occupiers • 3 drop in sessions • Targeted email to previous project participants • Emails and meetings with key stakeholders • Feedback boxes • Posters • Billboard at train station |
| General community | <ul style="list-style-type: none"> • Your Kingston Your Say project page • Online and hard copy survey • FAQs sheet • Social media, media release newspaper and newsletter ads and KYC article |
| Chelsea Community Panel | <ul style="list-style-type: none"> • 2x face-to-face meetings |

4.3 Results/Findings:

A report will be brought to Council at the conclusion of the engagement period providing feedback received, this is likely to occur in July 2024.

The feedback received will inform the development of a draft Chelsea Structure Plan which will be provided to Council for endorsement together with a further community consultation plan. This is likely to occur towards the end of 2024 early 2025.

5. Compliance Checklist

5.1 Council Plan Alignment

Strategic Direction: Liveable - Our city will be a vibrant, enjoyable, and easy place to live.

Strategy: Plan for changes in the population and the community's housing needs

In line with the directions and strategies provided in Plan Melbourne and the Planning Policy Framework, a Structure Plan for Chelsea Major Activity Centre will seek to ensure that population growth is adequately supported in the most appropriate areas, with corresponding infrastructure.

5.2 Governance Principles Alignment

Principle (b) - priority is to be given to achieving the best outcomes for the municipal community, including future generations.

Principle (d) - the municipal community is to be engaged in strategic planning and strategic decision making.

The communications and engagement plan seeks to ensure that all those who have a vested interest in the future of Chelsea MAC have the opportunity to contribute to the Structure Plan, including those who might not ordinarily engage with Council initiatives.

**5.3 Financial Considerations
Budget**

The approximate cost associated with this stage of consultation is \$60,000, this includes the costs associated with reconvening the Community Panel, meeting facilitators and advertising costs and materials.

The funding is provided for in the budget allocated for the Chelsea Structure Plan within the Strategic Planning budget.

Staff Resources

The planned schedule of consultation can be accommodated by existing staff within the Strategic Planning and Communications and Engagement teams.

5.4 Risk considerations

Risks range from the complexity of information hindering meaningful engagement, to consultation fatigue.

By anticipating these issues early on and proactively seeking to address them, they can be managed more effectively and help maximise the value of the consultation exercise for both Council and participants.

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